



MINOR SITE PLAN COMMITTEE
THURSDAY, JANUARY 13, 2022 - 1:30 PM
Meeting Room 1, City Hall or
REMOTE VIA VIRTUAL PLATFORM
LebanonNH.gov/LIVE

-
- 1. Call to Order**
 - 2. Notice of Regional Impact**
 - 3. Public Hearing Items**
 - A. Chorro, LLC, 7 Bank Street (Tax Map 92, Lot 68), zoned LD:** Applicant proposes to convert an existing mixed use, one (1) unit building to a multi-family building. MSP2021-02
 - B. Upper Valley Utopia, LLC, 7 Slayton Hill Road (Tax Map 105, Lot 32), zoned GC:** Applicant proposes to add three (3) dwelling units to an existing mixed-use building with three (3) dwelling units, for a total of six (6) dwelling units. MSP2021-04
 - 4. Other Business**
 - 5. Approval of Minutes**
 - A. November 17, 2021**
 - 6. Adjournment**

The order of agenda items is subject to change.

Meetings are open for in-person and remote attendance. Members of the public that wish to attend remotely may do so by going to LebanonNH.gov/Live where you will find instructions on how to enter the meeting. Members of the public will be able to participate and ask questions through the City's virtual platform or by phone. Please note: Should technical difficulties occur during the meeting that disrupts virtual or phone connection(s), the meeting will continue without remote access capabilities.

**Agenda
Minor Site Plan Committee
January 13, 2022**

**Agenda Item #3A
Public Hearing Items**

**Chorro, LLC,
7 Bank Street
(Tax Map 92, Lot 68),
zoned LD
MSP2021-02**

CITY OF LEBANON APPLICATION FOR

SPECIAL EXCEPTION	☐	☒	SITE PLAN REVIEW
VARIANCE	☐	☐	SUBDIVISION
MOTION FOR REHEARING	☐	☐	LOT LINE ADJUSTMENT
APPEAL OF AN ADMIN. DECISION	☐	☐	CONDITIONAL USE PERMIT

☐ OTHER _____

PROPERTY OWNER (APPLICANT):

NAME: Chorro, LLC (Tim Sidore, contact) TEL.#: 603-322-3260

MAILING ADDRESS: 7 Bank Street, Lebanon, NH 03766

E-MAIL ADDRESS: tim@ledgeworks.com

CO-APPLICANT, AGENT, OR LESSEE:

NAME: Studio Nexus Architects (Jim Wasser, contact) TEL.#: 802-275-5110

MAILING ADDRESS: P.O. Box 275, White River Junction, VT 05001

E-MAIL ADDRESS: jimw@studionexusarch.com

PROJECT LOCATION:

TAX MAP #: 92 LOT#: 79 PLOT #: ZONE: RO - Class I

STREET ADDRESS OF PROJECT: 77 Bank Street, Lebanon

IS THIS PROPERTY LOCATED IN THE: **WETLANDS** ☐ YES ☒ NO **HISTORIC DISTRICT** ☐ YES ☒ NO
FLOOD PLAIN ☐ YES ☒ NO

SCOPE OF PROJECT:

The building is an existing 2-story structure with a partial basement. Work consists of converting the second floor office space into three studio apartments and upgrading the access stair. No site improvements are proposed.

TYPE OF OCCUPANCY:

EXISTING ☐ VACANT ☒ ONE FAMILY ☐ TWO FAMILY ☐ MULTI-FAMILY ☒ COMMERCIAL ☐ INDUSTRIAL
PROPOSED ☐ VACANT ☐ ONE FAMILY ☐ TWO FAMILY ☒ MULTI-FAMILY ☒ COMMERCIAL ☐ INDUSTRIAL
IF USE IS **COMMERCIAL** OR **INDUSTRIAL**, PLEASE NOTE **SPECIFIC**
USE: Office

SIGNATURE BLOCK:

FOR PLANNING BOARD APPLICATIONS ONLY: I, the undersigned, hereby submit this application on the date noted below with the knowledge and understanding that the Planning Board shall determine if the submitted application is complete according to its regulations at its next regularly scheduled meeting on January 10, 2022, unless I personally request, in writing, that the Board delay its determination of completeness to a later date.

PROPERTY OWNER: Tim Sidore DATE: 9 DEC 2021

NOTE: IF, AS OWNER, YOU WISH TO DESIGNATE AN AGENT TO ACT ON YOUR BEHALF, PLEASE READ THE FOLLOWING AND SIGN BELOW: I hereby designate the person listed above as my agent for the purpose of procuring the necessary local permits for the proposed work as described herein. Representations made by my agent may be accepted as though made by me personally, and I understand that I am bound by any official decision made on the basis of such representation.

PROPERTY OWNER: Tim Sidore DATE: 9 DEC 2021

DATE RECEIVED	FILE # (MAP/LOT)	APPLICATION #	FEE - \$ AMOUNT	DATE PAID	VOUCHER #
12/13/2021	92/79	MSP2022-01			

(Last Revised 4/04/18)



December 13, 2021

Planning Commission,
City of Lebanon
51 North Park Street
Lebanon, New Hampshire 03766

RE: 7 Bank Street Renovations

Dear Commissioners:

We respectfully submit the enclosed application and plans for Site Plan Review for the proposed three new apartments for the property at 7 Bank Street. These apartments will bring needed housing options to downtown Lebanon in line with the Lebanon Downtown Vision Study.

The 7 Bank Street Building is an existing two-story wood-frame structure with a walkout basement and attached 1-car garage. Work on the structure will consist of minor renovations to the existing 1st floor business space (Dukes frame shop) and conversion of second floor office space into three studio apartments. An existing two-bedroom apartment in the walkout basement will remain untouched.

Studio Nexus Architects of White River Junction have been engaged to assist with planning and design. The project is conceived by the owner of the property, Michael Davidson. Mr. Davidson (of Chorro, LLC) has redeveloped the former Lebanon Junior High School and Roy's Gulf; the conversion of 7 Bank Street will be completed with the same sense of preservation and attention to detail. Construction work will begin immediately after permit approval with the goal to complete the work by late spring of 2021, including the installation of a fire sprinkler system.

The 7 Bank Street conversion project promotes Lebanon's purpose of mixed use, high-density redevelopment in the downtown area. This conversion and renovation will allow for an existing business to thrive, while adding much-needed downtown housing units. We propose small, but high quality studio units to meet what our experience shows is the current market demand: units for singles or couples, a familial demographic that is increasing rapidly in the Upper Valley.

With the exception of a dormer and some additional windows for the units, we are proposing no additions or changes to the exterior of the existing 1890's building and no changes to its footprint.

Car and Bike Parking and Loading

Though there is no specific parking requirement in the LD District, seven parking spaces are provided on site. Additional spaces are available by a reciprocal agreement (attached) at the

adjacent AVA Gallery studio building. In addition, multiple spaces are available on-street and at the nearby municipal lots. Calculated parking need remains at 15 spaces from existing to proposed, primarily driven by the retail use of Dukes. However, this is considerably more than what is actually used, especially since Dukes has no evening hours.

Use	Parking Required	Existing SF or Number	Spaces Required	Proposed SF or Number	Spaces Required
Retail	1/200 SF	2,183 SF	10.9	2,183 SF	10.9
Office	1/250 SF	1,859 SF	7.4	0 SF	0
2 Bedrooms	1.5/ unit	1	1.5	1	1.5
Studios	1/ unit	0	0	3	3
Total			19.8 or 20		15.4 or 15
Reduction per Table 607.6			15		15

Table 607.6	Reduction Factor Based on Time of Day				
Existing Use	(B)	(C)	(D)	(E)	(F)
Office	100% or 7.4	10% or 0.74	10% or 0.74	5% or 0.38	5% or 0.38
Residential	50% or 0.75	75% or 1.13	100% or 1.5	80% or 1.2	100% or 1.5
Retail/Indust.	60% or 6.54	90% or 9.81	100% or 10.9	70% or 7.63	5% or 0.55
Total	14.69 or 15	11.68 or 12	13.14 or 13	9.21 or 9	2.43 or 2

Table 607.6	Reduction Factor Based on Time of Day				
Proposed Use	(B)	(C)	(D)	(E)	(F)
Retail/Indust.	60% or 6.54	90% or 9.81	100% or 10.9	70% or 7.63	5% or 0.55
Residential	50% or 2.25	75% or 3.38	100% or 4.5	80% or 3.6	100% or 4.5
Total	8.79 or 9	13.19 or 13	15.4 or 15	11.23 or 11	5.05 or 5

A loading area for Dukes is located at the front of the building, the only location possible. We are providing 2 bike parking staples in front of Dukes as well.

Landscaping, Trash and Recycling

The landlocked site, accessed from Bank Street by permission from the same reciprocal agreement, provides little opportunity for site improvement on the front and sides of the property, which are almost entirely given over to asphalt for ingress, egress, and parking. Within the strip of grass to the rear (west) of the building we propose adding trees and shrubbery to help shade and screen the parking.

Trash and Recycling is handled by an existing screened dumpster area at the rear of the site.

Recreational Facilities

The tight site cannot sustain areas for outdoor activity, however the property is less than a block from Colburn Park, the CCBA and the Rail Trail, where recreational opportunities abound.

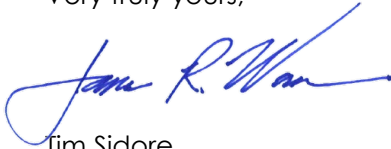
LD Design Requirements

Pedestrian access to the site is provided by an existing walk on the AVA Gallery property. The building meets the requirements for façade transparency along Secondary Streets (Bank) for Non-Residential Uses at street level. It does not meet the requirements for the second floor. We are maximizing the usable area of the façade, providing about 19% of the second floor wall area facing Bank Street with windows. Given the interior configuration of the unit, the relatively small size of the existing windows and the combination of high ceiling and eaves, providing additional windows is neither practical nor works with the façade design.

In summary, we are confident our proposal provides much needed housing for the city and the region in an environmentally sensitive way, promoting a more walkable and active downtown, while not negatively impacting the neighborhood and remaining true to the spirit of the Zoning Code and Lebanon's vision for its city.

Thank you for your consideration of our application.

Very truly yours,



Tim Sidore
Execusuite, LLC

CITY OF LEBANON, NH SITE PLAN REVIEW REGULATIONS TECHNICAL CHECKLIST	
PROJECT NAME: 77 Bank Street Renovations	
APPLICANT: Chorro, LLC	DATE: 12/13/2021
GENERAL SUBMISSION REQUIREMENTS:	

All applications to the Planning Board for Site Plan Review must be submitted by 12:00 Noon on the day of the filing cutoff. [§4.7.B] Submissions must be accompanied by the following information or review of the application may be delayed:

A properly completed and signed Application Form *(available at www.lebanonnh.gov)*. [§5.1.A]

The appropriate filing fees. [§5.1.B]

A written project description. [§5.1.C]

A list of the names and mailing addresses of all persons to be notified, by certified mail, of the public hearing. [§5.1.D]

A completed and signed Application for Waivers *(available at www.lebanonnh.gov)* [§5.1.G.3]

A completed and signed Technical Checklist *(available at www.lebanonnh.gov)*. [§4.7.B]
[Applicants must complete the entire checklist to ensure that all necessary information and materials have been provided with the application or that written requests for waivers have been properly provided in accordance with Article VII of the Site Plan Review Regulations, as appropriate.]

Two (2) full-size sets of the Site Plan set. [§5.1.E]

A digital copy of the Site Plan set in .PDF format. [§5.1.F]

NOTE: Applications shall contain sufficient information to enable the City Staff and the Planning Board to evaluate the proposed development for compliance with the Zoning Ordinance, the Planning Board's Regulations, and other applicable City Codes, and for the Planning Board to make an informed decision.

All required application materials shall be submitted as a single inclusive package, including any appropriate waiver requests as permitted by the Regulations. Submission of a complete application package ensures that the review process by City Staff is as efficient and effective as possible.

The purpose of the filing deadline is to provide adequate time for City review of the proposal. Submission of any altered, additional, or substitute application materials required by Article V of these Regulations, subsequent to the filing deadline, other than as directed by City Staff, shall cause the application to be deemed untimely filed, and such application shall not be heard until a subsequent month.

CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST

PLAN SUBMITTAL TECHNICAL CHECKLIST:

NOTE: Site plan drawings shall include the information described below pursuant to Article V of the Lebanon Site Plan Review Regulations. Plans shall be submitted on sheets no larger than 24" x 36". Plan sets with multiple sheets shall include sheets of uniform size and be bound on the left edge. When more than three (3) sheets are required, an additional cover sheet shall be attached including a table of contents. A scale of not smaller than one (1) inch equals 40 feet is suggested. All lettering shall be of a size and type that is legible.

In order to facilitate the use of the City's Geographic Information System (GIS) for planning purposes, all surveys and engineered plans submitted for Site Plan Review shall utilize the NH State Plane Coordinate system and shall reference the North American Vertical Datum of 1988 (NAVD 88), unless prior approval to use an alternate coordinate system and/or vertical datum is granted by the Planning & Development Department.

