



**LEBANON ZONING BOARD OF ADJUSTMENT
FEBRUARY 7, 2022 - 7:00 PM
COUNCIL CHAMBERS, CITY HALL OR
REMOTE VIA VIRTUAL PLATFORM
LEBANONNH.GOV/LIVE**

-
- 1. Call to Order**
 - 2. Approval of Minutes**
 - A. January 3, 2022
 - 3. Public Hearing Items**
 - A. **Cicotte Properties, LLC, 175 Heater Road (Tax Map 64, Lot 30), zoned IND-L:** The property is improved with a non-conforming vehicular sales use. Applicant requests a Special Exception per Section 702.1 of the Zoning Ordinance, or if appropriate, a variance to permit additional parking on the subject property. ZB2021-24-SE - Continued from January 3, 2022
 - 4. Staff Comments**
 - 5. Adjournment**

The order of agenda items is subject to change.

Meetings are open for in-person and remote attendance. Members of the public that wish to attend remotely may do so by going to [LebanonNH.gov/Live](https://lebanonnh.gov/Live) where you will find instructions on how to enter the meeting. Members of the public will be able to participate and ask questions through the City's virtual platform or by phone. Please note: Should technical difficulties occur during the meeting that disrupts virtual or phone connection(s), the meeting will continue without remote access capabilities.

If you have any questions or would like to view the files for the application identified above, please contact the Planning & Development Department by sending an e-mail to planning@lebanonnh.gov, or by calling 603-448-1457, or by visiting the Planning and Development Office located in City Hall during regular work hours, Monday through Thursday, 7AM to 5PM. The application materials will also be posted to the City's website at [LebanonNH.gov/Agendas](https://lebanonnh.gov/Agendas).

**Agenda
Zoning Board of Adjustment
February 7, 2022**

**Agenda Item #2A
Approval of Minutes**

January 3, 2022

DRAFT

**LEBANON ZONING BOARD OF ADJUSTMENT
COUNCIL CHAMBERS, CITY HALL OR
REMOTE VIA VIRTUAL PLATFORM
LEBANONNH.GOV/LIVE
MONDAY, January 3, 2022
7:00 PM**

MEMBERS PRESENT: Chair William Koppenheffer, Vice Chair Mercer, Jeremy Katz, Dan Nash, Dave Newlove, Paul McDonough (Alt),

MEMBERS ABSENT: Jennifer Barkley (Alt)

STAFF PRESENT: Tim Corwin – Senior Planner and Zoning Administrator

1. CALL TO ORDER

The meeting was called to order at 7:02 PM by Chair Koppenheffer.

2. APPROVAL OF MINUTES

Mr. McDonough was given voting privileges for the Minutes.

A. December 6, 2021

*Mr. Nash MOVED to approve the December 2021, Minutes as presented in the January 3, 2022, packet with amendments.
Seconded by Mr. Newlove*

Amendments. Page 1, Line 3; Remove ‘Vice Chair Mercer’ and Add ‘Chair Koppenheffer.’ Page 5, Line 37; correct mute to moot. Page 5, Line 42; Remove ‘the.’ Page 6, Line 4; correct mute to moot.

**The Vote on the Motion was approved (4-0-1).
Vice Chair Mercer abstained because she was absent.*

3. PUBLIC HEARING ITEMS

- A. Cicotte Properties, LLC, 175 Heater Road (Tax Map 64, Lot 30) zoned IND-L:** The property is improved with a non-conforming vehicular sales use. Applicant requests a Special Exception per Section 702.1 of the Zoning Ordinance, or if appropriate, a variance to permit additional parking on the subject property. ZB2021-24-SE - Continued from December 6, 2021

Mr. Nash recused himself and Mr. McDonough was given voting privileges for this hearing.

Johanna Cicotte and Barry Schuster, applicant’s attorney, appeared on behalf of the application. The Zoning Administrator stated that there is a non-conforming vehicular use on the property. The applicant has expanded the parking area for the non-conforming vehicular use and also expanded the paving onto the adjacent property. Tonight, they are only looking at 175 Heater Road, outlined in red on the picture that was presented. The expansion of this parking area requires a variance and the applicant’s special exception is not an appropriate application, as this is an expansion of a nonconforming use. The applicants were notified in October that in order to get relief, the applicant needed a variance. The

1 applicants have filed both a special exception and a variance. Both applications have been included in the
2 packet.

3
4 Ms. Ciotte said she was not aware that paving that portion of the property was not allowed and that she
5 needed to ask for permission to pave it. It has always been used for parking vehicles. The dealership was
6 built in 1985 and it has always been a dealership. The property was re-zoned by the City, and with that, it
7 became a non-conforming use. They made application and the dealership, a non-conforming use, was
8 approved. It has always been the applicant's intention to pave that area at some point because the
9 business is growing. And that property was used for parking all along. She thought the whole property
10 was approved for the non-conforming use.

11
12 Staff said if that portion of the property has been used for parking, it is in violation of the Zoning
13 Ordinances and the site plan. The letter to the applicant in October pointed out that the applicant was in
14 violation related to the parking.

15
16 Members discussed seeing the original site plan to determine which areas of the property were approved
17 for the non-conforming use. Staff suggested that it is extraordinarily unlikely that grassland parking
18 would have been approved. Staff asked the applicant to confirm the approximate measurement of the
19 new paved area. Instead, Mr. Corwin said his estimated measurements are 47 to 22 feet. Some cars are
20 possibly parked in a setback and parked in an area that is not an approved parking area. The original site
21 plan needs to be reviewed to determine if that area was part of the original approval for a non-conforming
22 use.

23
24 Staff explained the differences between the special exception and the variance. The special exception is
25 used to change one non-conforming use to another. But this is an expansion of use and requires a variance.
26 If the original application requested the approval of the grassy parking area, then no applications are
27 required. Staff believes this area was not approved and is therefore an expansion and requires a variance.
28 It is the applicant's burden to provide proof of the original site plan.

29
30 The Board discussed if the special exception application should be heard. Chair Koppenheffer said the
31 October letter told the applicants they need to apply for a variance and are in violation. Staff said criteria
32 801.3C of the ordinance requires that there are no existing violations. There are setback and flood plain
33 violations and the applicants would not be granted with a special exception.

34
35 ***Mr. Katz MOVED to hear both applications, the special exception, and the variance.***
36 ***Seconded by Mr. McDonough.***

37
38 ****The Vote on the Motion was denied. (2-3).***

39 Mr. McDonough and Mr. Katz voting yea.

40 Vice Chair Mercer, Mr. Newlove and Chair Koppenheffer voting nay.

41
42 ***Vice Chair Mercer moved to reject the application for special exception application due to the reasons***
43 ***stated, the criteria cannot be satisfied with the violations that are currently in existence. And, that they***
44 ***only hear the variance application.***

45 ***Seconded by Mr. Newlove.***

46
47 The motion was withdrawn.

48
49 The Board re-voted on the motion made by Mr. Katz, to hear both applications.

50
51 ***Mr. Katz MOVED to hear both applications, the special exception, and the variance.***

1 ***Seconded by Mr. McDonough.***

2
3 ****The Vote on the Motion was approved. (4-1).***

4 Mr. Newlove voted nay.

5
6 Attorney Schuster referred to sections 702.1 and 702.5 and 703.1. He stated that the paved section of the
7 parking was extended into an area that was already used for parking. It is the paving that has changed.
8 Further, there is an application to the Planning Board to approve a boundary line adjustment to include
9 portions of the adjacent lot which would address any setback violations.

10
11 The support statement that was provide refers to all the special exception criteria. Attorney Schuster
12 believes the expansion is of the same nature and kind, it is still the dealership. He reviewed the Findings
13 of Facts and Conclusions of Law they stated in the application.

14
15 Chair Koppenheffer asked if they have any documentation showing that this area was approved for
16 parking. The applicants said they would like to get the files if this is an important issue. Staff said the
17 applicant could have provided this information and it is the applicant's burden to obtain proof.

18
19 Staff discussed the status of the boundary line adjustment coming before the Planning Board. Lot line
20 adjustments are straight forward and there is no reason to determine that it would not be approved. If
21 approved, it could eliminate the setback issue. The other issue is the expansion to the frontline setback,
22 which could be a problem. The expanded use still needs to be addressed. The key issue is 702.5d, in no
23 case shall a non-conforming use be allowed to expand. If it was previously approved for this use, the
24 applicants would not be making application.

25
26 **Chair Koppenheffer opened the Public Hearing. No one from the Public spoke and the Public**
27 **Hearing was closed.**

28
29 Vice Chair Mercer began a motion and determined it should be prepared prior to reading it. At 7:53 PM
30 the Board took a short recess to draft the motion. The Board reconvened at 8:05 PM. Vice Chair Mercer
31 read the motion again.

32
33 ***Vice Chair Mercer MOVED on December 6, 2021, and January 3, 2022, at duly noticed meetings of***
34 ***the Lebanon Zoning Board of Adjustment, there appeared Barry Schuster, Esq., and Johanna Cicotte***
35 ***on behalf of Cicotte Properties, LLC, regarding 175 Heater Road (Tax Map 64, Lot 30), zoned IND-L.***
36 ***The property is improved with a non-conforming vehicular sales use. Applicant requests a Special***
37 ***Exception per Section 702.1, 702.5 and 703.1 of the Zoning Ordinance. ZB2021-24-SE***

38
39 **I. FINDINGS OF FACT**

40
41 Based on testimony given, application materials presented, and supporting documents submitted, the
42 Lebanon Zoning Board of Adjustment makes the following findings of fact:

- 43
44 1. The subject property is improved with a non-conforming vehicular sales use. In early October,
45 City staff discovered that a substantial amount of new impervious surface has been added to the
46 property in violation of the Zoning Ordinance and Site Plan Review Regulations (staff roughly
47 estimates approximately 6,000 sq. ft. of new impervious surface).
48
49 2. The property was originally developed in the mid-1980s with an approved site plan for what at
50 the time would have been a lawful conforming use under the ordinance. The Board infers that the

1 unpaved area was intended to be undeveloped under the site plan and the applicant presented no
2 evidence that parking was an approved use of that area.

- 3
4 3. The Planning and Development Department issued a Notice of Violation on October 18, 2021,
5 citing violations of the Zoning Ordinance (in addition to violations of the Site Plan Review
6 Regulations and Chapter 74 of the City Code) as follows:

7
8 “The newly paved surface adjoining the existing parking area of the car dealership on the
9 subject property constitutes an impermissible expansion of a non-conforming use into an
10 area of the lot that was not previously occupied by the non-conforming use at the time the
11 use became non-conforming. As such, the newly paved surface on the property is in
12 violation of Section 702.5.D, and Section 303.2 of the ZO.