A written request for waiver shall be required, pursuant to Article VII of the Site Plan Review Regulations, for any submission requirement for which the information or data is not provided by the applicant. [§5.1.G(4)] NOTE: The submission requirements described in paragraphs 5.1.E(1) through 5.1.E(4) shall not be waivable under the procedures of Article VII of the Site Plan Review Regulations. [§5.1.E]

[Checklist begins on following page]

**CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST**

[illegible]

CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST

Plan Requirements (cont.)	Info. Provided	Waiver Sought
5.1.E(6) - Existing and proposed grades, including topographic contours with spot elevations, (referenced to USGS or FEMA Flood Insurance Rate Map datums, as appropriate) prepared by a professional engineer or land surveyor licensed in NH. (Where grades are less than 20%, contours shall be at 2 ft. intervals; otherwise they shall be at 5 ft. intervals.)	☐	☒
5.1.E(7) - Shape, size, height, and location of all existing structures located on site and within 200 feet of site.	☐	☒
5.1.E(7) - Elevation views indicating shape, size, height, and location of all proposed structures, including expansions of or additions to existing buildings. Such elevation views shall provide sufficient detail to allow for review by the Board and City staff of the adequacy of proposed access and egress points, walkways, lighting, and other site-related improvements.	☒	☐
5.1.E(8) - Location of existing natural features such as streams, marshes, lakes, ponds, wetlands, rock outcrops, or wooded areas, and existing man-made features such as roads and structures. Indicate those natural and man-made features that are to be removed, retained, or altered.	☒	☐
5.1.E(8) - Wetlands on the property, if any, shall be delineated by a NH Certified Wetlands Scientist, whose seal and signature shall appear on the plan. Documentation in the form of U.S. Army Corps of Engineers New England District Wetlands Delineation Data Sheets and/or other field notes and materials concerning the delineation shall be submitted.	☐ N/A	☐
5.1.E(9) - Zoning District, Tax Map and Lot number, and use of abutting properties within 200 feet of property.	☒	☐
5.1.E(9) - Location of streets, pedestrian paths/trails, and bicycle routes within 200 feet of the site boundary; and the location of curb cuts and vehicle accesses within 200 feet of the site boundary.	☒	☐
5.1.E(10) - Proposed streets, driveways, emergency vehicle accesses, parking spaces, and sidewalks, with indication of dimensions and direction of travel. Show required sight distances at curb cuts and dimensions for the inside radii of all curves.	☒	☐
5.1.E(10) - Vehicle and bicycle parking spaces shall be numbered.	☒	☐
5.1.E(10) - Loading spaces and facilities used in connection with any structures on the site shall be shown	☒	☐
5.1.E(10) - Total square footage and percentage of the lot covered by impervious cover shall be shown.	☒	☐
5.1.E(11) - Parking area safety measures including raised crosswalks/speed tables, signage, walkway lighting, striping and similar markings such as dedicated pedestrian/bicycle crossings and lanes through parking areas, fire lanes, compact and/or electric vehicle parking/charging, parking wayfinding, ADA signage and access aisles.	☒	☐
5.1.E(12) - Size and location of all existing and proposed public and private utilities. <i>(Note: the applicant is encouraged to submit a Sewer Use Permit Application and obtain a Notice of Permitted Allocation, and to obtain a Water Use Permit prior to submission of the Site Plan Review application.)</i>	☒	☐

CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST

Plan Requirements (cont.)	Info. Provided	Waiver Sought
5.1.E(13) - Plan for outdoor lighting showing proposed location, mounting height, fixture type, lamp type, color correlated temperature (CCT), and wattage of all exterior free-standing lighting or building-mounted fixtures.	☐	☒
5.1.E(13) - Analyses and illuminance-level diagrams, to include average and minimum foot-candle measurements, showing that proposed installation conforms to the lighting-level standards in Site Plan Review Regulations.	☐	☒
5.1.E(13) - Manufacturer's specification information for each proposed light fixture and lamp (NOTE: This information may be provided on the plan or as a separate attachment).	☐	☒
5.1.E(13) - Drawings of all relevant building elevations showing location and height of all building-mounted fixtures, illumination levels of walls or architectural features, and aiming points for any remote light fixtures.	☐	☒
5.1.E(14) - Plan for location of free-standing or building-mounted signs, including location, mounting, aiming, and shielding of any remote light fixtures for externally-lit signs.	☒	☐
5.1.E(14) - For internally-lit signs, relevant information concerning the method of illumination and the opacity of the sign background, showing that the proposed installation conforms to the requirements of the Regulations.	☐ N/A	☐
5.1.E(15) - 100-yr flood elevation, floodway, and floodplain limits, where relevant.	☐ N/A	☐
5.1.E(16) - Landscaping plan showing proposed new plantings to be installed and existing natural vegetation to be retained. Plan shall show in detail the number, size (height and/or caliper), and species (botanical and common names) of all proposed shrubs and trees.	☒	☐
5.1.E(16) - Existing trees over 12 inches in diameter (measured 4.5 feet above ground surface) within 25 feet of the disturbed area, must be counted and shown on the plan, if included towards fulfilling landscaping requirements.	☒	☐
5.1.E(16) - Calculations for square footage of perimeter landscaping.	☐	☒
5.1.E(16) - Parking lot shading calculations shall be provided by depicting new trees and shrubs at 10-year crown size.	☐	☒
5.1.E(17) - Existing and proposed surface and subsurface storm drainage facilities, including City storm drainage facilities located within 200' of site.	☐	☒
5.1.E(17) - Plans for retention, detention, slow release, and treatment of storm water shall be provided, where necessary.	☐	☒
5.1.E(17) - Drainage plans prepared by a professional engineer registered in NH, whose seal and signature shall appear on plan(s).	☐	☒
5.1.E(18) - Section 6.6. Stormwater Management submission requirements.	See Stormwater Checklist	
5.1.E(19) - Plans for snow removal and storage.	☒	☐
5.1.E(20) - A plan for the development showing provisions for automobile, transit, bicyclist, and pedestrian access and circulation. Such plan shall show both existing and proposed means of access to the site including connections with, public streets, sidewalks, transit stops, and formal paths/trails. Plans shall include any traffic calming and traffic control devices necessary in conjunction with the site development, as well as the location of all existing transit routes and transit stops located or passing within 1/4 mile (1,320 feet) of the property.	☒	☐

CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST

Plan Requirements (cont.)	Info. Provided	Waiver Sought
5.1.E(21) - Construction detail drawings including, but not limited to, pavements, walks, steps, curbing, drainage structures, water and/or sewer utilities, ground-mounted signage (e.g., fire lanes, ADA parking, commercial), surface treatments, transit shelters, energy generation units (e.g., solar), bike rack style, electric vehicle charging, outdoor lighting, outdoor furniture, retaining walls, tree boxes and other site systems or structures. Accompanying specifications and cutsheets may be required.	☒	☐
5.1.E(21) - Where applicable, roadway, drainage, water and sewer utility profile drawings shall be provided at a scale of 1"=40 feet (horizontal) and 1"=4 feet (vertical) and typical cross-section drawings shall be provided at a scale of 1"=5 feet (horizontal and vertical), unless prior approval is granted by the City Engineer.	☐ N/A	☐
5.1.E(22) - Depict any current and proposed easements, rights-of-way, and deed restrictions including those related to sewer, electrical utility, shared access, etc.	☒	☐
5.1.E(23) - For multi-family structures, plans for on-site recreational facilities.	☐	☒
5.1.E(24) - Plans for fire protection including emergency vehicle turn radius diagrams, if requested by the Lebanon Fire Department.	☐	☐
Supporting Documents and Information, Where Applicable	Info. Provided	Not Applicable
5.1.G(1) - An estimated timetable, to include phasing schedules, for construction and completion of buildings, parking, facilities, landscaping, and other required improvements.	☒	☐
5.1.G(2) - Any development estimated to generate a net increase of 100 peak hour trips or 1,000 average daily trips (based upon the most current edition of the ITE Trip Generation Manual) shall prepare and submit a Traffic Impact Study in accordance with standard traffic analysis conventions as set forth by the NHDOT. The Board may, at its discretion, require the submission of a Traffic Impact Study for developments estimated to generate less than 100 peak hour trips or 1,000 average daily trips if the Board has reason to believe such development could adversely affect levels of service or have other adverse impacts.	☐	☒
5.1.G(3) - Written requests for waivers from all applicable provisions of these Regulations shall be provided pursuant to Article VII - "Waiver Procedure". (note: use <i>Application for Waivers</i> form).	☒	☐
5.1.G(4) - For multi-family dwelling developments and mixed-use developments resulting in a net increase of 50 dwelling units or more, the application shall include the information and impact statements identified in Section 6.9.B.	☐	☒

NOTE: THE APPLICANT IS RESPONSIBLE FOR PROVIDING THE REQUIRED INFORMATION PURSUANT TO ARTICLE V OF THE SITE PLAN REVIEW REGULATIONS. PLEASE BE AWARE THAT THIS CHECKLIST IS FOR INFORMATION AND GUIDANCE ONLY AND DOES NOT REPRESENT THE LAW DICTATING SUBMITTAL REQUIREMENTS NOR IS IT COMPLETE AND INCLUSIVE THEREOF.

Completed By: James Wasser, Studio Nexus Architects + Planners, LLC

(Last Revised 4/19/2021)

**CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST**

CITY OF LEBANON, NH STORMWATER REVIEW REGULATIONS TECHNICAL CHECKLIST	
PROJECT NAME: 77 Bank Street Renovations	
APPLICANT: Chorro, LLC	DATE: 12/13/2021

NOTE: Stormwater plans shall include the information described below pursuant to Article VI of the Lebanon Site Plan Review Regulations. Plans shall be submitted on sheets no larger than 24" x 36". Plan sets with multiple sheets shall include sheets of uniform size and be bound on the left edge. When more than three (3) sheets are required, an additional cover sheet shall be attached including a table of contents. A scale of not smaller than one (1) inch equals 40 feet is suggested. All lettering shall be of a size and type that is legible.

In order to facilitate the use of the City's Geographic Information System (GIS) for planning purposes, all surveys and engineered plans submitted shall utilize the NH State Plane Coordinate system and shall reference the North American Vertical Datum of 1988 (NAVD 88), unless prior approval to use an alternate coordinate system and/or vertical datum is granted by the Planning Office.

A written request for waiver shall be required, pursuant to Article VII of the Site Plan Review Regulations, for any submission requirement for which the information or data is not provided by the applicant. [§6.6.I]

[Stormwater checklist begins on following page]

**CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST**

Plan Requirements	Info. Provided	Waiver Sought
<u>6.6.C.1 (1)</u> - An Existing Conditions S.M.P showing all pre-development: a. Surface water bodies and wetlands b. Drainage patterns c. Flood plains and floodways (with elevations) d. Watershed boundaries e. Buffer zones f. Topographic contours with minimum 2-foot intervals g. Buildings / structures h. Pavement i. Utilities j. Soils information with coding as HSG-A, B, C, or D (High Intensity Soil Survey (HISS) mapping may be required per request of the City Engineer).		
1. The plan shall also include the following elements: a. scale bar b. north arrow c. title block with project name d. applicant's name e. map and parcel number f. designer's stamp g. soil and/or wetland scientist's stamp (if applicable) h. legend i. locus plan j. benchmarks k. notes with datum and other plan references l. instructions m. detail descriptions		
<u>6.6.C.1 (2)</u> - A Proposed Conditions SMP showing all proposed post-development temporary and permanent stormwater management system elements, erosion and sediment control Best Management Practices (BMP), and all important hydrologic features. The Proposed Conditions S.M.P must be at the same scale as the Existing Conditions SMP, with consistent title block, plan features, and descriptors including but not limited to the following: a. Existing and proposed topographic contours (2-foot minimum contour interval; 1-foot contour intervals may be required for sites with limited relief and/or where proposed stormwater outfalls are located adjacent to buffer zones. b. Proposed areas of disturbance with total area of disturbance clearly labeled in square feet c. Existing and proposed buildings and structures d. Stormwater discharge locations labeled and matched to the drainage analyses e. Wells and sanitary protective radii, if applicable N/A f. Septic systems, if applicable N/A	☐ ☒ ☒ ☐ ☐ ☐	☒ ☐ ☐ ☒ ☐ ☐

CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST

Plan Requirements (cont.)	Info. Provided	Waiver Sought
g. Plan references and notes (including sequence of soil disturbance) h. Proposed and existing public and private utilities i. Proposed project components to become property of or the responsibility of the City shall be labeled as such N/A j. Existing and proposed impervious cover, with areas used to calculate effective impervious cover (EIC, as defined herein) clearly identified and the square footage of each type identified and labeled. k. Test Pit(s) locations and data where stormwater practices are proposed, as appropriate. N/A l. Details of individual design elements shown on separate plan sheets following the Proposed Conditions SMP. The Existing Conditions SMP & the Proposed Conditions SMP shall be provided on sheets no larger than 24" x 36", at a scale of one (1) inch = 20 feet for urban areas, and one (1) inch = 40 feet for non-urban areas. The City Engineer will make the final determination as to the appropriate scale, ensuring that all important site and hydrologic features are easily recognized. If plan shall encompass more than two (2) sheets, at the required 1:40 or 1:20 scale, a separate large scale representation plan sheet (e.g. 1:100) is required to be provided, so as to show entirety of site, as well as off-site contributing areas.	☒ ☒ ☐ ☒ ☐ ☐	☐ ☐ ☐ ☐ ☐ ☒
6.6.C.2 - In addition to the above described SMP plan sheets, the following SMP supplemental information is required: 1. A drainage analysis that includes calculations comparing pre- and post-development stormwater runoff rates (cubic feet per minute) and volumes (cubic feet) based on a 1-inch rainstorm, and the 2-year, 25-year, 50-year, and 100-year, 24-hour frequency storms. Calculations shall include, but not be limited to, the sizing of all structures and BMPs, including sizing of emergency overflow structures based on the 50-year 24-hour frequency storm discharge rate, with 1-foot of free-board. Storm rates shall be based on current design depths from the Northeast Regional Climate Center - http://precip.eas.cornell.edu. <i>Any site that was primarily wooded in the last five years shall be considered undisturbed woods Any site from which wooded vegetation has been removed within 5 years prior to the first submission to the planning board with respect to a proposed development, or upon which, at some earlier time, clearing has occurred in anticipation of development, shall be treated as undisturbed woodland for purposes of calculating pre-development runoff volumes. For purposes of this paragraph any tree cutting which occurred without leaving stands of healthy, growing trees within areas near waters and highways, as required by RSA 227-J:9, I, shall be presumed to have occurred in anticipation of development</i>	☐	☒

**CITY OF LEBANON, NH
SITE PLAN REVIEW REGULATIONS
TECHNICAL CHECKLIST & STORMWATER CHECKLIST**

Plan Requirements (cont.)	Info. Provided	Waiver Sought
2. A drainage analysis results summary tabulated (pre & post) for each proposed outfall or catchment outlet point including runoff rates and volumes for each storm event analyzed above.	☐	☒
3. An Erosion and Sediment Control Plan for all proposed construction activities in accordance with the NH Stormwater Management Manual Volume 3, (December 2008 or current revision; downloadable from the website)	☐	☒
4. A comprehensive Operation and Maintenance Plan for long-term maintenance of all proposed stormwater management elements and BMPs including the proposed schedule of inspections and anticipated maintenance (see section H.2 Operations & Maintenance Plan for detailed requirements).	☐	☒
<u>6.6.D</u> - Phased Development: For phased developments, the plans and calculation requirements under this section (6.6) shall apply as though the development of the entire parcel were being proposed in one single application. The review and approval process for phased development applications is provided in section 4.9 of the Lebanon Site Plan Regulations. N/A	☐	☐

NOTE: THE APPLICANT IS RESPONSIBLE FOR PROVIDING THE REQUIRED INFORMATION PURSUANT TO ARTICLE VI OF THE SITE PLAN REVIEW REGULATIONS. PLEASE BE AWARE THAT THIS CHECKLIST IS FOR INFORMATION AND GUIDANCE ONLY AND DOES NOT REPRESENT THE LAW DICTATING SUBMITTAL REQUIREMENTS NOR IS IT COMPLETE AND INCLUSIVE THEREOF.