13
14 The installation of the newly paved surface on the subject property also constitutes
15 violations of the following Sections of the ZO:

- 16
17 ○ **Section 303.3** – The pavement extends to and across the lot line shared with 30
18 Heater Road whereas structures are required to be set back a minimum of 20 ft. in the
19 IND-L District (unless the pavement is to be used as a parking area or driveway in
20 which case a minimum setback of 5 ft. applies per Section 201.7 of the ZO).
21
22 ○ **Section 402.2** – The subject property is located in the Floodplain District overlay per
23 Section 402 of the ZO. Section 402.2 of the ZO requires compliance with Chapter 74
24 (“Flood Damage Prevention”) of the City Code. Section 74-14 of Chapter 74 requires
25 that a floodplain permit shall be obtained “before construction or development begins
26 within any area of special flood hazard[.]” Staff has verified that no Floodplain
27 Permit has been issued for the installation of the paved area and, therefore, is out of
28 compliance with Chapter 74. Consequently, the property is in violation of Section
29 402.2. of the ZO.
30
31 ○ **Section 901.1.D** – Staff has verified that that no Zoning Permit has been issued for
32 the pavement as is required by Section 901.1.D of the ZO.
33

34 In order to remedy the violations of Sections 702.5.D, 303.2, and 303.3 of the ZO, you
35 will need to apply to the ZBA for a Variance to allow the expansion of the non-
36 conforming vehicular sales use and to allow the pavement to encroach into the minimum
37 required side yard. As part of your application to the ZBA, you will need to provide a site
38 plan showing:

- 39 • The boundary lines of the property;
40 • The location of all structures on the lot showing building setbacks to all property
41 lines;
42 • The location of natural features on the property including but not limited to
43 jurisdictional wetlands; and
44 • Any other prominent features of the lot that will assist you in explaining why you
45 need relief from the Zoning Ordinance.”
46

- 47 3. On November 4, 2021, the Planning and Development Department received an application to the
48 Zoning Board requesting a Special Exception per Section 702.1 of the Zoning Ordinance to
49 change one non-conforming use to another non-conforming use. A boundary line adjustment plan
50 was provided on November 29, 2021. In the application materials, the applicant also states that,

“To the extent a variance is required for any of these requests, Cicotte Properties, LLC will be prepared to address that as well.”

4. Section 702.1 of the Zoning Ordinance states, in part: “A non-conforming use may, as a Special Exception, be changed to another non-conforming use provided that the Board of Adjustment shall find that the proposed use is equally appropriate or more appropriate to the district than the existing non-conforming use.” In order to grant a Special Exception to change one non-conforming use to a different non-conforming use, the applicants must demonstrate that the proposal meets the general Special Exception criteria set forth in Section 801.3, in addition to the Section 702.1 criteria.
5. No one from the Public spoke for or against this application.

II. CONCLUSIONS OF LAW

As a result of the above findings of fact and based on testimony given, application materials presented, and supporting documents submitted, the Board concludes the following with respect to the Special Exception criteria set forth in §801.3 of the Zoning Ordinance:

1. The Special Exception is not authorized by Section 702.1, 702.5 or 703.1 of the Zoning Ordinance. (Section 801.3.A). The applicant proposes to enlarge the parking on the property.
2. The following condition/requirement of §702.1 **is not** met: (Section 801.3.B)
 - a. The proposal is for an expansion not a change. Section 702.5 dictates they cannot be allowed to expand into property not used by the existing non-conforming use. As well as Section 703.1A2 states the property cannot be rendered proportionately less adequate.
3. There **are** existing violations of the Zoning Ordinance on the property that the granting of the Special Exception would not remedy. (Section 801.3.C) According to the Zoning Administrator, the property is currently in violation of Section 303.3, Section 402.2, and Section 901.1.D of the Zoning Ordinance.
4. The character of the area **will not** be adversely affected. (Section 801.3.D)
5. **No** hazard or nuisance will be created. (Section 801.3.E)

No evidence was offered to suggest otherwise.
6. The capacity of existing or planned community facilities and services (including streets and highways) **will not** be adversely impacted. (Section 801.3.F)
7. The granting of the Special Exception **will not** result in undue municipal expense. (Section 801.3.G)
8. The proposed Special Exception **will not** be developed in a manner compatible with the spirit and intent of the ordinance if the Special Exception were to be granted. (Section 801.3.H)
9. The general welfare of the City **will** be protected by not granting the Special Exception. (Section 801.3.I)

1
2 **III. DECISION**
3

4 Now therefore be it resolved, the Lebanon Zoning Board of Adjustment, on this 3rd day of January 2022,
5 hereby **DENIES** the request for a Special Exception, as set forth above and per testimony, plans, and
6 materials submitted.
7

8 ***Seconded by Mr. Newlove.***
9

10 Mr. Katz proposed three clarifications to the Motion, and they are contained in the above motion. All
11 were acceptable to Vice Chair Mercer and Mr. Newlove.
12

13 ****The Vote on the Motion was approved. (5-0).***
14

15 Attorney Schuster then addressed the application for a variance. This property was approved for a
16 dealership in the 1980s. He reviewed the terms of their application. The additional expansion of the
17 paving would meet the needs of the public. There would not be a negative impact on the area. This is a
18 small enlargement of a parking area where it was always used for these purposes. It is a hardship because
19 the dealership was originally an approved use, and the current zoning deprives the property of its normal
20 expansion. It is a small but important use of the land for the business. It is reasonable to have some
21 extra parking because it was once permitted and with the changes to the zoning it is no longer allowed.
22 They are willing to have the approval contingent on the Planning Board's approval of the boundary line
23 adjustment. Staff and the Board discussed what sections of the zoning ordinance need approval with this
24 variance.
25

26 Members questioned if the existing application is adequate and determined that three sections are not
27 complete. The purpose of notification of a hearing is to inform the public and to allow them an
28 opportunity to know that additional property would be included.
29

30 ***Ms. Mercer MOVED to continue the hearing until the February meeting.***

31 ***Seconded by Chair Koppenheffer.***
32

33 ****The Vote on the Motion was approved. (3-2).***

34 Mr. Newlove and Mr. Katz voted nay.
35

36 **Mr. Nash returned to the meeting.**
37

38 **B. Cote Swenson & Samantha Medina, 397 Dartmouth College Highway (Tax Map 111,**
39 **Lot 9), zoned RL-2:** Applicants request a Special Exception per Section 313.2 of the Zoning
40 Ordinance to convert the existing contractor's yard use to a produce stand use. **ZB2022-01-**
41 **SE - Postponed at the request of the applicant. Once rescheduled, the new hearing date**
42 **will be readvertised and renoticed to abutters.**
43

44 **C. Chorro, LLC, 77 Bank Street (Tax Map 92, Lot 79), zoned R-O:** Applicant requests a
45 Special Exception per Sections 311.2 and 601 of the Zoning Ordinance to convert the existing
46 building to an 8-unit multi-family dwelling, and a Variance from Section 311.3 to allow 8
47 dwelling units where 5 dwelling units is the maximum allowed based on the size of the
48 property. **ZB2022-02-SEVAR**
49

50 **Mr. Katz recused himself from this hearing and Mr. McDonough was given voting privileges.**
51

1 Jim Wasser, architect, Studio Nexus and Tim Sidore of Execu Suite appeared on behalf of the application.
2 Staff noted that the special exception is not necessary due to the underlying density for the zoning district
3 that must be met. This is simply a variance, because the special exception cannot be applied for because
4 the density has not been met.

5
6 This is an existing property at 77 Bank Street. It is an office building with an apartment on the top floor.
7 The applicant would like to downsize the office on the first floor, add 3 units on the second floor, and add
8 4 units, two on each floor in the barn. That would be a total of 8 units plus the first-floor office. They
9 believe smaller sized housing is in demand in the Upper Valley and they would like to create this number
10 of units instead of redeveloping it into a smaller number of larger units, using the same square footage.
11 Their narrative addressed the criteria of a variance. The parking area would not change, and the number
12 of occupants would be the same if the units were larger and fewer. The property is adjacent to a building
13 with 43 small dwelling units that is also owned by the applicant. It is the same owner, but a different
14 single owner LLC.

15
16 The hardship of the property was discussed. Financial considerations do not qualify as a hardship. The
17 value of the property will go up with more units. The Board asked if a boundary line adjustment between
18 the two properties could be done and then a variance would not be required. Staff said technically there
19 could be room at the Bank Street property depending on the permitted density of that property.

20
21 Ms. Mercer asked for clarification about the uniqueness of the property that causes the hardship. The
22 applicants responded that when they were looking at ways to divide up the existing building, they
23 determined that there is not a need for office space. Specifically, the second floor and the barn are not
24 viable as office space. The building was more suitable for housing for which there is a need in Lebanon.
25 They feel they are continuing the use similar to the adjacent building and keeping the nature of the area.
26 They hope to optimize its residential capacity.

27
28 Staff followed up that there is adequate room to do a property line adjustment to permit the housing.
29 Chair Koppenheffer asked what is unique about the property to similar situated properties. He recalled
30 there are very few single-family homes in this area, it is business and multi-family housing. The City
31 determined that the number of units they are requesting requires more land.

32
33 **Chair Koppenheffer opened the Public Hearing.**

34
35 Mr. Jeremy Katz appeared, saying although he is not a direct abutter, he previously owned this building.
36 He believes he has unique knowledge. The barn was always vacant, and the 2nd floor office space was
37 nearly always unrented. Where there is a dog leg in the property there is a steep drop off to the level of
38 the old junior high. At one time a piece of the property was conveyed to the School Administration. If
39 not for that altruistic conveyance, there would be enough property for the number of units being
40 requested. Absent the steep slope of that corner, which is not developable, they would not need a
41 variance. Further the large barn building cannot be developed in a reasonable way without a variance. It
42 may be possible to ask the School Administration to convey the land back. Mr. Katz responded that the
43 sloped land is not able to be used for any other purpose due to the slope. If it were not a severe slope on
44 that land, they would have adequate land for the number of units they are requesting.

45
46 Sarah Chamberlain appeared saying the property in discussion is kind of a buffer between them and the
47 43-unit building. They are concerned that the area would look more like a business parking lot. They do
48 not believe that waste management has been addressed. Also, in the past, there has been unspoken access
49 to their backyard. They have been able to drive down that driveway to access their backyard for
50 construction purposes.

The applicants said waste disposal would be handled on the 75 Bank Street property. Staff said technically that would not be permitted.

Hearing no one else from the Public, the Public Hearing was closed.