Completed By: James Wasser, Studio Nexus Architects + Planners, LLC

(Last Revised 04/19/2021)

Planning office Use Only:

Date Received ___/___/___ Checklist Complete YES or NO Checked by: _____



City of Lebanon, New Hampshire APPLICATION FOR WAIVERS

Office Use Only

Date Received: _____

File No.: _____

PROJECT INFORMATION

Name of Applicant: _____ Chorro, LLC

Project Name: _____ 7 Bank Street Renovations

Project Address: _____ 7 Bank Street, Lebanon

WAIVER REGULATIONS

In order to grant a Waiver from a requirement of the City of Lebanon Site Plan Review or Subdivision Regulations, the Planning Board must find that the Waiver is justified under one of the following criteria (See Article VII of the Site Plan Review Regulations and Section 7.15 of the Subdivision Regulations):

Criteria A. Strict conformity would pose an unnecessary hardship to the Applicant and waiver would not be contrary to the spirit and intent of the regulations;

OR

Criteria B. Specific circumstances relative to the site plan, or conditions of the land in such site plan, indicate that the waiver will properly carry out the spirit and intent of the regulations.

WAIVER REQUEST(S)

I (we) hereby request a Waiver from:

[You can respond in the space provided, or attach a separate statement. Please be prepared to address each request during your public hearing. You must show that you have justified granting the Waiver(s).]

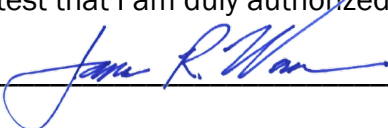
- 5.1.E(5 and 6), 6.6.C.1(2)a
1. Section ____ of the (circle one) Site Plan Review / Subdivision Regulations. A Waiver of this Section meets (circle one) Criteria A / Criteria B because The changes to the building and site consist only a dormer and landscaping to shade the parking areas. No other changes to the exterior are proposed. A survey is not necessary to accomplish these changes and would add unnecessary cost and considerable delays.

- 5.1.E(7)
2. Section ____ of the (circle one) Site Plan Review / Subdivision Regulations. A Waiver of this Section meets (circle one) Criteria A / Criteria B because There no changes to the building mass other than the addition of a dormer, which does not extend above the peak of the roof. Measuring the heights of buildings within 200' is unnecessary and would add project cost.

3. Section 6.2B of the (circle one) Site Plan Review / Subdivision Regulations. A Waiver of this Section meets (circle one) Criteria A / Criteria B because Perimeter landscaping 15' in width is not feasible given the very tight existing property boundaries, primarily taken up with building, drive and parking. We have added additional landscaping in the few areas where it is possible.
4. Section 6.2E of the (circle one) Site Plan Review / Subdivision Regulations. A Waiver of this Section meets (circle one) Criteria A / Criteria B because We have provided additional landscaping and shading to the extent possible, however given the configuration of the tight site, it does not meet the requirements of the Site Plan Regulations. Calculating it would serve no purpose and, in addition, would require a survey, which is costly and would result in considerable delay.
5. Section 5.1.E(17), 6.6.C.1 & 2 of the (circle one) Site Plan Review / Subdivision Regulations. A Waiver of this Section meets (circle one) Criteria A / Criteria B because There are no proposed changes to the footprint of the building and site, other than the planting of some trees and shrubs to supplement the existing landscape. In addition, the site is landlocked and closely integrated with the surrounding properties. Providing storm water management and drainage plans would require participation of those neighbors and would place an undo burden on our property.
6. Section 5.1.E(23) of the (circle one) Site Plan Review / Subdivision Regulations. A Waiver of this Section meets (circle one) Criteria A / Criteria B because This is a small site with limited opportunities to provide recreational facilities. However, the property is located just a block from Colburn Park, the Rail Trail and the CCBA, which offer numerous recreational opportunities for the 7 Bank tenants.
7. Section 6.6.C.2.3 of the (circle one) Site Plan Review / Subdivision Regulations. A Waiver of this Section meets (circle one) Criteria A / Criteria B because There are no proposed changes to the footprint of the building and site, other than the planting of some trees and shrubs to supplement the existing landscape. With the very limited site activities, providing an erosion and sediment control plan is unnecessary and would require the hire of a civil engineer.
8. Section 5.1.E(12), 6.7 of the (circle one) Site Plan Review / Subdivision Regulations. A Waiver of this Section meets (circle one) Criteria A / Criteria B because We are proposing no changes to the existing outdoor lighting, which is limited to five wall mounted fixtures shown on the drawings. Given the landlocked and tight site, lighting for parking and drive aisles is shared between the neighboring properties, making it extremely difficult to isolate and evaluate the lighting in a photometric study.

SIGNATURE

I (we) hereby submit this application to the Planning Board and attest that to the best of my (our) knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As the applicant or as the agent of the applicant, I attest that I am duly authorized to act in this capacity.

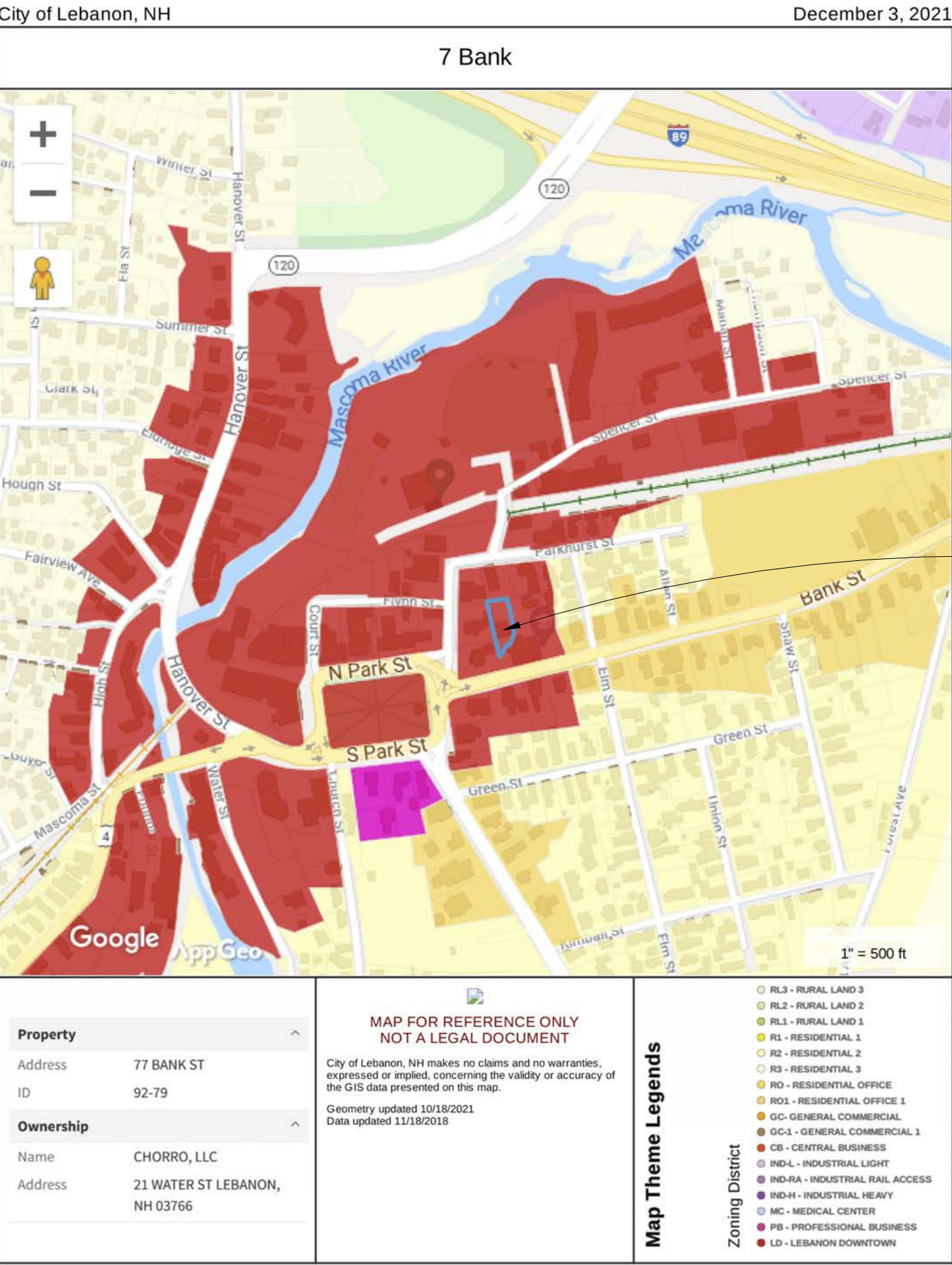
Signature of Applicant:  Date: December 13, 2021

9. Section **6.10.9.c.ii** of the **Site Plan Review** Regulations. A Waiver of this Section meets **Criteria A** because:

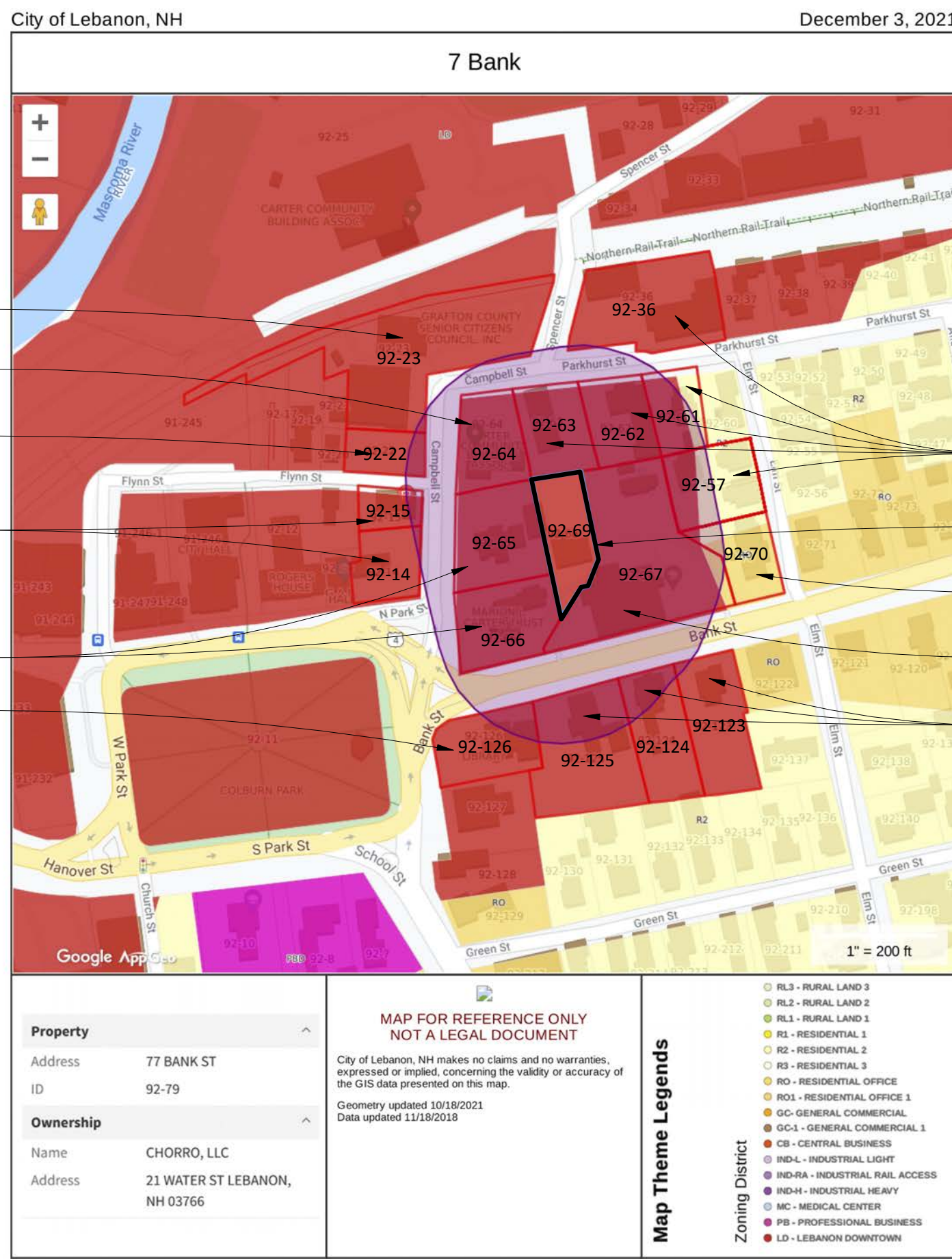
We are maximizing the usable area of the façade, providing about 19% of the second floor wall area facing Bank Street with windows. Given the interior configuration of the unit, the relatively small size of the existing windows and the combination of high ceiling and eaves, providing additional windows is neither practical nor works with the façade design. We have however met the transparency requirement on the first floor.