Mr. Nash MOVED on January 3, 2022, at a duly-noticed meeting of the Lebanon Zoning Board of Adjustment, there appeared Jim Wasser, architect, Studio Nexus and Tim Sidore of Execu Suite, regarding 77 Bank Street (Tax Map 92, Lot 79), zoned R-O. Applicant requests a Special Exception per Sections 311.2 and 601 of the Zoning Ordinance to convert the existing building to an 8-unit multi-family dwelling, and a Variance from Section 311.3 to allow 8 dwelling units where 5 dwelling units is the maximum allowed based on the size of the property. ZB2022-02-SEVAR

I. FINDINGS OF FACT

Based on testimony given, application materials presented, and supporting documents submitted, the Lebanon Zoning Board of Adjustment makes the following findings of fact:

1. The property is improved with a mixed-use building containing office space and one dwelling unit. The applicant proposes to convert the building to an eight (8) unit multi-family dwelling.
2. A conversion of a building to a multi-family dwelling is allowed by Special Exception in the R-O District provided that the conversion complies with the requirements set forth in §601 (“Special Design Standards”). Here, the applicant is unable to comply with at least one of the §601 requirements; specifically, §601.4 which requires compliance with the applicable density requirements.
3. Per §311.3, in order to accommodate the proposed 8 dwelling units, the lot would need to be at least 28,000 sq. ft. in size, whereas the lot is only 21,200 sq. ft. in size). Therefore, the proposed multi-family conversion is ineligible for a Special Exception per §601 and instead requires a Variance from §311.2 (the R-O District table of permitted uses).
4. To obtain the requested Variance from §311.2, the applicant must demonstrate compliance with each of the five variance criteria as set forth in §801.2 of the Zoning Ordinance and NH RSA 674:33, I(b).
5. Jeremy Katz, previous owner of the property, testified about characteristics of the property.
6. Sarah Chamberlain, neighbor at 79 Bank Street, expressed concerns about the increased intensity of use and the dumpster.

II. CONCLUSIONS OF LAW

As a result of the above findings of fact and based on testimony given, application materials presented, and supporting documents submitted, the Board concludes the following with respect to the Variance criteria set forth in Section 801.2 of the Zoning Ordinance:

1. The variance **will** be contrary to the public interest. (Section 801.2.A.1)
Density is regulated by square footage.
2. The spirit of the ordinance **is not** observed. (Section 801.2.A.2)

3. Substantial justice **is not** done. (Section 801.2.A.3)

4. The values of surrounding properties **are not** diminished. (Section 801.2.A.4)

5. Literal enforcement of the provisions of the ordinance **would not** result in an unnecessary hardship.

The Property is adjacent to a parcel owned by a related owner whereby a boundary line adjustment could be created to meet the density requirement.

III. **DECISION**

Now therefore be it resolved, the Lebanon Zoning Board of Adjustment, on this **3rd day of January 2022**, hereby **DENIES** the requested Variance as set forth above and per testimony, plans, and materials submitted.

Seconded by Vice Chair Mercer.

**The Vote on the Motion was unanimously approved (5-0).*

Mr. Katz returned to the meeting.

4. STAFF COMMENTS

5. ELECTION OF OFFICERS

A. Chair and Vice Chair

Mr. Nash nominated Chair Koppenheffer for another term.

Seconded by Vice Chair Mercer.

All were in favor.

Mr. Nash nominated Vice Chair Mercer for another term.

Seconded by Mr. Newlove.

All were in favor.

6. ADJOURNMENT

Mr. Nash MOVED to adjourn the meeting at 9:15 PM.

Seconded by Mr. Katz.

**The Vote on the Motion was unanimously approved (5-0).*

Respectfully submitted,

Linda Billings

Recording Secretary

**Agenda
Zoning Board of Adjustment
January 7, 2022**

**Agenda Item #3A
Public Hearing Items**

**Cicotte Properties, LLC,
175 Heater Road
(Tax Map 64, Lot 30),
zoned IND-L
ZB2021-24-SE**

City of Lebanon,
New Hampshire



Building/Zoning Permit
Application Form

Property Owner (Owner of Record): Cicotte Properties Tel.#: 603-448-3770
Mailing Address of Owner: 13 Labombard Rd, Lebanon, NH. Fax #: 603-442-6705
Email: _____
CONTACT PERSON FOR PROJECT: Phil Mahen Tel.#: 603-448-3770
Mailing Address: 13 Labombard Rd, Lebanon, NH. Fax #: 603-448-6705
Email: pmahen@millerantogroup.com

1. Project Location:

City Tax Map: <u>64</u>	Lot: <u>30</u>	Plot: <u>NA</u>	Zoning District: <u>IND-L</u>
Location (Physical Address of Project): <u>175 Heater Rd, Lebanon, NH.</u>			

2. Project Description:

Describe the nature of work proposed, in detail:
Relocate interior walls, new HVAC system
7/11/13 - Amend #1 - Add two parapet.
entrance way - a stucko add' (adds 13"
Cost of Project Construction: \$ 150,000 to entry. Adding 2 customer

3. Type of Occupancy: (check as appropriate)

Existing	☐ Vacant Lot	☐ One Family	☐ Two Family	☐ Multi Family	☒ Commercial	☐ Industrial
Proposed	☐ Vacant Lot	☐ One Family	☐ Two Family	☐ Multi Family	☒ Commercial	☐ Industrial

For Commercial or Industrial: \$50,000

Specific Type of Use (for example: retail, office, industrial, etc.): Auto Dealership
Name of Commercial/Industrial Tenant (if known): Miller Auto Group

THE UNDERSIGNED OWNER HEREBY REQUESTS A BUILDING/ZONING PERMIT FOR THE ABOVE USE, TO BE ISSUED ON THE BASIS OF THE REPRESENTATIONS CONTAINED HEREIN, INCLUDING ALL NECESSARY SUPPORT STATEMENTS. PERMIT IS VOID IN THE EVENT OF MISREPRESENTATION AND/OR NOT BEING IN COMPLIANCE WITH THE BUILDING CODE, ZONING ORDINANCE, SITE PLAN REVIEW/SUBDIVISION REGULATIONS (IF APPLICABLE) AND OTHER APPLICABLE STATE AND CITY LAWS AND REGULATIONS. CONSTRUCTION IS NOT AUTHORIZED UNTIL PERMIT IS ISSUED.

Property Owner Signature: _____

Date: 5-3-12

IF, AS OWNER, YOU WISH TO DESIGNATE AN AGENT TO ACT ON YOUR BEHALF, PLEASE READ THE FOLLOWING STATEMENT AND SIGN BELOW. I hereby designate the individual listed as contact person for project as my agent for the purpose of procuring the necessary local permits for the proposed work as described herein. Representations made by my agent may be accepted as though made by me personally, and I understand that I am bound by any official decision made on the basis of such representation.

Property Owner Signature: _____

Date: _____

APPROVED - ZONING ADMINISTRATOR: _____

DATE: 6/24/12

APPROVED - BUILDING OFFICIAL: _____

DATE: 6/24/12

Received <u>5-3-12</u>	File# <u>64-30</u>	Permit# <u>2012-00142</u>	Issued <u>6-21-12</u>
Const. Cost \$ <u>150,000</u>	Permit Fee \$ <u>1050</u>	Voucher# <u>13385</u>	Date Paid <u>5-3-12</u>

Comments provided to Applicant: _____

V6-12-12
Amend 8-9-13

Amend 8-9-13

CITY OF LEBANON
PAYMENT VOUCHER

12 13855

NAME:

Cicotte Properties
Miller

ADDRESS:

PAYMENT FOR:

Permit Amendment

7/16/13 Amend #1

DEPARTMENT:

9350

AMOUNT DUE:

\$ 315⁰⁰ CR# 055485 Miller

RECEIVED BY:

COA

DATE RECEIVED:

7-16-13

CITY OF LEBANON
PAYMENT VOUCHER

NO 13385

NAME:

Miller Auto Cigothe Prop.

ADDRESS:

13 Labombard Rd / Leb

PAYMENT FOR:

Permit

DEPARTMENT:

9350

AMOUNT DUE:

\$ 1050.00

RECEIVED BY:

LC
5-3-7/16/13 Amended # 53918

DATE RECEIVED:

5-3-7/16/13

City of Lebanon,
New Hampshire

**Building/Zoning Permit
Support Statement**

Property Owner: Cicotte Properties
Location (street address of project): 175 Heater Rd, Lebanon, NH

1. If this is an interior renovation only. If yes, check here ☒ and complete #3 through #6.

2. Lot Dimensions:

Lot Frontage on Street (In Feet):	Lot Size (Acres or Square Feet):	Percentage of Lot Area Covered by Buildings:
-----------------------------------	----------------------------------	--

Setbacks: Building Distances From Property Lines (Site Plan also required.)

*Front yard setback:	Rear yard setback:	Side yard setback: (right side)	Side yard setback: (left side)
----------------------	--------------------	------------------------------------	-----------------------------------

* Front yard means the portion or portions of the lot that face a street (note: corner lots have two front yards).

3. Site Information: Is this site located in the ... (Check as appropriate. If you're not sure, ask.)

Flood Plain District: ☒ YES ☐ NO	Lebanon's Historic District: ☒ YES ☐ NO	NH Protected Shoreland: ☒ YES ☐ NO	Wetlands Conservation District: ☒ YES ☐ NO
--	---	--	--

4. Building Information: Square Footage of Structural Areas

Basement Existing: _____ New: _____ Total: _____	First Floor Existing: <u>16,200</u> New: _____ Total: <u>16,200</u>	Second Floor Existing: _____ New: _____ Total: _____	Third Floor Existing: _____ New: _____ Total: _____
Deck(s) Existing: _____ New: _____ Total: _____	Shed(s) Existing: _____ New: _____ Total: _____	Garage(s) Existing: _____ New: _____ Total: _____	Building Height Existing: <u>20</u> New: _____

5. Property Serviced By (Complete all that apply):

City Water ☒ YES ☐ NO	City Sewer ☒ YES ☐ NO	Private Well ☐ YES ☐ NO	Private On-Site Septic ☐ YES ☐ NO
---	---	--	--

If a private on-site Septic System is being installed, please provide the State of NH DES Approval for Construction #: _____

6. Contractor Information:

GENERAL CONTRACTOR Name: <u>Phil Mahoney</u> Address: _____ Contact: _____ Phone: _____ Fax: _____ Email: _____ Are you an EPA Certified Renovator? Yes ☐ No ☐ If yes, provide # _____	ELECTRICIAN Name: <u>Cole Electric</u> Address: <u>P.O. Box 109</u> <u>E. Thetford, VT</u> License: <u>3716M</u> Phone: <u>802-785-2818</u> Fax: <u>802-785-2704</u> Email: _____	PLUMBER / GAS FITTER Name: <u>Vermont Mechanical</u> Address: <u>P.O. Box 728</u> <u>Williston, VT.</u> P-License: <u>4714</u> G-License: <u>GFE0804027</u> Phone: <u>802-862-5900</u> Fax: <u>802-862-8150</u> Email: _____
---	---	---

(For office use only) Permit# _____

CITY OF LEBANON - BUILDING PERMIT APPLICATION
SUPPORT STATEMENT FOR ELECTRICAL PERMIT

1. Property Owner: Cicotte Properties Tel.# 603-448-3770

2. Project Location:

Tax Map:	Lot: <u>64-30</u>	Plot:	Zoning District:
Location (Physical Address): <u>175 Heater Rd, Lebanon, NH</u>			

3. Electrical Service Information

Complete the Following for ALL Electrical Projects:

Capacity: (Amps)	Class of Use: ☒ Residential ☒ Commercial ☐ Industrial
Service Voltage: ☒ 240/120 ☒ 208/120 ☐ 480/277 Other: _____	
Number of Meters: _____	
National Grid Sequence (job) Number if Applicable: _____	
Please Note: You must Contact National Grid For Sequence Number Prior to Service Work. Call 800-322-3223 x54020. Ask for a Service Request.	

4. Electrical Project details: ☒ (Check All That Apply)

☐ New Service ☐ Upgrade Service ☐ Modification to Existing Service			
Project Includes: ☒			
☐ Branch Circuits	☐ UPS/Inverter	☐ Well Pump	☐ Site Lighting
☐ Feeders	☐ Transformer	☐ Out Building	☐ Illuminated Sign
☐ Sub Panels	☐ Generator	☐ Solar System	☐ Swimming Pool
Wiring Method: ☒ NM (rx) ☐ MC ☐ AC(bx) ☐ EMT ☐ RNC (pvc) ☐ RMC (rigid)			
Description: <u>Interior renovations</u>			

5. Electrical Contractor Information:

Company: <u>Cole Electric</u>	Contact Person: <u>Paula</u>
NH License #: <u>3716 M</u>	Phone #: <u>802-785-4818</u>
E-Mail: _____@_____	

FOR OFFICE USE ONLY

File# _____ Permit# _____ Date Service Energized: _____



Lebanon Fire Department

12 South Park Street
Lebanon, NH 03766

Phone: 603-448-8810
Fax: 603-448-8811
Email: Fire@lebcity.com

Application for Fire Code Permit

(Please Print or Type)

Property Owner: Cicotte Properties

Phone: 603-448-3770

Address: 13 Labombard Rd. Lebanon, NH. 03766

Contact Person for Project: Phil Maheu

Submitting Contractor:

Mailing Address:

Phone:

Fax:

Email Address:

Project Location:

Tax Map:

Tax Lot: 64-30

Tax Plot:

Location (Physical Address): 175 Heater Road

Permit Code(s) (From following pages):

(Example: 105.6.28 LP-gas Operational Permit)

Description of Activity: Relocate some interior walls, new HVAC system.

Signature of Applicant:

Date:

FOR OFFICE USE ONLY

APPROVED - FIRE PREVENTION:

DATE:

INSPECTED - FIRE PREVENTION:

DATE:

Received:	File #:	Permit #:	Issued:
Fire Dept Fee(s) \$:	Statement Mailed:	Voucher #	Date Paid:

CITY OF LEBANON
FINAL CERTIFICATE OF OCCUPANCY

51 North Park Street
Lebanon, NH 03766
603-448-1524
www.lebcity.com

Owner, Lessee or Occupant: CICOTTE PROP LLC

Location of Work: 175 HEATER RD
(No. and Street) (Unit or Building)

Desc of Work: RELOCATE INTERIOR WALLS, NEW HVAC SYSTEM
AMEND #1: ADD TWO PARAPET AT ENTRANCE WAY. A STUCKO ADDITION (13"). ADD
TWO CUSTOMER COUNTERS - HC ACCESSIBLE.

Map\Lot: 64/30

District: INDL

Permit(s): 2012-00142-AMEND#1

Use Group: EXISTING

Design Occupant Load(s): 0

Min. Type Constr: EXISTING

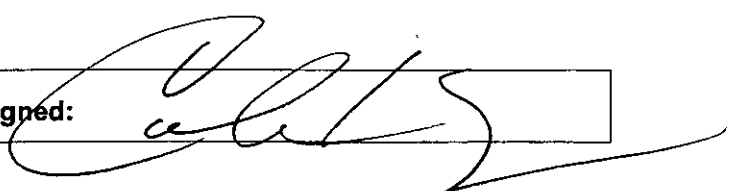
Fire Sprinkler System Required: NO

Fire Alarm System Required: NO

This project was inspected in accordance with Chapter #36,
Lebanon Building Code.

A FINAL Certificate of Occupancy is hereby GRANTED

Date of Issue: 11/15/2013

Signed: 

Mailed
to property
owner
11/19/13.

Phil Mahew
called 448-3770

5-25-12 X1700

to check on

~~I emailed~~

~~DPW's +~~

~~Christine to~~

~~see status~~

- Fire is sighted
off already

- T called Phil +

told him it

looked like Cal

is still waiting

for stamped plans

from VT mech.

CITY OF LEBANON
APPLICATION FOR CERTIFICATE OF OCCUPANCY

A FINAL INSPECTION HAS BEEN SCHEDULED ON: 11-14-13 @ 9am

PERMIT# ²⁰¹³ 2013 -00142	MAP&LOT# 64-30	DATE: 11/14/2103
--	----------------	------------------

PROPERTY OWNER: Ciocotte Properties (Volvo)

PROJECT LOCATION: 175 Heater Rd/Leb

PERMIT TO CONSTRUCT: Relocate interior walls, new HVAC system
Amend#1 Add two parapet @ entrance way, a stucko addition, two customer counter that are handicap accessible.

TYPE OF OCCUPANCY: Comm USE GROUP: TYPE OF CONSTRUCTION:

AUTOMATIC SPRINKLER SYSTEM REQUIRED ? ____ PROVIDED? ____

HAZARD CLASSIFICATION OF SYSTEM DESIGN: OR STORAGE CONFIGURATION, INCLUDING AISLE WIDTHS: See Fire Department records

STANDPIPE SYSTEM DEMAND AT THE BASE OF THE RISER: See Fire Department records

☐ Approved With No Comments @ ☐ Approved With Conditions (Attached)

SIGNED: _____ DATED: _____
Calvin Hunnewell, Building Inspector

☐ Approved With No Comments ☐ Approved With Conditions (Attached)

SIGNED: _____ DATED: _____
Winston Spencer, Electrical Inspector

DATED: _____

☒ Approved With No Comments ☐ Approved With Conditions (Attached)

SIGNED: Brad Shaw DATED: 11/14/15
Brad Shaw, Field Inspector

all okay

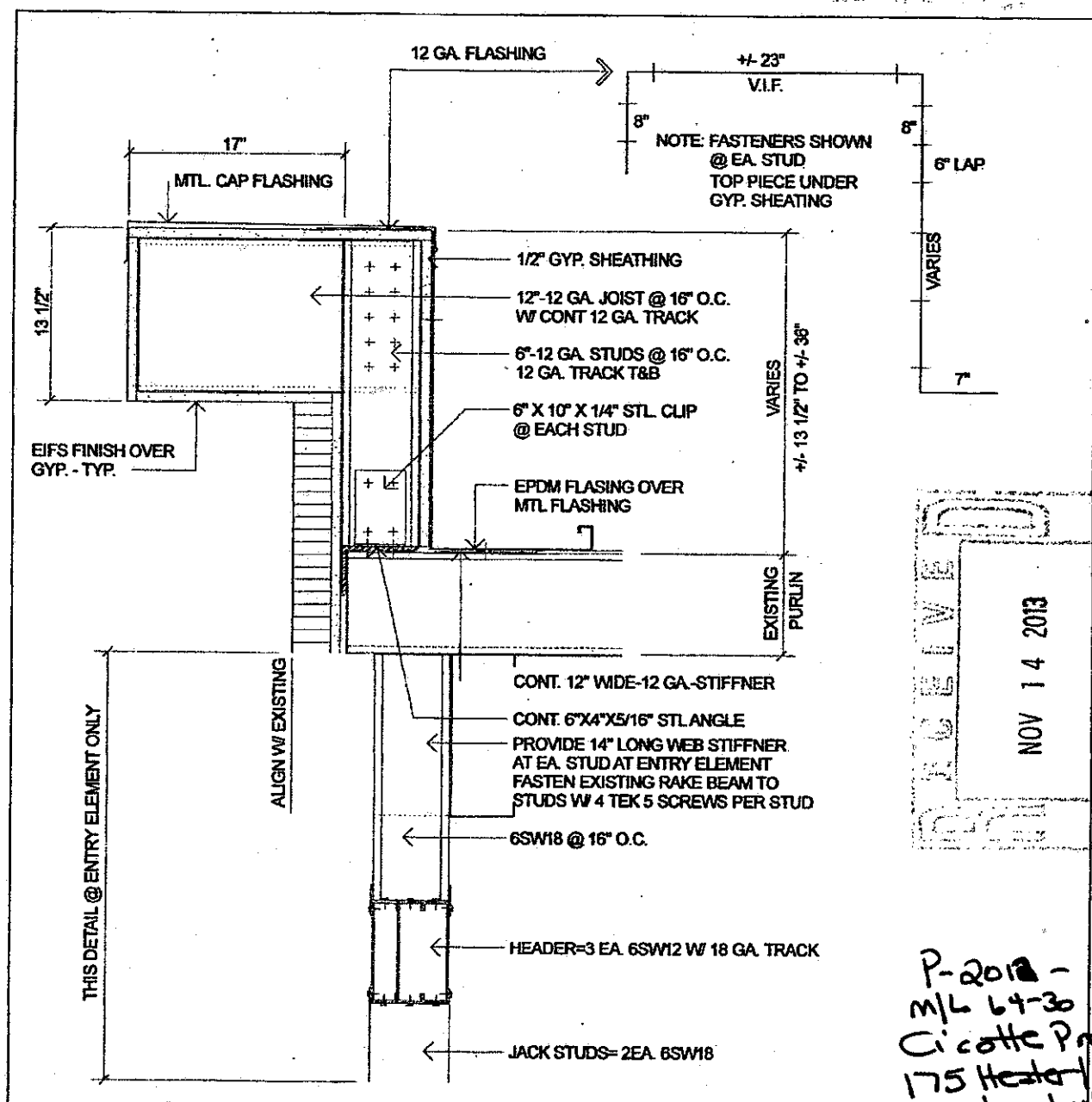
Cushman, Leann

From: Paul, Jonathan
Sent: Thursday, November 14, 2013 11:01 AM
To: Cushman, Leann; Adams, Crystal
Subject: Miller Volvo

Miller Volvo interior renovations are all set for a CO from Fire.