10. Section **307.8C** of the **Zoning Code** Regulations. A Waiver of this Section meets **Criteria A** because:

This is an existing building and does not meet the 12' minimum requirement for first floor height.



1" = 500' VICINITY REFERENCE MAP



1" = 200' ABUTTER REFERENCE MAP

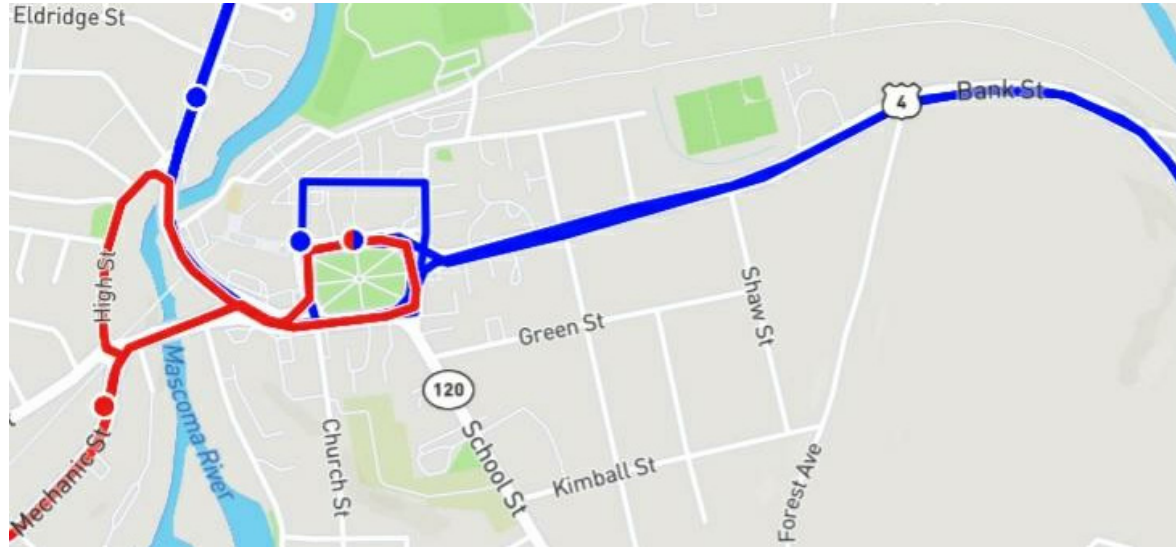
TABLE OF CONTENTS		
1 OF 5	G-0	VICINITY & ABUTER PLANS, PHOTOMETRIC, AND ZONING TABLE
2 OF 5	G-1	ARCHITECTURAL SITE PLAN
3 OF 5	G-2	FLOOR PLANS
4 OF 5	G-3	ELEVATIONS AND DETAILS
5 OF 5	G-4	SITE PHOTOS

OWNER:
LEDGEWORKS
21 WATER STREET
LEBANON, NH 03766

CONTACT: TIM SIDORE
EMAIL: tim@ledgeworks.com
PHONE: 603.727.9024
CELL: 603.322.3260

ARCHITECT:
STUDIO NEXUS
ARCHITECTS + PLANNERS, LLC
46 SOUTH MAIN STREET, SUITE 206
PO BOX 275
WHITE RIVER JUNCTION, VT 05001

CONTACT: JIM WASSER
EMAIL: jimw@studionexusarch.com
PHONE: 802.275.5110 EXT. 101



TRANSIT ROUTE MAP-ADVANCED TRANSIT RED & BLUE LINES (NOT TO SCALE)

7 BANK ST. - ZONING TABLE

ITEM	Required/Allowable	7 Main Street	
		Existing	Proposed
1 Zoning District/Designation		7 Bank St.	Same
2 Tax Map & lot number		LD	Same
3 Area of Lot (Acres)	10,000 sf minimum	92-68	Same
4 Building Gross Floor Area (SF) finished		14,374	Same
5 Parking Spaces	As determined by Board (Former uses were office and residential)	6,499	Same
6 Number of Loading Spaces		7	7
7 Building Height (Ft)	45' (maximum)	0	0
8 Number of Stories		30	30
Basement		3 not including basement	Same
First		2,319	Same
Second		2,319	Same
Third		601	Same
9 Use	Office, Multi-Family Dwelling	1,260	Same
10 Setbacks (Ft)*		Office, One Family Dwelling	Office, Multi-Family Dwelling
Front	0		
Side	0	0	0
Rear	10	10	10
11 Building Footprint Area (SF)	None	2,319	2,319
Total Building Coverage on Lot (%)	25%	16.1%	16.1%
12 Overlay District		None	None
Impervious surfaces (%)		86.3%	86.3%
Impervious surfaces (sf)		12,400	12,400



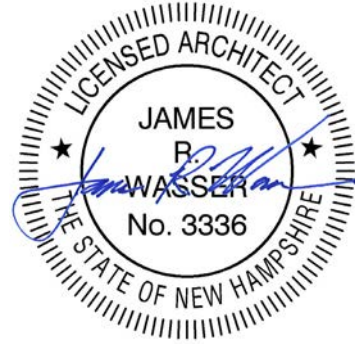
STUDIO NEXUS

ARCHITECTS + PLANNERS
PO Box 275, White River Junction, VT 05001
802 275 5110 | studionexusarch.com

Chorro LLC

7 Bank St
Apartments

Issued For:
SITE PLAN REVIEW



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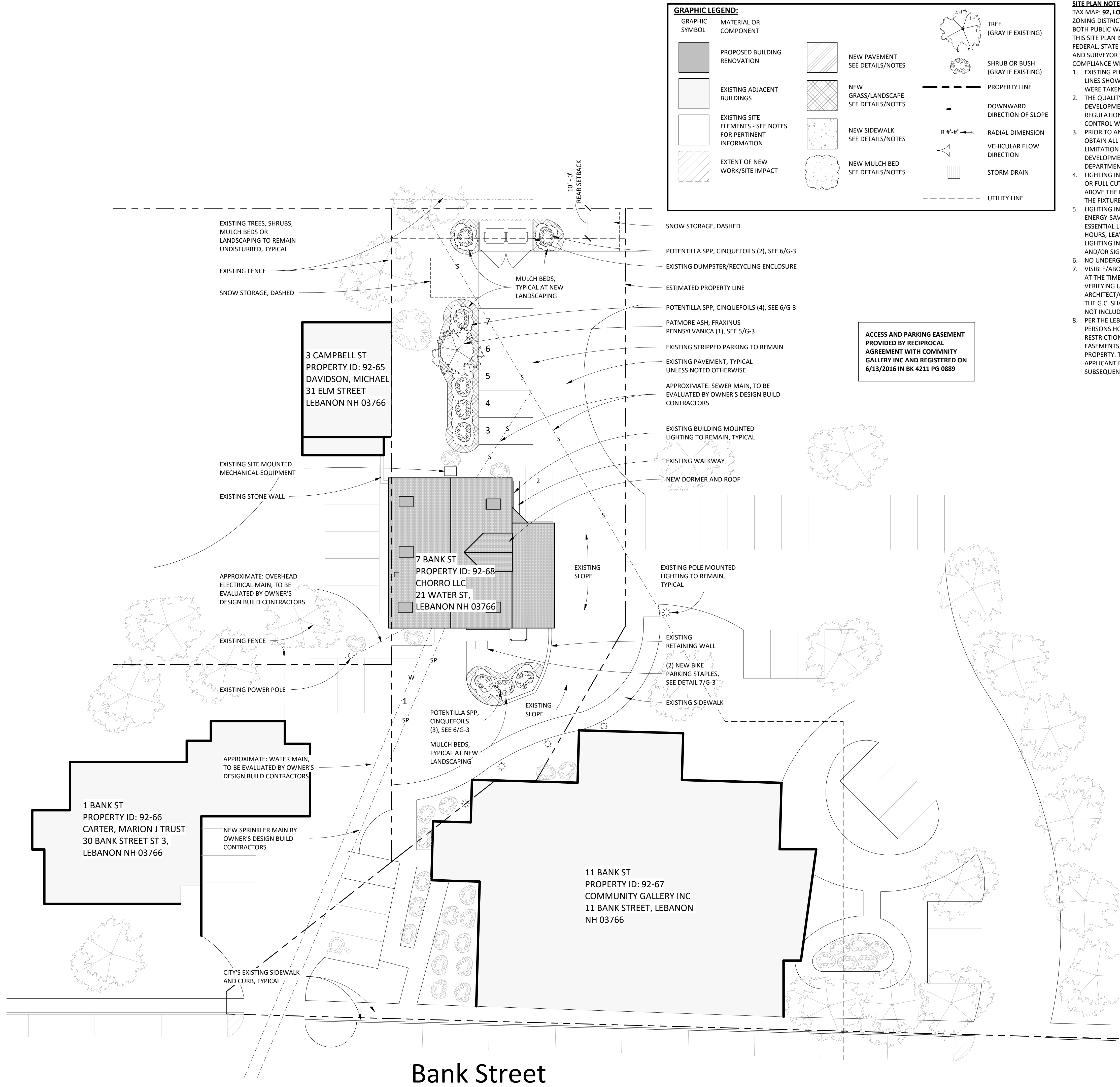
Issue Date: December 6, 2021

Revisions		
No.	Description	Date

VICINITY & ABUTER
PLANS,
PHOTOMETRIC,
AND ZONING
TABLE

Project No.: 2113

G-0
1 OF 5



- SITE PLAN NOTES:**
TAX MAP: 92, LOT: 79
ZONING DISTRICT: RESIDENTIAL OFFICE (RO)
BOTH PUBLIC WATER & SEWER SYSTEM
THIS SITE PLAN IS DIAGRAMMATIC AND THE PROPOSED CHANGES MUST COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SURVEYOR TO OBTAIN PERMITS AND LOCATE ALL NEW SITE IMPROVEMENTS IN COMPLIANCE WITH ALL REGULATIONS AND CALCULATIONS HEREIN.
- EXISTING PHYSICAL FEATURES, TOPOGRAPHY UNDERGROUND UTILITIES AND BOUNDARY LINES SHOWN HERE ARE REFERENCED FROM THE TOWN OF LEBANON GIS TAX MAP AND WERE TAKEN FROM OBSERVATIONS AT THE TIME OF THE SITE VISIT.
 - THE QUALITY OF GROUNDWATER SHALL NOT BE ADVERSELY AFFECTED BY THE PROPOSED DEVELOPMENT. THE PROPOSED DEVELOPMENT WILL NOT VIOLATE THE RULES AND REGULATIONS OF THE NEW HAMPSHIRE DIVISION OF WATER SUPPLY AND POLLUTION CONTROL WITH REGARD TO GROUNDWATER.
 - PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, DEVELOPER OR DESIGNEE SHALL OBTAIN ALL REQUIRED APPROVALS FROM THE CITY OF LEBANON INCLUDING WITHOUT LIMITATION ANY SUCH APPROVALS AS MAY BE REQUIRED THROUGH THE PLANNING AND DEVELOPMENT DEPARTMENT OF PUBLIC WORKS, POLICE DEPARTMENT, AND FIRE DEPARTMENT.
 - LIGHTING INSTALLATIONS SHALL UTILIZE FULLY SHIELDED FIXTURES, AS DEFINED HEREIN, OR FULL CUT-OFF FIXTURES, AS DEFINED BY THE IESNA, SO AS TO PRODUCE NO LIGHT ABOVE THE HORIZONTAL PLANE THROUGH THE LOWEST DIRECT LIGHT-EMITTING PART OF THE FIXTURE.
 - LIGHTING INSTALLATIONS SHALL INCLUDE TIMERS, DIMMERS, SENSORS, AND/OR OTHER ENERGY-SAVING TECHNOLOGIES TO REDUCE OVERALL ENERGY CONSUMPTION. NON-ESSENTIAL LIGHTING SHALL BE TURNED OFF OR REDUCED AFTER NORMAL BUSINESS HOURS, LEAVING ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES. (NON-ESSENTIAL LIGHTING INCLUDES, BUT MAY NOT BE LIMITED TO, DISPLAY, AESTHETIC, PARKING, AND/OR SIGN LIGHTING AS DETERMINED BY THE BOARD.)
 - NO UNDERGROUND VERIFICATION OF UTILITIES HAS BEEN DONE.
 - VISIBLE/ABOVE GROUND UTILITIES SHOWN ON PLANS WERE TAKEN FROM OBSERVATIONS AT THE TIME OF THE SITE VISIT. THE CONTRACTOR(S) IS (ARE) RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES BETWEEN UTILITIES SHOWN AND AS FOUND. THE G.C. SHALL NOTIFY DIG SAFE (811 OR 888-0344-7233) A MINIMUM OF 72 HOURS, BUT NOT INCLUDING WEEKENDS AND HOLIDAYS PRIOR TO ANY CONSTRUCTION
 - PER THE LEBANON SITE PLAN REVIEW REGULATIONS, SECTIONS 5.1.D.5 AND 5.1.D.6: NO PERSONS HOLD CONSERVATION, PRESERVATION, OR AGRICULTURAL PRESERVATION RESTRICTIONS IN THE SUBJECT PROPERTY, AND NO PERSONS CURRENTLY HOLD ANY EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS ON OR OVER THE SUBJECT PROPERTY. THE SUBJECT PROPERTY'S DEED IDENTIFIES A POTENTIAL RIGHT OF WAY THAT APPLICANT BELIEVES HAS LONG SINCE BEEN ABANDONED DUE TO DISUSE AND SUBSEQUENT BLOCKING FROM A CHAIN LINK FENCE AT THE PROPERTY LINE.