***Jon ("JP") Paul, CFI, IAAI-FIT
Inspector/Investigator
Bureau of Fire Prevention and Life Safety***

**City of Lebanon Fire Rescue & EMS
12 South Park Street
Lebanon, NH 03766
(ph.) 603-448-8810 ext. 1729
(fx.) 603-448-8811
Jonathan.Paul@lebcity.com**



TYPICAL PARAPET SECTION

SCALE

1 1/2"=1'-00"



P-2012 - 142
M/L 64-30
Cicotte Properties
175 Healer/Leb
Rec'd 11/14/13

Parapet

Ted Greenlaw P.E. 183 Columbia Rd. Hanover, Ma. 02339 Tel # 781-826-8369	MILLER AUTO GROUP - VOLVO		
	LEBANON	NEW HAMPSHIRE	SCALE 1 1/2"=1'-00" DATE 7/8/13 REVISED 8/2/13 SHEATHING
	E. F. WALL & ASSOC., INC.		PARAPET DETAIL

Cushman, Leann

From: Hunnewell, Calvin
Sent: Thursday, November 14, 2013 12:42 PM
To: Shaw, Brad; Cushman, Leann
Subject: FW: Parapet
Attachments: Scan0005.pdf

From: Phil Maheu [<mailto:pmaheu@millerautogroup.com>]
Sent: Thursday, November 14, 2013 10:06 AM
To: Hunnewell, Calvin
Subject: Parapet

Calvin,

Here is the Parapet drawing. I believe that is the last information requested.

Thanks to your departments quick response for inspections during this project it went very smooth.

Phil

BOONE TESTING AND BALANCING CO.

2312 Newark Street
West Burke, Vt. 05871
Phone & Fax: (802)-467-8771
E-Mail: boonebalance@kingcon.com

TEST AND BALANCE REPORT

PROJECT: Miller Volvo

LOCATION: Lebanon, NH

ENGINEER: Vermont Mechanical

CONTRACTOR: Vermont Mechanical

PROJECT NUMBER

13260A

This is to certify that Boone Testing and Balancing has balanced the system described herein to their optimum performance capabilities. The testing and balancing has been performed in accordance with the standard requirements and procedures of the Associated Air Balance Council and the results of these tests are herein recorded.

FIELD TECHNICIAN: Geoffrey Boone

DATE: 10/4/13

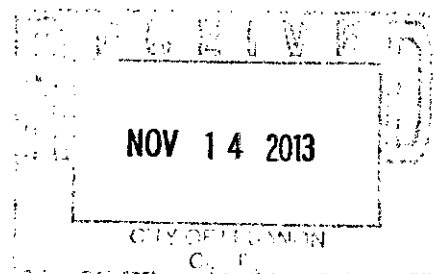
Approved: _____ Geoffrey Boone _____

Revised:

Revised:

11/14/13

Balance Rept.



BOONE TESTING AND BALANCING

AIR BALANCE PROCEDURE

The Air Balance for this project was accomplished by the following basic procedure:

1. Check all dampers on systems and secure in open position; Fresh, return and exhaust dampers in required operating positions.
2. Check air filters for cleanliness.
3. Check fan for proper rotation.
4. Check fan speed.
5. Check fan motor power reading.
6. Check system static pressure.
7. Establish total air on system by velocity traverse method.
8. Test and adjust individual outlets for design CFM and adjust air flow pattern.

WATER BALANCE PROCEDURE

1. Fix supply water temperature during test period.
2. Fix volume to each heating element to full flow during test period.
3. Check no load and running amperes to determine approximate break horsepower.
4. Check pump heads at full flow and no flow and compare same against mfg. curve.
5. Determine required temperature drop and flow for each element for air and water conditions as against design conditions.
6. Adjust valves on pumps to obtain approximate design flow.
7. Adjust balancing fittings of each element to the proper required temperature drop and flow.
8. After all elements are adjusted check each circulating pump for final operating conditions.

INSTRUMENTS USED FOR BALANCING WERE:

☒ RPM Counter
☒ Self Timing Tachometer
☒ Clamp-on Volt-Ammeter
☐ Incline-Vertical Manometer
☐ Velometer
☐ Micro-(Hook-Gage) Manometer
☐ Sling Psychrometer
☐ Rotating Vane Anemometer
☐ Deflecting Vane Anemometer
☒ Balancing Flow Hood

☒ Bi-Metal and Mercury Thermometers
☒ Instantaneous Reading Air Element pyrometer
☐ Air Pattern Smoke-Bomb
☐ Instantaneous Reading Water Element Pyrometer
☒ Calibrated Pressure Gages
☐ Dwyer Combustion Test Set
☒ Differential pressure Meter
☐ Magnahelic - 0" - .25"; 0' - 2"
☒ Digital Anometer

BOONE TESTING AND BALANCING

Project: Miller Volvo

DATE: 10/4/13

PAGE: 1

AIR DISTRIBUTION TEST SHEET Constant Volume

TRMIL No.	Room	TERMINAL		A K	DESIGN CFM		READINGS			FINAL		REM
		Type	Size		FPM	CFM	TEST 1	TEST 2	TEST 3	FPM	CFM	
AHU-1A,1B Supply												
1	Sales	A	48X4			300	290				290	
2	Sales	A	48X4			300	310				310	
3	Sales	A	48X4			300	305				305	
4	Sales	A	48X4			300	315				305	
5	Sales	A	48X4			300	280				295	
6	Sales	A	48X4			300	290				290	
7	Sales	A	48X4			300	305				305	
8	Sales	A	48X4			300	310				305	
9	Sales	A	48X4			300	330				310	
10	Sales	D	10"Ø			260	340				270	
11	Sales	D	10"Ø			260	230				255	
12	Sales	D	10"Ø			260	270				265	
13	Sales	D	10"Ø			260	280				280	
14	Sales	D	10"Ø			260	260				270	
Total						4000	4115				4055	
Return												
1	Sales	G	16"Ø			1000	520				980	
2	Sales	G	16"Ø			1000	490				970	
3	Sales	G	16"Ø			1000	505				990	
4	Sales	G	16"Ø			1000	520				970	
Total						4000	2035				3910	
Minimum Outside air												
1	Store	Duct				400	430				430	

Remarks:

BOONE TESTING AND BALANCING

Project: Miller Volvo

DATE:

10/4/13

PAGE:

2

AIR DISTRIBUTION TEST SHEET

Constant Volume

TRMIL No.	Room	TERMINAL		A K	DESIGN CFM		READINGS			FINAL		REM
		Type	Size		FPM	CFM	TEST 1	TEST 2	TEST 3	FPM	CFM	
AHU-2 Supply												
1	Office	E	8"Ø			150	130				145	
2	Office	E	8"Ø			150	155				155	
3	Office	C	8"Ø			150	170				160	
4	Office	C	8"Ø			125	130				130	
5	Office	C	8"Ø			125	110				125	
6	Office	B	6"Ø			100	100				105	
7	Office	B	6"Ø			100	90				95	
8	Recp	A	48X4			230	240				240	
9	Recp	D	10"Ø			150	160				160	
10	Recp	A	48X4			230	250				240	
11	Recp	D	10"Ø			150	170				160	
12	Recp	A	48X4			230	280				240	
13	Recp	A	48X4			230	160				220	
Total						2120	2145				2175	
Return												
1	Office	E	6"Ø			125	100				115	
2	Office	E	6"Ø			125	130				120	
3	Office	F	6"Ø			100	90				100	
4	Recp	G	16"Ø			590	550				580	
5	Recp	G	16"Ø			590	520				570	
6	Recp	G	16"Ø			590	600				590	
						2120	1990				2075	
Outside Air												
1	Store	Duct				200	50				215	

Remarks:

BOONE TESTING AND BALANCING		
Project: Miller Volvo	DATE:	10/4/13
	PAGE:	3

3

AIR DISTRIBUTION TEST SHEET

Constant Volume

[illegible]

Remarks:

CITY OF LEBANON
Building Permit
COMMERCIAL MISC.
Lebanon, NH 03766
603-448-1524
www.lebcity.com

Permit Number
2012-00142-AMEND#1
Date of Issue
8/09/2013

Owner: CICOTTE PROP LLC

Applicant: CICOTTE PROP LLC

Location of Work: 175 HEATER RD
(No. and Street)

(Unit or Building)

Description of Work: RELOCATE INTERIOR WALLS, NEW HVAC SYSTEM
AMEND #1: ADD TWO PARAPET AT ENTRANCE WAY. A STUCKO ADDITION
(13"). ADD TWO CUSTOMER COUNTERS - HC ACCESSIBLE.

ZONING DATA: District: INDL

Map/Lot: 64/30

CONTRACTOR: TENANT WILL DO THIS WORK

REMARKS:

THIS PERMIT IS BEING ISSUED WITH THE FOLLOWING CONDITIONS:

Calvin Hunnewell, Building Inspection, 448 1457

1. Provide "as-built" plan by end of the project.
2. Call the office to schedule a framing inspection prior to the installation of the GYP sheathing.

WORK SHALL NOT PROCEED UNTIL THE CITY INSPECTORS HAVE APPROVED THE FOLLOWING STAGES OF CONSTRUCTION:

1. Foundation footings, forms and reinforcements. Lot pins must be in place at this inspection to assure the setback requirements are met. If the pins are not there or the setbacks cannot be verified, the construction will not be approved or allowed to continue. Mistakes in location of boundary lines are the sole responsibility of the property owner. **DO NOT POUR CONCRETE UNTIL THE ABOVE HAS BEEN APPROVED!**
2. Foundation insulation, waterproofing and drainage, prior to back-filling.
3. Structural rough frame, rough electrical and rough plumbing, prior to covering.
4. Prior to concealing any work authorized under this permit.
5. Final Inspection for Certificate of Occupancy, to include plumbing, heating, electrical, and any other code issue or miscellaneous item as applicable to the project including site improvements. **PLEASE SCHEDULE THIS AT LEAST 5 DAYS IN ADVANCE.**

A building or structure shall not be used or occupied in whole or in part until a **CERTIFICATE OF OCCUPANCY** has been issued.