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NEXUS**

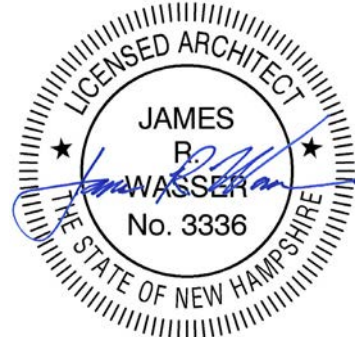
ARCHITECTS + PLANNERS

PO Box 275, White River Junction, VT 05001
802 275 5110 | studionexusarch.com

Chorro LLC

**7 Bank St
Apartments**

Issued For:
SITE PLAN REVIEW



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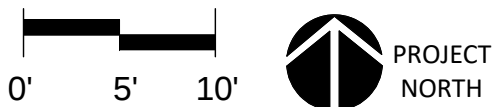
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No.	Description	Date

**ARCHITECTURAL
SITE PLAN**

Project No.: 2113

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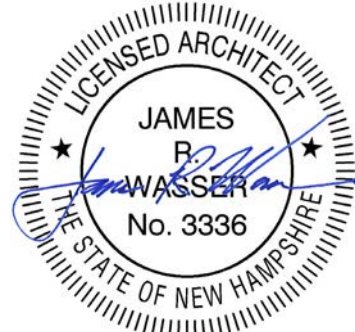
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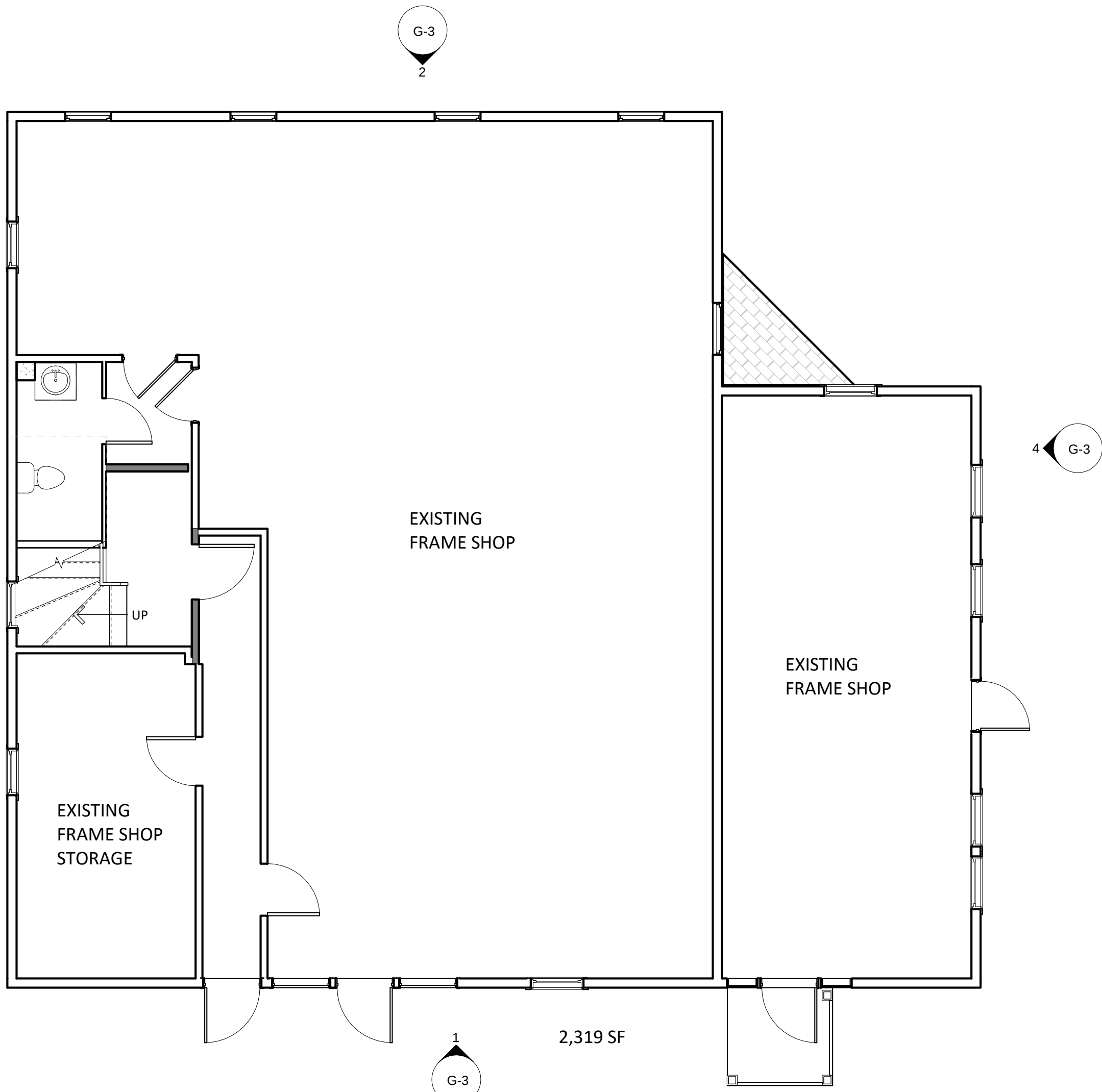
FLOOR PLANS

Project No.: 2113

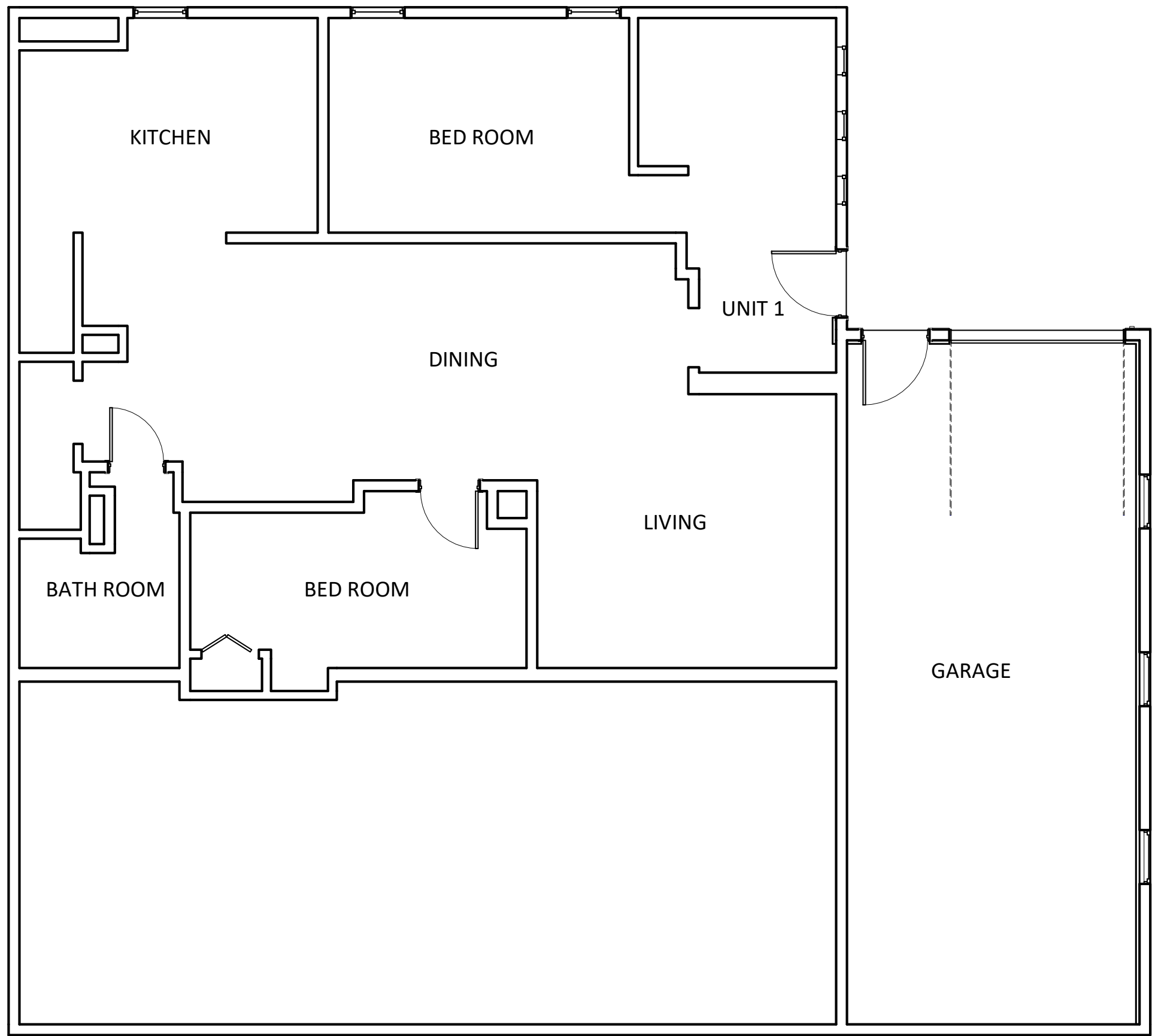
G-2
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3 FIRST FLOOR PLAN
3/16" = 1'-0"



1 BASEMENT PLAN
3/16" = 1'-0"



2 LOWER AND UPPER SECOND PLANS
3/16" = 1'-0"



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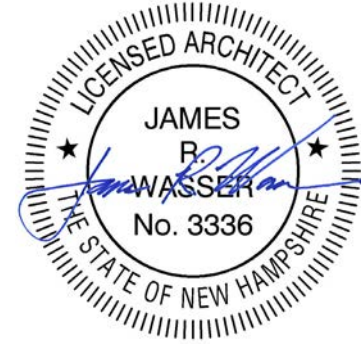
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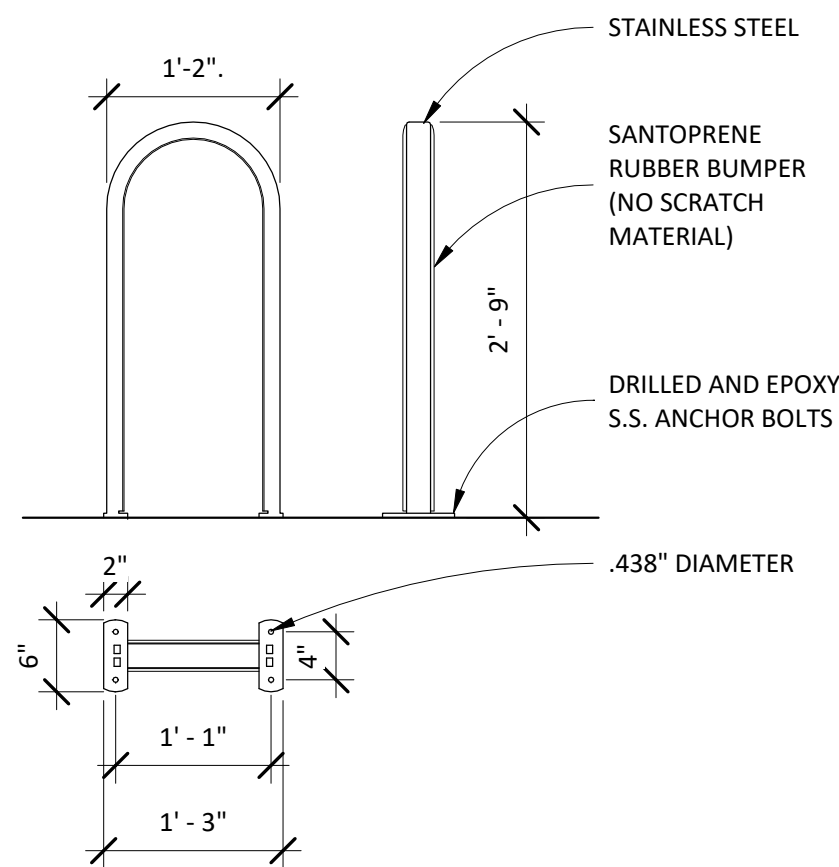
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ELEVATIONS AND DETAILS

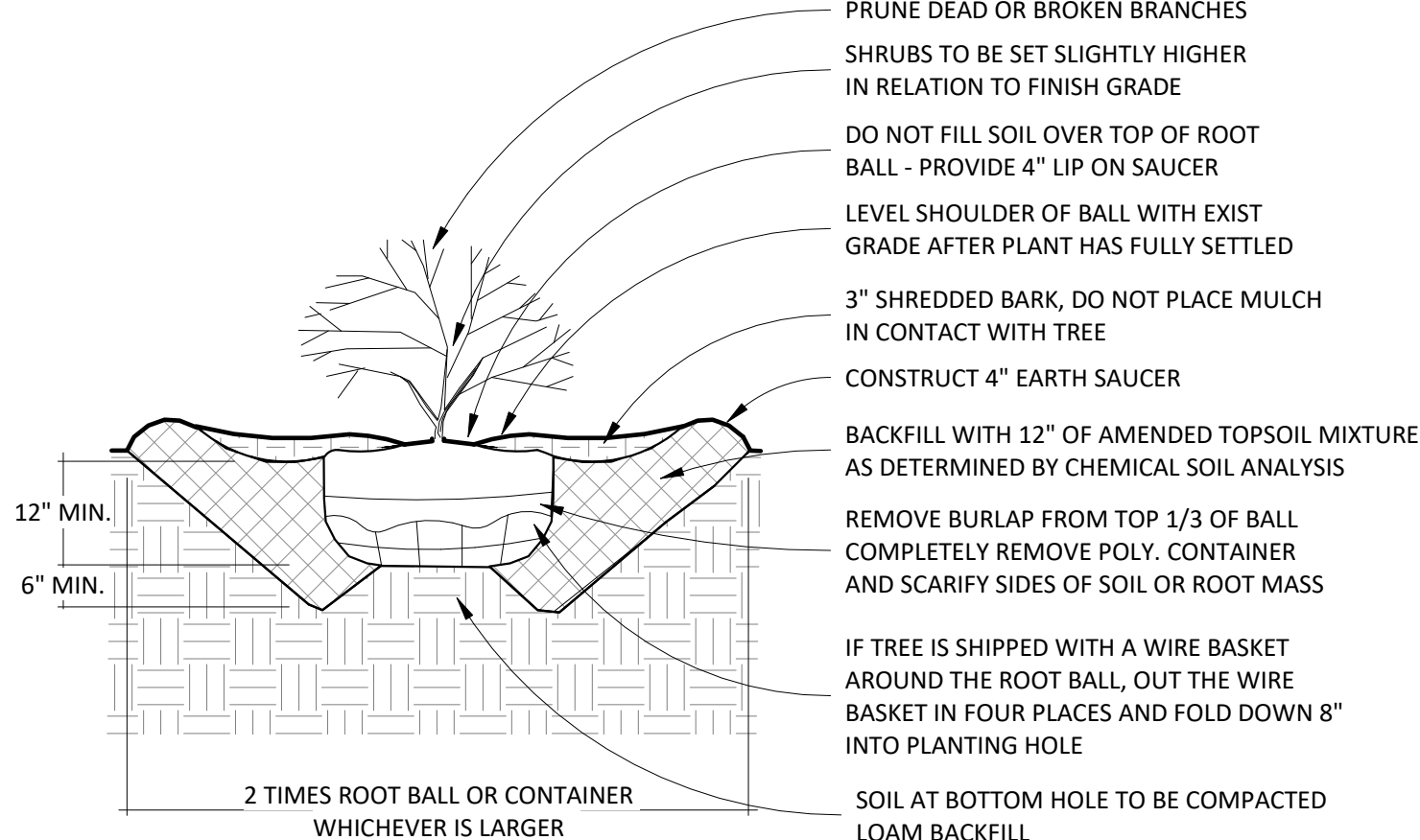
Project No.: 2113

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4 OF 5

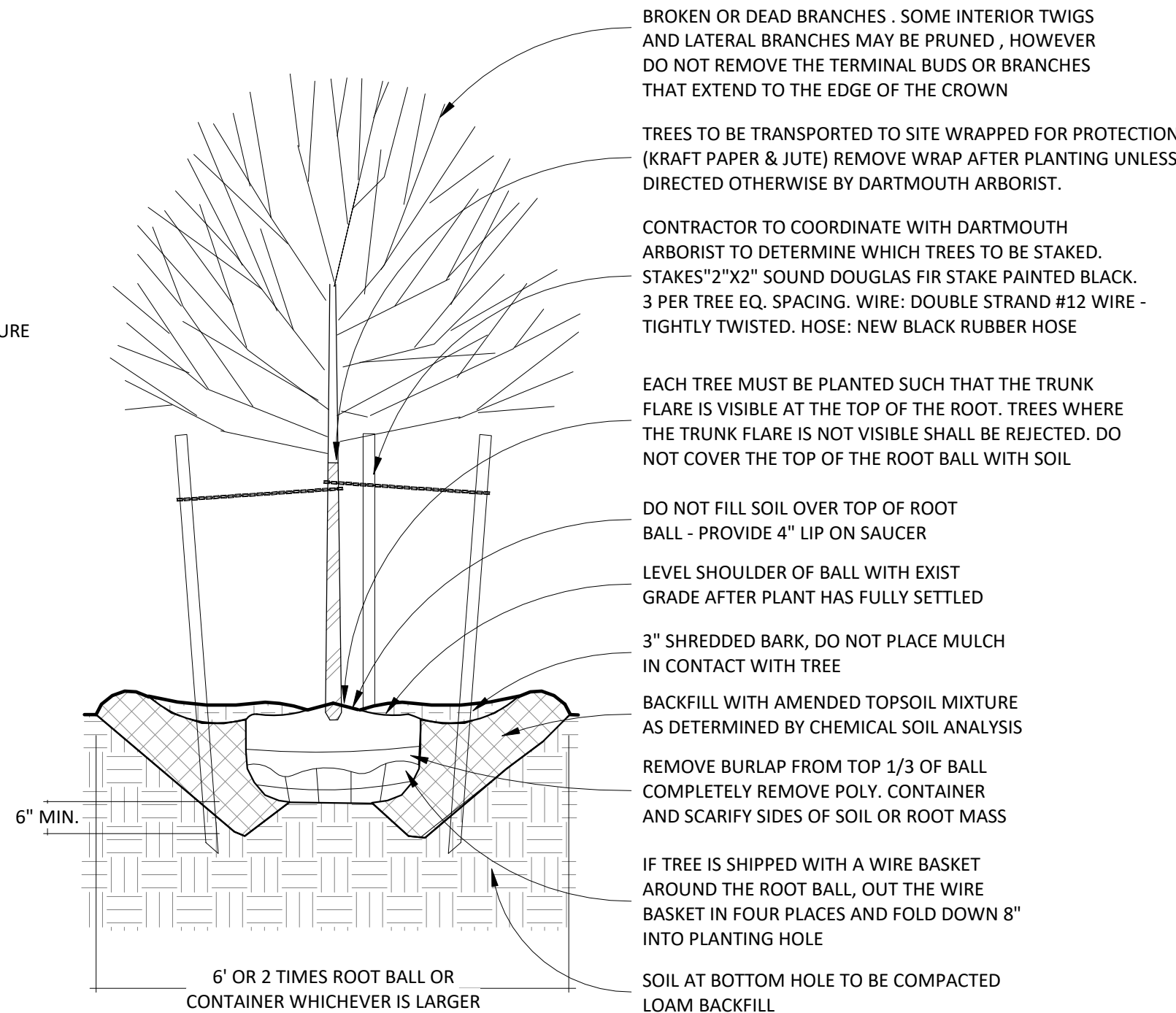
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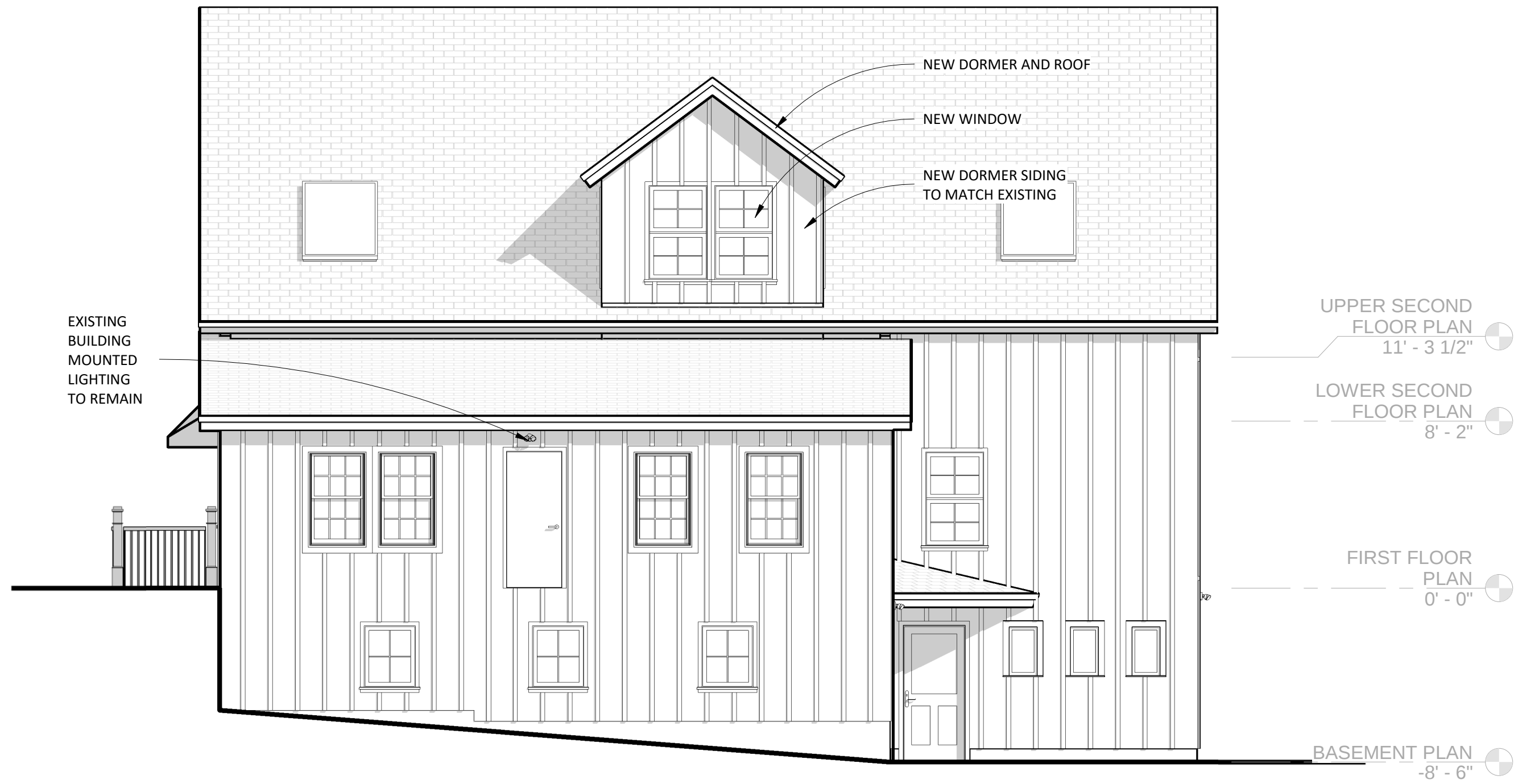
7 BIKE RACK
3/4" = 1'-0"



6 DECIDUOUS SHRUB PLANTING DETAIL
1/2" = 1'-0"



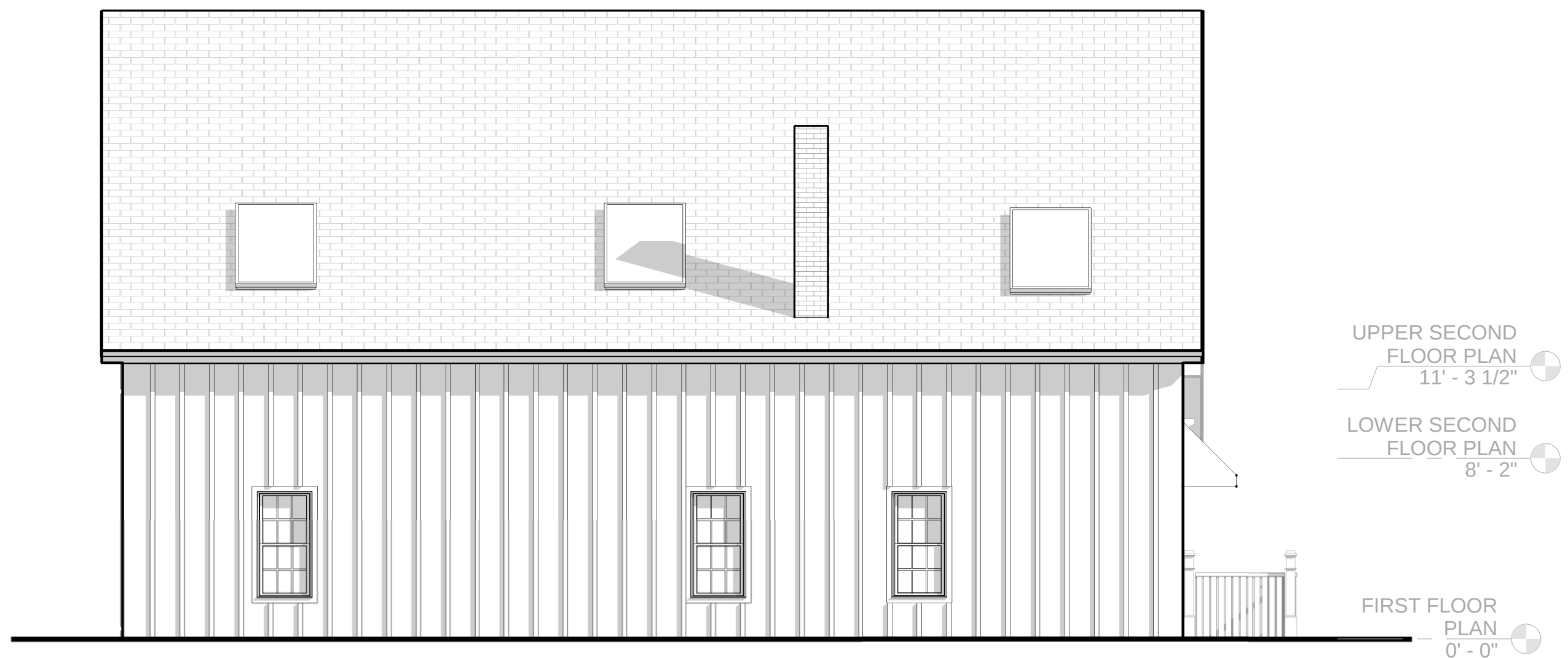
5 DECIDUOUS TREE PLANTING DETAIL
1/2" = 1'-0"