APPROVED PLANS MUST BE KEPT AT THE JOB SITE - THIS CARD MUST BE KEPT POSTED UNTIL FINAL INSPECTIONS HAVE BEEN COMPLETED

Permit Holder: CICOTTE PROP LLC

(Taking Responsibility for the Work)

Company/Affiliation:

Job Site Phone Number:

Constr Cost: \$0 Permit Fee: \$0.00 Check No.: Cash: \$0.00

The Permit Card Shall be Posted and Visible From the Street During Construction

Code Official

8/09/2013

Date

MAP 64 LOT 30 PLOT NA PERMIT 2012-142 Amend #1

PLANS ARE: ATTACHED FLAT FILE HANGING UP

Cicotte Prop Miller Volvo
COMMERCIAL BUILDING PERMIT TRACKING SHEET

ZONING: Carmela	☐ approved	☐ conditioned	☐ denied	file path:
BLDG: Calvin	☐ approved	☒ conditioned	☐ denied	file path:
	☐ approved	☐ conditioned	☐ denied	file path:
BLDG: Win NA	☐ approved	☐ conditioned	☐ denied	file path:
	☐ approved	☐ conditioned	☐ denied	file path:
PLAN: David NA	☐ approved	☐ conditioned	☐ denied	file path:
FIRE: Duane/JA NA	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
ENG: Christina NA	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
DPW: Billing	☐ Fees paid	☐ Fees not pd	Amount still owed \$	
DPW: Don Schagen NA	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
DPW: Earl Labonte	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
O & M: Bob McG NA	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
O & M: Carl/Clive NA	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:
ISSUED: ☐ Permit ☐ Interior ☐ Plumbing ☐ Status Report ☐ Foundation ☐ Electrical ☐ Other ☐ Status Report ☐ Framing/steel ☐ Mechanical				PAID: ☒ Permit Fee ☒ Amendment Fee ☐ Water & Sewer Fee \$315.00



8/2

OK to

Issue Miller

Volvo

Parapet permit

Cal parapet

Cushman, Leann

From: Phil Maheu [pmaheu@millerautogroup.com]
Sent: Friday, August 09, 2013 9:53 AM
To: Cushman, Leann
Subject: FW: parapet

From: Hunnewell, Calvin [mailto:Calvin.Hunnewell@lebcity.com]
Sent: Tuesday, August 06, 2013 7:25 AM
To: 'Phil Maheu'
Subject: RE: parapet

Phil, have him do an as built at some point – could you make sure we are called for a framing inspection prior to the installation of the GYP sheathing.

Thanks
Calvin

Conditions

From: Phil Maheu [mailto:pmaheu@millerautogroup.com]
Sent: Tuesday, August 06, 2013 7:20 AM
To: Hunnewell, Calvin
Subject: RE: parapet

Calvin,

You are correct. He missed changing that section out to GYP sheathing but that is what it will be. Do you need him to make that change on the drawing for you?

Phil

From: Hunnewell, Calvin [mailto:Calvin.Hunnewell@lebcity.com]
Sent: Monday, August 05, 2013 3:14 PM
To: 'Phil Maheu'
Subject: RE: parapet

Phil, the general gist is all framing will be covered with GYP sheathing – the drawing still shows one section with an EIFS finish over plywood, it should show EIFS over GYP sheathing for type IIB construction.

Calvin

From: Phil Maheu [mailto:pmaheu@millerautogroup.com]
Sent: Monday, August 05, 2013 11:06 AM
To: Hunnewell, Calvin
Subject: FW: parapet

Calvin,

Here is the revised drawing.

CITY OF LEBANON-
BUILDING/ZONING PERMIT APPLICATION
IN HOUSE REVIEW FORM

PERMIT# 2012-000142	MAP & LOT# 64-30	DATE: 7/19/2013
PROPERTY OWNER: CICOTTE PROPERTIES (VOLVO)		
PROJECT LOCATION: 175 Heater Rd/Leb		
PROJECT: Relocate interior walls, new HVAC system 7/16/2013 AMEND #1: Add two parapet @ entrance way - a stucko addition (adds 13" to entry). Adding two customer counters w/ HC accessibility.		
ADDITIONAL DATA (for Amend#1: 1 8 ½ x 11 & 1 11 x 17 parapet detail, 1 set 24 x 30 - A3 Elevations, A5 - hospitality bar, A6- sales receipt desk, A7-Service receipt desk.		
☐ Approved ☐ Conditioned (See Below) ☐ Denied COMMENTS: _____ _____		
<u>BUILDING REVIEW</u> ☒ Approved ☒ Conditioned (See Below) ☐ Denied COMMENTS: Plywood shown in detail of parapet is not allowed in non-combustible const. - provide revised plans showing an approved material for type II B construction. SIGNED: <u>Calvin Hunnewell</u> DATED: <u>8/2/13</u> Calvin Hunnewell, Building Inspector OR , Field Inspector		
<u>ELECTRICAL REVIEW</u> ☐ Approved ☐ Conditioned (See Below) ☐ Denied COMMENTS: _____ _____ _____ SIGNED: _____ DATED: _____ Winston Spencer, Electrical Inspector		
<u>FIRE REVIEW</u> ☐ Approved ☐ Conditioned (See Below) ☐ Denied COMMENTS: _____ _____ _____ SIGNED: _____ DATED: _____ Duane Egner or Jon Paul, Fire Inspector		

7/19/13 - sent to Calvin

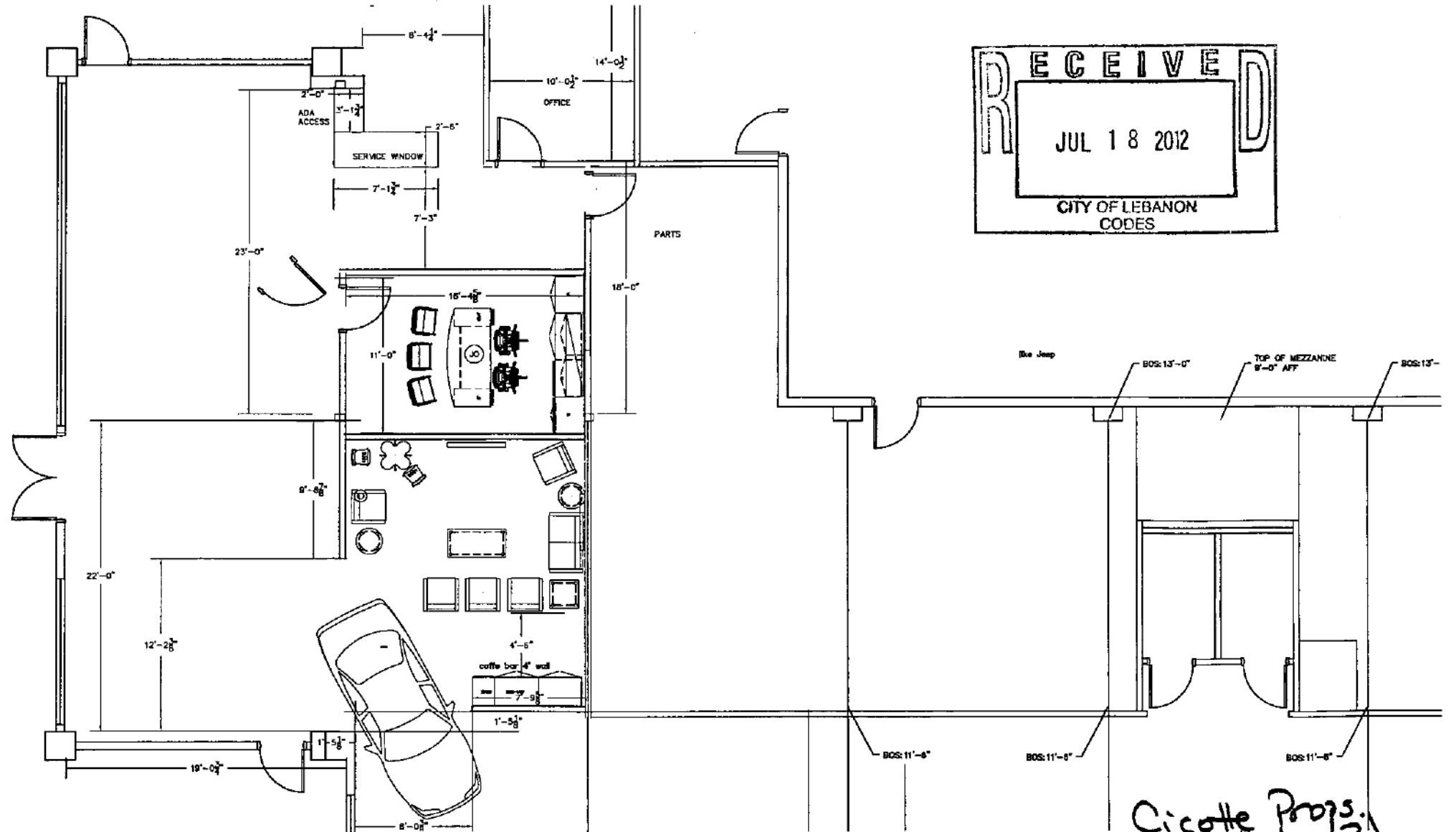
Cushman, Leann

From: Phil Maheu [pmaheu@millerautogroup.com]
Sent: Wednesday, July 18, 2012 2:52 PM
To: Cushman, Leann
Subject: FW: Volvo
Attachments: VOLVO 2.pdf

Leann,

Here is a plan of the interior walls that Duane requested. We are taking out more than what is going in. We are just trying to get a better flow for the customer.

Phil



Cicotte Props.
175 Heater Rd
P- 2012-142
m/L 64-30
Add'l Data

CITY OF LEBANON
Building Permit
COMMERCIAL
Lebanon, NH 03766
603-448-1524
www.lebcity.com

Permit Number
2012-00142
Date of Issue
6/21/2012

Owner: CICOTTE PROP LLC

Applicant: CICOTTE PROP LLC

Location of Work: 175 HEATER RD
(No. and Street) (Unit or Building)

Description of Work: RELOCATE INTERIOR WALLS, NEW HVAC SYSTEM

ZONING DATA: District: INDL Map/Lot: 64/30

CONTRACTOR: OWNER WILL DO THIS WORK

REMARKS:

THIS PERMIT IS BEING ISSUED WITH THE FOLLOWING CONDITIONS:

SEE ATTACHED CONDITIONS LETTER

WORK SHALL NOT PROCEED UNTIL THE CITY INSPECTORS HAVE APPROVED THE FOLLOWING STAGES OF CONSTRUCTION:

1. Foundation footings, forms and reinforcements. Lot pins must be in place at this inspection to assure the setback requirements are met. If the pins are not there or the setbacks cannot be verified, the construction will not be approved or allowed to continue. Mistakes in location of boundary lines are the sole responsibility of the property owner. **DO NOT POUR CONCRETE UNTIL THE ABOVE HAS BEEN APPROVED!**
2. Foundation insulation, waterproofing and drainage, prior to back-filling.
3. Structural rough frame, rough electrical and rough plumbing, prior to covering.
4. Prior to concealing any work authorized under this permit.
5. Final Inspection for Certificate of Occupancy, to include plumbing, heating, electrical, and any other code issue or miscellaneous item as applicable to the project including site improvements. **PLEASE SCHEDULE THIS AT LEAST 5 DAYS IN ADVANCE.**

A building or structure shall not be used or occupied in whole or in part until a **CERTIFICATE OF OCCUPANCY** has been issued.

APPROVED PLANS MUST BE KEPT AT THE JOB SITE - THIS CARD MUST BE KEPT POSTED UNTIL FINAL INSPECTIONS HAVE BEEN COMPLETED

Permit Holder: CICOTTE PROP LLC

(Taking Responsibility for the Work)

Company/Affiliation:

Job Site Phone Number:

Constr Cost: \$150,000 Permit Fee: \$1,050.00 Check No.: 53818 Cash: \$0.00

The Permit Card Shall be Posted and Visible From the Street During Construction

Code Official

6/21/2012

Date

June 21, 2012

CICOTTE PROP LLC
PO BOX 550
LEBANON, NH 03766

CONDITIONS FOR:

Permit: 2012-00142

Map\Lot: 64/30

Zone: INDL

Department: CALVIN HUNNEWELL, 448-1524

1. The submitted plans do not indicate the required air pressure between the office and the repair garage. Request clarification be provided to ensure the repair garage air will not enter the office area. 2009 IMC Section 403.2.1.
2. Provide verification that the HVAC system has been balanced and the system has been commissioned as required. Request the engineer provide documentation that the system is in compliance with the design. 2009 IECC Section 503.2.9.

Department: WINSTON SPENCER, 448-1524

3. Call the office to set up an on-site meeting with the electrical inspector and the electrical contractor prior to starting the project. At this meeting go over the scope of the project.

Department: DUANE EGNER 448-8810:

4. Provide a plan showing the interior wall relocations. Additional conditions may be imposed once this plan is received and reviewed.

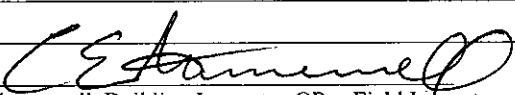
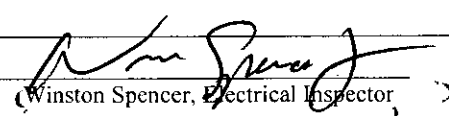
MAP 64 LOT 30 PLOT	PERMIT # 2012-00142
PLANS ARE: ATTACHED FLAT FILE HANGING UP	

Sent
45/7/12

COMMERCIAL BUILDING PERMIT TRACKING SHEET

✓ ZONING: Carmela	☒ approved	☐ conditioned	☐ denied	file path:													
✓ BLDG: Calvin ✓	☐ approved	☒ conditioned	☐ denied	file path:													
	☐ approved	☐ conditioned	☐ denied	file path:													
✓ BLDG: Win	☐ approved	☒ conditioned	☐ denied	file path:													
	☐ approved	☐ conditioned	☐ denied	file path:													
✓ PLAN: David ✓	☐ approved	☐ conditioned	☐ denied	file path: NA													
✓ FIRE: Duane	☒ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
✓ ENG: Christina	☒ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
DPW: Billing	☐ Fees paid	☐ Fees not pd	Amount still owed \$														
✓ DPW: Earl	☒ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
✓ DPW: Don Schagen	☒ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
✓ O & M: Bob McG	☒ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
✓ O & M: Carl/Clive	☒ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
add'l info:	☐ approved	☐ conditioned	☐ denied	file path:													
<table style="width: 100%; border: none;"> <tr> <td style="width: 20%;">ISSUED:</td> <td style="width: 20%;">☐ Permit</td> <td style="width: 20%;">☐ Interior</td> <td style="width: 20%;">☐ Plumbing</td> <td rowspan="4" style="width: 20%; vertical-align: top;"> PAID: ☐ Permit Fee ☐ Water & Sewer Fee </td> </tr> <tr> <td>☐ Status Report</td> <td>☐ Foundation</td> <td>☐ Electrical</td> <td>☐ Other</td> </tr> <tr> <td>☐ Status Report</td> <td>☐ Framing/steel</td> <td>☐ Mechanical</td> <td></td> </tr> </table>					ISSUED:	☐ Permit	☐ Interior	☐ Plumbing	PAID: ☐ Permit Fee ☐ Water & Sewer Fee	☐ Status Report	☐ Foundation	☐ Electrical	☐ Other	☐ Status Report	☐ Framing/steel	☐ Mechanical	
ISSUED:	☐ Permit	☐ Interior	☐ Plumbing	PAID: ☐ Permit Fee ☐ Water & Sewer Fee													
☐ Status Report	☐ Foundation	☐ Electrical	☐ Other														
☐ Status Report	☐ Framing/steel	☐ Mechanical															

CITY OF LEBANON-
BUILDING/ZONING PERMIT APPLICATION
IN HOUSE REVIEW FORM

PERMIT # 2012-00142	MAP & LOT# 64-30	DATE: 6/13/2012
PROPERTY OWNER: Cicotte Properties (Miller Volvo)		
PROJECT LOCATION: 175 Heater Rd/Leb		
PROJECT: Relocate interior walls, new HVAC system		
☐ Approved ☐ Conditioned (See Below) ☐ Denied		
COMMENTS: _____		
<u>BUILDING REVIEW</u>		
☒ Approved ☒ Conditioned (See Below) ☐ Denied		
COMMENTS: _____		
See Review notes		
SIGNED:  DATED: 6/18/12		
Calvin Hunnewell, Building Inspector OR , Field Inspector		
<u>ELECTRICAL REVIEW</u>		
☒ Approved ☒ Conditioned (See Below) ☐ Denied		
COMMENTS: _____		
Meet with electrical contractor on site when work is to begin to go over the scope of the project.		
SIGNED:  DATED: 6/21/12		
Winston Spencer, Electrical Inspector		
<u>FIRE REVIEW</u>		
☐ Approved ☐ Conditioned (See Below) ☐ Denied		
COMMENTS: _____		
SIGNED: _____ DATED: _____		
Duane Egner or Jon Paul, Fire Inspector		

Cushman, Leann

From: Hunnewell, Calvin
Sent: Monday, June 18, 2012 9:42 AM
To: Cushman, Leann
Subject: Cicotte - Miller Volvo

Review notes – ok to issue with conditions -

The submitted plans do not indicate the required air pressure between the office and repair garage. Request clarification be provided to ensure the repair garage air will not enter the office area. 2009 IMC section 403.2.1

Provide verification that the hvac system has been balanced and the system has been commissioned as required. Request the engineer provide documentation that the system is in compliance with the design. 2009 IECC section 503.2.9

64-30
2012-00142

CITY OF LEBANON - BUILDING PERMIT APPLICATION - DEPARTMENTAL REVIEW FORM

PERMIT# 2012-00142	MAP&LOT# 64-30	DATE: 5-03-12
PROPERTY OWNER CICOTTE PROPERTIES		<i>David</i>
PROJECT LOCATION: 175 HEATER RD LEBANON		
PERMIT: Relocate int walls, new HVAC system DATA: One sheet (24x36) of plans		FIRE DEPARTMENT REVIEW ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Duane Egner or Jon Paul, Fire Insp. DATED: _____
PLANNING DEPARTMENT REVIEW ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: <i>David Brooks</i> David Brooks Assoc. Planner DATED: <i>5/17/12</i>		<i>No PB review req'd for interior renovations</i> CITY ENGINEER ☐ Driveway Permit Attached ☐ Excavation Permit Reviewed & Approved ☐ Approved-NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Christina Hall, City Engineer DATED: _____
5 - UTILITY MAINTENANCE GROUP ☐ Sewer Fee ☐ Water Fee Calcs. Attached ☐ Benefit Assessment Fee Calcs. Attached ☐ No Fees Applicable to Project ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Carl Colburn, Utilities Maintenance Supervisor DATED: _____		4 - UTILITY OPERATIONS GROUP ☐ IWS Questionnaire Needed ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Don Schagen, Wastewater Treatment Plant Super. DATED: _____
1 - UTILITY MAINTENANCE GROUP ☐ Approved With No Comments ☐ Approved With Conditions (Attached) ☐ Denied (See Notes Attached) SIGNED: _____ Robert McGonis, Meter/Backflow Technician DATED: _____		2 - OPERATIONS & MAINTENANCE GROUP ☐ Approved With No Comments ☐ Approved With Conditions (Attached) ☐ Denied (See Notes Attached) SIGNED: _____ Earl Labonte, Maintenance Manager DATED: _____
NOTES:		IMPACT FEES - PLANNING/CODES Planning Board Application Date _____ Impact Fee? _____ Copy of Planning Board Approval _____

Cushman, Leann

From: Egner, Duane
Sent: Friday, May 11, 2012 10:06 AM
To: Cushman, Leann; Adams, Crystal
Cc: Libbey, Jeffrey
Subject: Permit 2012-00142 175 Heater Rd, Cicotte Properties

Leann & Crystal-

I've approved the above mentioned permit and placed conditions into Munismart. The only condition is as follows:

1. Provide a plan showing the interior wall relocations. Additional conditions may be imposed once this plan is received and reviewed.

If you have any questions, please let me know.

Thanks,
Duane

Duane Egner
Fire Inspector,
Lebanon Fire Department
12 South Park Street
Lebanon, NH 03766
(p) 603-448-8810
(f) 603-448-8811
Duane.Egner@lebcity.com

CONFIDENTIALITY NOTICE

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Cicotte Properties
175 Heater Rd
64-30
P-2012-142

CITY OF LEBANON - BUILDING PERMIT APPLICATION - DEPARTMENTAL REVIEW FORM

PERMIT# 2012-00142	MAP&LOT# 64-30	DATE: 5-03-12
PROPERTY OWNER CICOTTE PROPERTIES		<i>FIRE</i>
PROJECT LOCATION: 175 HEATER RD LEBANON		
PERMIT: Relocate int walls, new HVAC system DATA: One sheet (24x36) of plans	<u>FIRE DEPARTMENT REVIEW</u> ☐ Approved - NO COMMENTS ☒ Approved with Conditions-see Attached ☐ Denied SIGNED: <u><i>[Signature]</i></u> DATED: <u>11 May 2012</u>	
<u>PLANNING DEPARTMENT REVIEW</u> ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ David Brooks Assoc. Planner DATED: _____	<u>CITY ENGINEER</u> ☐ Driveway Permit Attached ☐ Excavation Permit Reviewed & Approved ☐ Approved-NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Christina Hall, City Engineer DATED: _____	
<u>5 - UTILITY MAINTENANCE GROUP</u> ☐ Sewer Fee ☐ Water Fee Calcs. Attached ☐ Benefit Assessment Fee Calcs. Attached ☐ No Fees Applicable to Project ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Carl Colburn, Utilities Maintenance Supervisor DATED: _____	<u>4 - UTILITY OPERATIONS GROUP</u> ☐ IWS Questionnaire Needed ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Don Schagen, Wastewater Treatment Plant Super. DATED: _____	
<u>1 - UTILITY MAINTENANCE GROUP</u> ☐ Approved With No Comments ☐ Approved With Conditions (Attached) ☐ Denied (See Notes Attached) SIGNED: _____ Robert McGonis, Meter/Backflow Technician DATED: _____	<u>2 - OPERATIONS & MAINTENANCE GROUP</u> ☐ Approved With No Comments ☐ Approved With Conditions (Attached) ☐ Denied (See Notes Attached) SIGNED: _____ Earl Labonte, Maintenance Manager DATED: _____	
NOTES: LEBANON FIRE	<u>IMPACT FEES - PLANNING/CODES</u> Planning Board Application Date _____ Impact Fee? _____ Copy of Planning Board Approval _____	

MAR 10 2012

DEPARTMENT

Egner, Duane

From: Egner, Duane
Sent: Friday, May 11, 2012 10:06 AM
To: Cushman, Leann; Adams, Crystal
Cc: Libbey, Jeffrey
Subject: Permit 2012-00142 175 Heater Rd, Cicotte Properties

Leann & Crystal-

I've approved the above mentioned permit and placed conditions into Munismart. The only condition is as follows:

1. Provide a plan showing the interior wall relocations. Additional conditions may be imposed once this plan is received and reviewed.