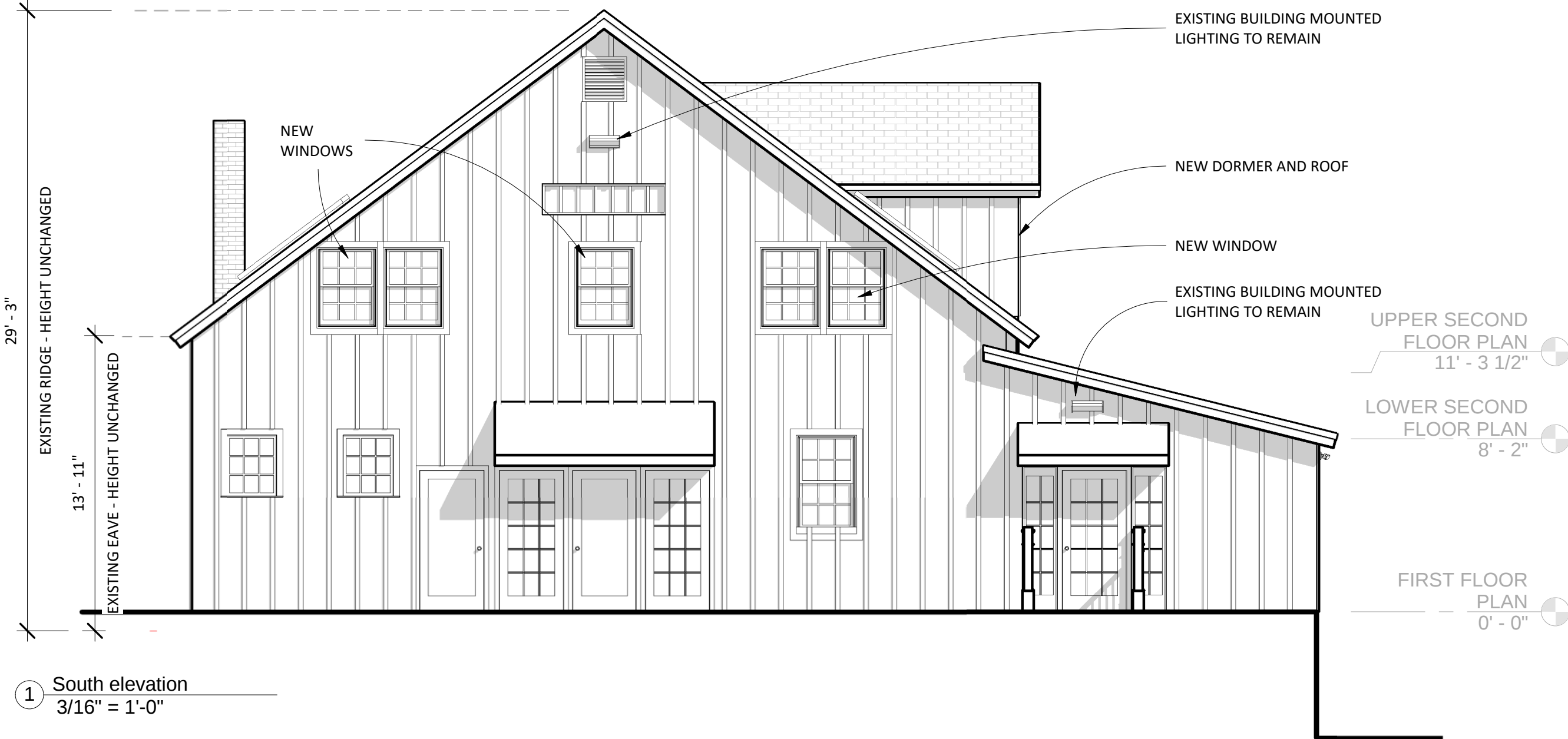
4 East elevation
3/16" = 1'-0"



2 North elevation
3/16" = 1'-0"



3 West elevation
3/16" = 1'-0"



1 South elevation
3/16" = 1'-0"



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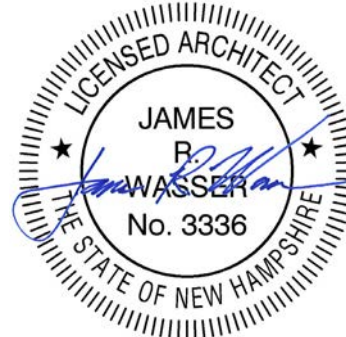
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Chorro LLC

7 Bank St
Apartments

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SITE PLAN REVIEW



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No.	Description	Date

SITE PHOTOS

Project No.: 2113

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5 OF 5

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**Agenda
Minor Site Plan Committee
January 13, 2022**

**Agenda Item #3B
Public Hearing Items**

**Upper Valley Utopia, LLC,
7 Slayton Hill Road
(Tax Map 105, Lot 32),
zoned GC
MSP2021-04**

**CITY OF LEBANON
APPLICATION FOR**

SPECIAL EXCEPTION	☐	☐	SITE PLAN REVIEW
VARIANCE	☐	☐	SUBDIVISION
MOTION FOR REHEARING	☐	☐	LOT LINE ADJUSTMENT
APPEAL OF AN ADMIN. DECISION	☐	☐	CONDITIONAL USE PERMIT
MINOR SITE PLAN REVIEW	☒	☐	OTHER

PROPERTY OWNER (APPLICANT):

NAME: Upper Valley Utopia LLC / Debra Paduda TEL.#: 203.623.1369
 MAILING ADDRESS: 29 Barker Rd Plainfield, NH 03781
 E-MAIL ADDRESS: DePaduda@gmail.com

CO-APPLICANT, AGENT, OR LESSEE:

NAME: _____ TEL.#: _____
 MAILING ADDRESS: _____
 E-MAIL ADDRESS: _____

PROJECT LOCATION:

TAX MAP #: P25 LOT#: 105 PLOT #: 32 ZONE: GC
 STREET ADDRESS OF PROJECT: 7 Slagton Hill Rd
 IS THIS PROPERTY LOCATED IN THE: **WETLANDS** ☐ YES ☒ NO **HISTORIC DISTRICT** ☐ YES ☒ NO
FLOOD PLAIN ☐ YES ☒ NO

SCOPE OF PROJECT:

convert former veterinary facility to 3 ZBR apartments

TYPE OF OCCUPANCY:

EXISTING ☐ VACANT ☐ ONE FAMILY ☐ TWO FAMILY ☒ MULTI-FAMILY ☒ COMMERCIAL ☐ INDUSTRIAL
 PROPOSED ☐ VACANT ☐ ONE FAMILY ☐ TWO FAMILY ☒ MULTI-FAMILY ☐ COMMERCIAL ☐ INDUSTRIAL
 IF USE IS **COMMERCIAL** OR **INDUSTRIAL**, PLEASE NOTE **SPECIFIC** USE: _____

SIGNATURE BLOCK:

FOR PLANNING BOARD APPLICATIONS ONLY: I, the undersigned, hereby submit this application on the date noted below with the knowledge and understanding that the Planning Board shall determine if the submitted application is complete according to its regulations at its next regularly scheduled meeting on _____, 20____, unless I personally request, in writing, that the Board delay its determination of completeness to a later date.

PROPERTY OWNER: Upper Valley Utopia LLC DATE: 12/20/2021
 PRINT NAME: Debra Paduda

NOTE: IF, AS OWNER, YOU WISH TO DESIGNATE AN AGENT TO ACT ON YOUR BEHALF, PLEASE READ THE FOLLOWING AND SIGN BELOW: I hereby designate the person listed above as my agent for the purpose of procuring the necessary local permits for the proposed work as described herein. Representations made by my agent may be accepted as though made by me personally, and I understand that I am bound by any official decision made on the basis of such representation.

PROPERTY OWNER: _____ DATE: _____

DATE RECEIVED	FILE # (Map/Lot)	APPLICATION #	FEE - \$ AMOUNT	DATE PAID	VOUCHER #
12-23-21	105/32	MSR2022-	\$175.08	12-23-21	18589

(Last Revised 11/03/2021)

03



City of Lebanon, New Hampshire

APPLICATION FOR MINOR SITE PLAN REVIEW

SUPPORT STATEMENT

Office Use Only Date Received: _____ Application No.: _____

I. APPLICATION CHECKLIST [per §3.2.B.7 of the Site Plan Review Regulations]

An Application, completed in full and signed by the property owner [§3.2.B.7.a]

This Support Statement, completed in full and signed by the applicant [§3.2.B.7.b]

Payment of the appropriate filing fees [§3.2.B.7.c]

A completed Public Hearing Notification List [§3.2.B.7.d]

A digital copy of the site plan set, prepared in accordance with the requirements of §3.2.B.7.e, in .PDF format

Optional: photos and any other materials in support of your application

II. PROJECT DESCRIPTION

Describe your proposed project with as much detail as possible, including but not limited to changes to the use(s), to the exterior of the building, and to the site. You can respond in the space provided below or on a separate sheet of paper.

Removally/updating the vet office. This includes a sprinkler system - we would also like to go up on the Stratton Hill Rd side with an aesthetically pleasing apartment.

III. SITE PLAN TECHNICAL CHECKLIST

The site plan shall:	Info. Provided
<u>3.2.B.7.e</u> - Be scaled	☒
<u>3.2.B.7.e</u> - Be prepared utilizing the current approved site plan as a base map, if available	☒
<u>3.2.B.7.e</u> - Identify all abutters	☒
<u>3.2.B.7.e.i</u> - Indicate the site location	☒
<u>3.2.B.7.e.i</u> - Indicate the address of the subject property	☒
<u>3.2.B.7.e.i</u> - Indicate the zoning classification of the subject property	☒
<u>3.2.B.7.e.ii</u> - Describe the size, shape, and use of the subject property	☒
<u>3.2.B.7.e.ii</u> - Describe relevant information about existing site topography, drainage, hydrologic features, vegetation, and other natural features	☒
<u>3.2.B.7.e.ii</u> - Describe proposed changes to site topography, drainage, hydrologic features, vegetation, and other natural features	☒

Support Statement
Page 2 of 2

I hereby attest that to the best of my knowledge all of the information on this Support Statement and in the accompanying Minor Site Plan application materials and documentation is true and accurate.

12/23/2021
Date

7 Slayton Hill
Minor Site Review Documentation
Upper Valley Utopia LLC
29 Barker Road Plainfield NH 03781

Subject property

Lot – 105-32

Address – 7 Slayton Hill

Zoning - GC

Owner – Upper Valley Utopia LLC, 29 Barker Rd Plainfield NH 03781

Existing Usage

- Veterinary office – 2595 sq ft on field card; actual 1535 sq ft
- L1 apartment – 824 sq ft
- U2 apartment – 680 sq ft
- U3 apartment – 780 sq ft +/- (under construction)

Proposed Usage – Multifamily dwelling, mixed use (6 apartments)

Current Parking – 16+ parking spaces @ 9x16

Required Parking under proposed usage – 11 spaces

Addition of a second story on part of the structure as indicated in the architectural drawings

All landscaping, parking areas, ramps, walkways, driveways, lighting fixtures, signs, stormwater control devices, exterior waste receptacles, exterior equipment, utilities, solar panels, wind generators, condensers, transformers are depicted on the attached Minor Site Plan.

Please note additional landscaping will be done along southern property line abutting 9 Slayton Hill Road.

Proposed Unit square footage –

Apartment A – 816 sq ft

Apartments B and C – approximately 720 sq ft

Abutters

Lot – 105-33

Address – 9 Slayton Hill

Zoning - GC

Usage – single family

Owner – Jason and Stephanie Gunn

Lot – 105-31

Address 129 Mechanic Street

Zoning - GC

Usage – medical office

Owner - Georgia Tuttle Revocable Trust, 10 Mack Ave, West Lebanon NH

Lot – 105-106

Address – 10 Slayton Hill

Zoning - GC

Usage – General office

Owner - Raymond Lowery, 10 Slayton Hill #102

Lot – 105-107

Address – 4 Slayton Hill

Zoning - GC

Usage – small retail – beauty shop

Owner – Denise Roberts, 104 Mascoma St. Lebanon NH

Lot – 105-27

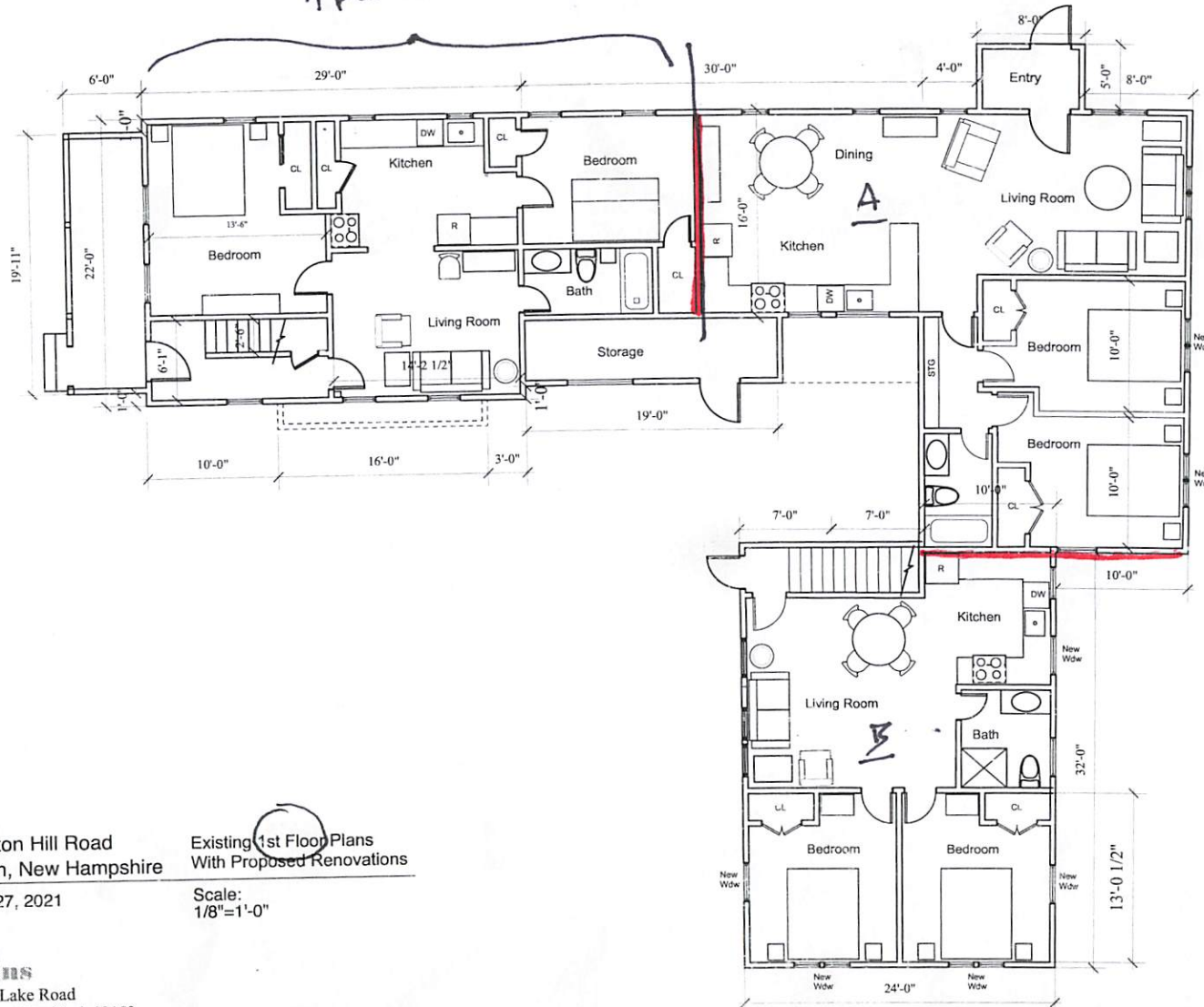
Address – 106 Mechanic St

Zoning – R2

Usage – small retail/office

Owner Laurentides Prop LLC, 65 Great Brook Rd Lebanon NH 03766

Existing
Apartment



57 Slayton Hill Road
Lebanon, New Hampshire

October 27, 2021

Existing 1st Floor Plans
With Proposed Renovations

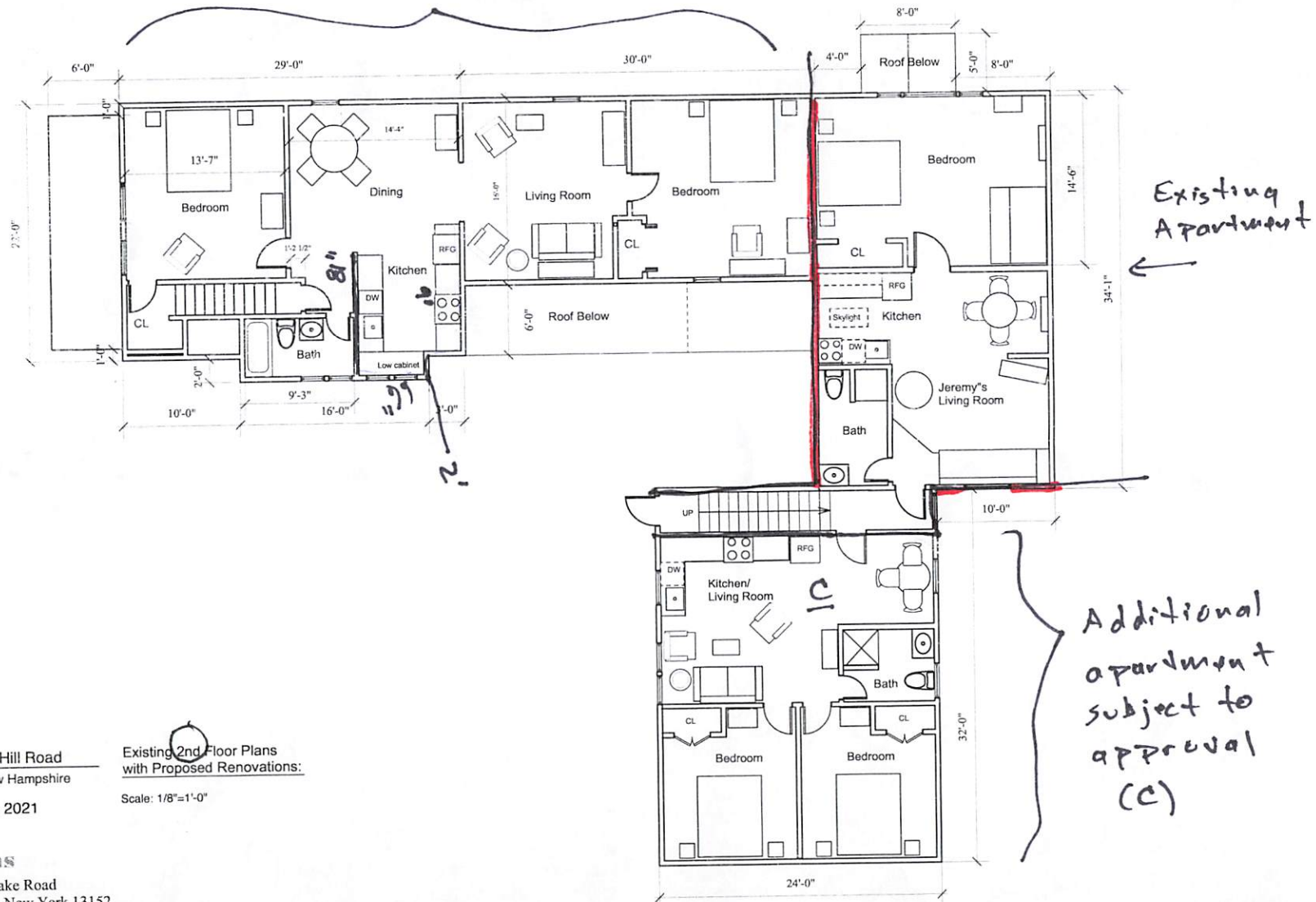
Scale:
1/8"=1'-0"

**Dietz
Designs**

2773 East Lake Road
Skaneateles, New York 13152

2 additional
apartments
subject to
approval
(A+B)

New apartment approved earlier this Fall



87 Slayton Hill Road
Lebanon, New Hampshire

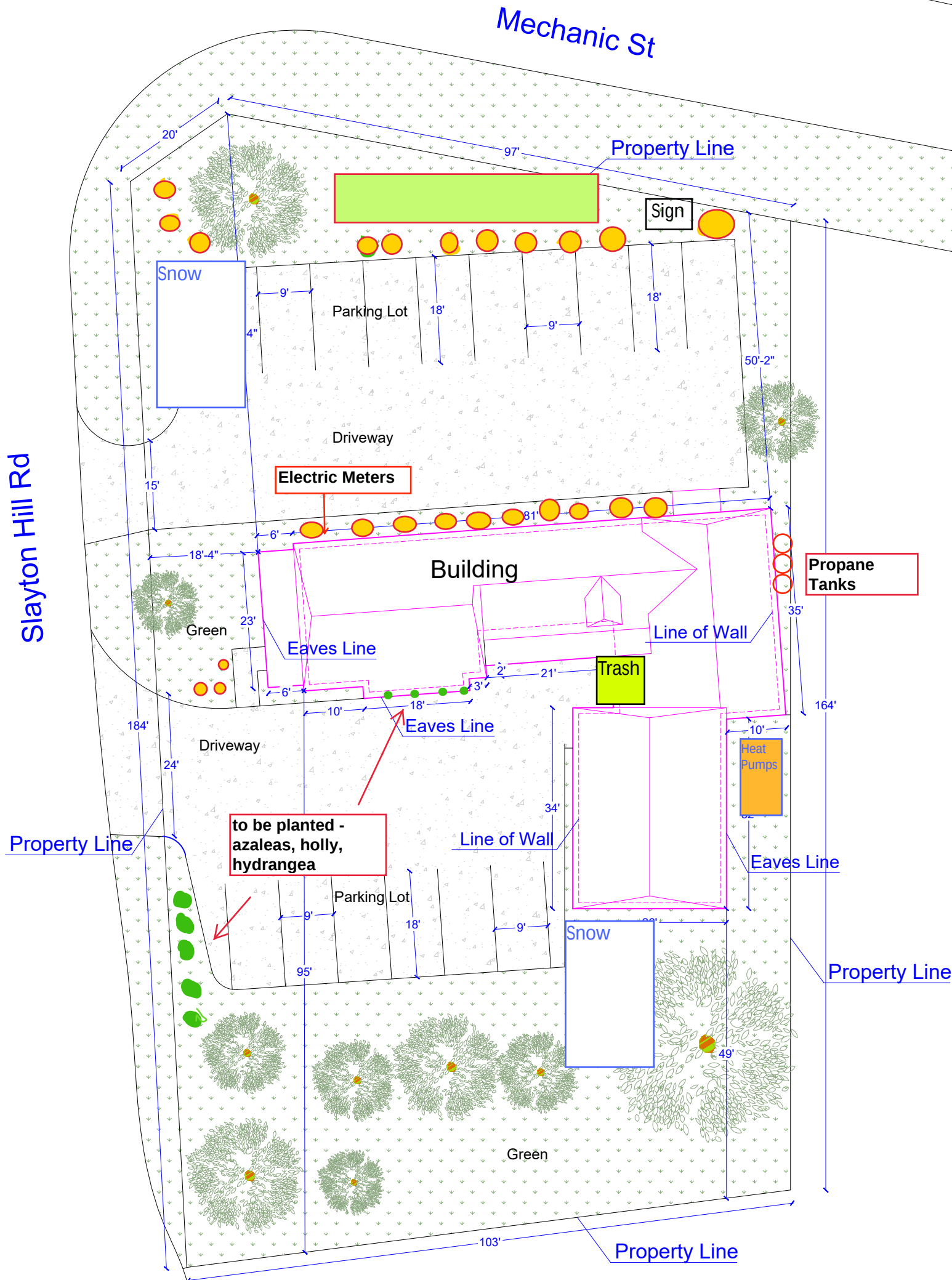
October 27, 2021

**Dietz
Designs**

2773 East Lake Road
Skaneateles, New York 13152

Existing 2nd Floor Plans
with Proposed Renovations:

Scale: 1/8"=1'-0"



-  New Plantings
-  Existing yews

Parcel ID: 105-32
Land: 0.43 AC
Building: 3285 SF
7 Slayton Hill Rd
Lebanon, NH 03766 USA
scale: 1" = 20'

**Agenda
Minor Site Plan Committee
January 13, 2022**

**Agenda Item #5A
Approval of Minutes**

November 17, 2021

DRAFT

**LEBANON MINOR SITE PLAN COMMITTEE
COUNCIL CHAMBERS, CITY HALL OR
REMOTE VIA VIRTUAL PLATFORM
LEBANONNH.GOV/LIVE
MONDAY, November 17, 2021
7:00 PM**

MEMBERS PRESENT: David Brooks (Planning Director), Tim Corwin (Senior Planner), Brian Vincent (City Engineer), Duane Egner (Fire Inspector), Captain Tim Cohen (Police Department)

STAFF PRESENT: Calvin Hunnewell (Building Inspector)

1. Call to Order

Mr. Corwin called the meeting to order at 11:00 am.

2. Notice of Regional Impact

A MOTION by Duane Egner that the application of Upper Valley Utopia, LLC, 7 Slayton Hill Road (Tax Map 105, Lot 32), zoned GC, convert an existing mixed use, two (2) family building to a mixed use, multi-family building (MSP2021-01) does not have the potential for regional impact. The motion was seconded by Tim Cohen.

**The MOTION was approved (5-0).*

3. Public Hearing Items

- A. **Upper Valley Utopia, LLC, 7 Slayton Hill Road (Tax Map 105, Lot 32), zoned GC:**
Applicant proposes to convert an existing mixed use, two (2) family building to a mixed use, multi-family building. MSP2021-01

Mr. Corwin stated that Planning staff recommends the application is complete enough for the Committee to accept jurisdiction and commence review.

A MOTION by Tim Cohen that the application of Upper Valley Utopia, LLC, 7 Slayton Hill Road (Tax Map 105, Lot 32), zoned GC, is complete enough for the Minor Site Plan Committee to accept jurisdiction and commence review. The motion was seconded by Brian Vincent.

**The MOTION was approved (5-0).*

Joe and Deb Padua, of Upper Valley Utopia, LLC, presented the application and explained their proposal to add a third dwelling unit to the building. A portion of the building that was previously utilized as office space will remain vacant for now, but they have plans to convert that space into another 3 dwelling units for a total of 6. The entire building will be sprinklered as part of their current proposal to add a third dwelling unit.

1 Mr. Vincent noted that an excavation permit will be required for the water service tie in. He also
2 recommended obtaining sewer allocation now for all 6 intended units.

3
4 The applicants confirmed there is no plan to change the configuration of the existing driveways.

5
6 Mr. Corwin stated that screening will need to be provided for the dumpster, as required by Section 6.2 of
7 the Site Plan Review Regulations.

8
9 The applicants described the proposed landscaping for the property and stated that additional landscaping
10 has already been added along the Slayton Hill and Mechanic Street frontages and along the front building
11 façade, including rhododendrons and hollies. They may also add arborvitae or cedars in place of existing
12 willows and alders.

13
14 Mr. Hunnewell clarified the need for Building Permits for gutting and insulation and for adding the 3rd
15 unit. The applicant stated that they would like both permits at the same time if possible.

16
17 The applicants explained the status of sprinkler system design, and noted that Dana Key will be
18 completing the site work for the water line upgrade.

19
20 Mr. Corwin asked if there was anyone from the public present at the meeting who would like to address the
21 application. Seeing no one in the audience or on-line, he closed the public hearing.

22
23 ***A MOTION by Duane Egner*** that the Lebanon Planning Board **APPROVE** the application of Upper Valley
24 Utopia, LLC, 7 Slayton Hill Road (Tax Map 105, Lot 32), MSP2021-01, zoned GC, provided that the
25 applicant revise the site plan submitted with the application to provide additional information on the types
26 and quantities of proposed landscaping.

27 ***The motion was seconded by Tim Cohen.***

28
29 ****The MOTION was approved (5-0).***

30
31 **4. Other Business** – there was none.

32
33 **5. Approval of Minutes** – there were none.

34
35 **6. Adjournment**

36
37 ***A MOTION by Duane Egner to adjourn the meeting.***

38 ***The motion was seconded by Tim Cohen.***

39
40 ****The MOTION was approved (5-0).***

41
42 The meeting was adjourned at 11:36 am.

43
44 Respectfully submitted,

45
46 Tim Corwin
47 Senior Planner