If you have any questions, please let me know.

Thanks,
Duane

Duane Egner
Fire Inspector,
Lebanon Fire Department
12 South Park Street
Lebanon, NH 03766
(p) 603-448-8810
(f) 603-448-8811
Duane.Egner@lebcity.com

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The information contained in this electronic message and any attachments to this message are intended for the exclusive use of the addressee(s) and may contain confidential, privileged or exempt information in accordance with NH RSA 91-A and other applicable laws or regulations. If you are not the intended recipient, please reply to the City of Lebanon sender or notify the City of Lebanon immediately at (603) 448-8810 and delete or destroy all copies of this message and any attachments. Any unauthorized use, disclosure, or distribution of this message and any attachments is strictly prohibited.

A handwritten signature in black ink, appearing to be 'L. Adams', is located in the bottom right corner of the page.

CITY OF LEBANON - BUILDING PERMIT APPLICATION - DEPARTMENTAL REVIEW FORM

PERMIT# 2012-00142	MAP&LOT# 64-30	DATE: 5-03-12
PROPERTY OWNER CICOTTE PROPERTIES		DPW
PROJECT LOCATION: 175 HEATER RD LEBANON		
PERMIT: Relocate int walls, new HVAC system DATA: One sheet (24x36) of plans		FIRE DEPARTMENT REVIEW ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Duane Egner or Jon Paul, Fire Insp. DATED: _____
PLANNING DEPARTMENT REVIEW ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ David Brooks Assoc. Planner DATED: _____		CITY ENGINEER ☐ Driveway Permit Attached ☐ Excavation Permit Reviewed & Approved ☒ Approved-NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: <u>Christina Hall</u> Christina Hall, City Engineer DATED: <u>5/24/12</u>
5 - UTILITY MAINTENANCE GROUP ☐ Sewer Fee ☐ Water Fee Calcs. Attached ☐ Benefit Assessment Fee Calcs. Attached ☐ No Fees Applicable to Project ☒ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: <u>Carl Colburn</u> Carl Colburn, Utilities Maintenance Supervisor DATED: <u>5/11/12</u>		4 - UTILITY OPERATIONS GROUP ☐ IWS Questionnaire Needed ☒ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: <u>Don Schagen</u> Don Schagen, Wastewater Treatment Plant Super. DATED: <u>5/15/12</u>
1 - UTILITY MAINTENANCE GROUP ☒ Approved With No Comments ☐ Approved With Conditions (Attached) ☐ Denied (See Notes Attached) SIGNED: <u>Robert McGonis</u> Robert McGonis, Meter/Backflow Technician DATED: <u>5/10/2012</u>		2 - OPERATIONS & MAINTENANCE GROUP ☒ Approved With No Comments ☐ Approved With Conditions (Attached) ☐ Denied (See Notes Attached) SIGNED: <u>Earl Labonte</u> Earl Labonte, Maintenance Manager DATED: <u>8 MAY 2012</u>
NOTES:		IMPACT FEES - PLANNING/CODES Planning Board Application Date _____ Impact Fee? _____ Copy of Planning Board Approval _____

City of Lebanon – Department of Public Works

BUILDING PERMIT APPLICATION REVIEW

Permit #: 2012-142	Map/Lot: 64-30	Codes Date: 5/3/12
Property Owner: Circotte Properties		
Property Location: 175 Heater Road		
Permit For: Relocate int walls, new HVAC system		

Conditions of Approval:

Christina Hall, City Engineer: **Approved, no comments.**

Earl Labonte, Maintenance Manager: **Approved, no comments.**

Robert McGonis, Water Meter/Backflow Technician: **Approved, no comments.**

Carl Colburn, Utilities Maintenance Superintendent: **Approved, no comments.**

Don Schagen, Utilities Operations Group: **Approved, no comments.**

Returned to Codes via e-mail: 5/30/12

Miller Volvo

Table 1 (cont.). Ground snow load (p_g) at a specific elevation for all New Hampshire towns.

Map no.	Town	p_g^* (lb/ft ²)†	Elevation (ft)**
25	Jefferson	100	1700
209	Keene	70	900
217	Kensington	50	200
22	Klikenny	95	1700
219	Kingston	50	200
106	Laconia	80	900
23	Lancaster	75	1300
54	Landaff	80	1300
165	Langdon	80	1000
99	Lebanon	80	1200
170	Lee	55	200
152	Lempster	95	1600
55	Lincoln	95	1400
43	Lisbon	75	1100
234	Litchfield	60	250
31	Littleton	75	1200
58	Livermore	100	1500
222	Londonderry	65	500
136	Loudon	80	900
33	Low & Burbanks Grant	105	1800
39	Lyman	75	1200
80	Lyme	70	1100
221	Lyndeborough	80	1000
163	Madbury	60	200
71	Madison	90	1100
196	Manchester	70	500
228	Mariborough	80	1300
167	Mariow	90	1600
35	Martins Location	100	1300
254	Mason	75	1000
96	Meredith	80	1000
232	Merrimack	60	400
118	Middleton	90	800
21	Milan	95	1500
243	Milford	70	600
12	Millsfield	90	1700
116	Milton	90	800
38	Monroe	65	1000
227	Mont Vernon	75	900
87	Moultonborough	80	900
252	Nashua	60	400
202	Nelson	90	1500
201	New Boston	80	800
188	New Castle	50	50
113	New Durham	90	900
100	New Hampton	80	1000
258	New Ipswich	80	1300
126	New London	95	1400
139	Newbury	90	1300
194	Newfields	50	150
178	Newington	50	100
184	Newmarket	50	200
132	Newport	85	1200
236	Newton	50	250
208	North Hampton	50	100
127	Northfield	75	800
19	Northumberland	75	1200
153	Northwood	80	800
166	Nottingham	65	500
14	Odeli	90	1800
95	Orange	90	1500
72	Orford	70	1100

* These loads only apply at the elevations listed. For lower elevations reduce the load by 2.1 lb/ft² for every 100 ft of elevation difference. For higher elevations up to 2500 ft, increase the load by 2.1 lb/ft² for every 100 ft of elevation difference. Examples are presented in the text. Do not use this information above 2500 ft. Conduct a site-specific snow load case study.

† To convert lb/ft² to kN/m², multiply by 0.048.

** To convert feet to meters, multiply by 0.305.

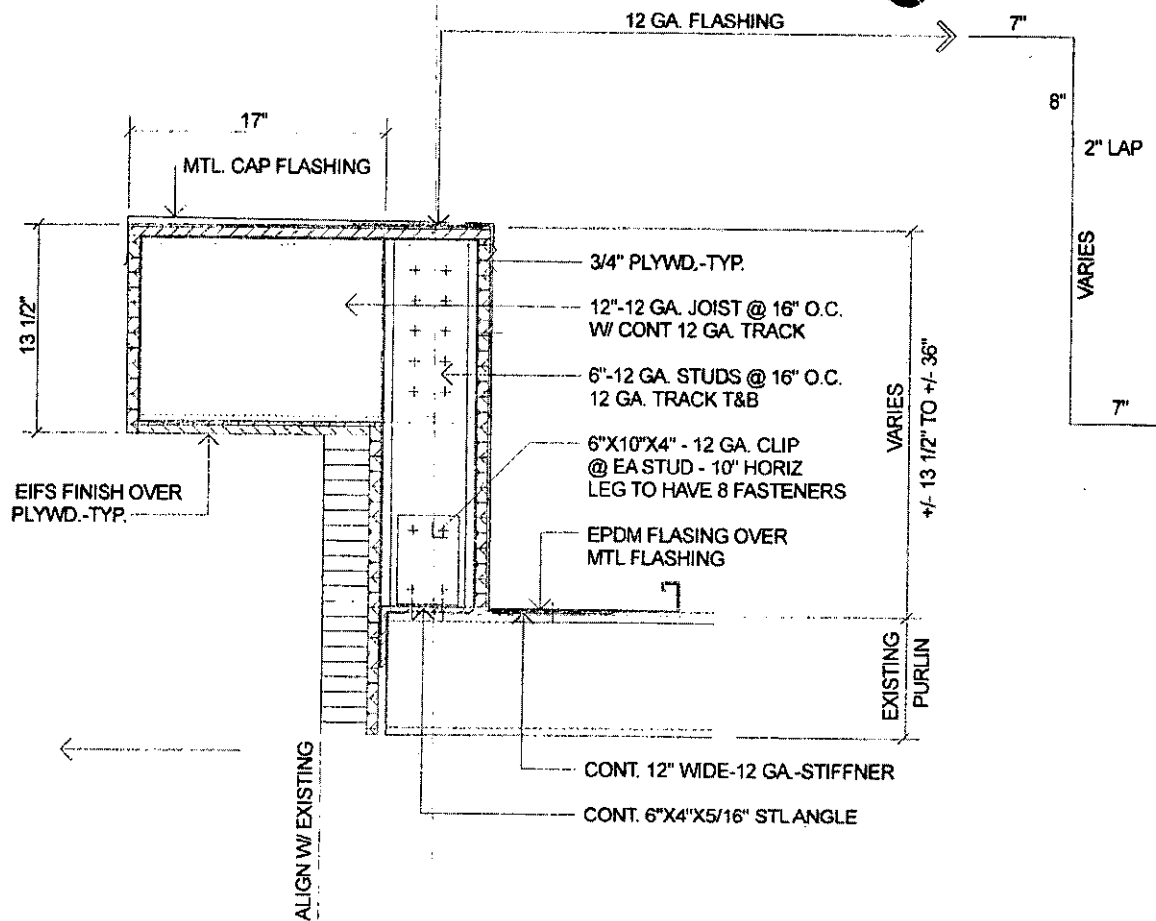
BUILDING ELEV. = 583.00'

80 PSF/GROUND @ 1200' ELEV.

1200 - 583 = 617' ROUND TO 600

600 ÷ 100 = 6 × 2.1 = 12.6

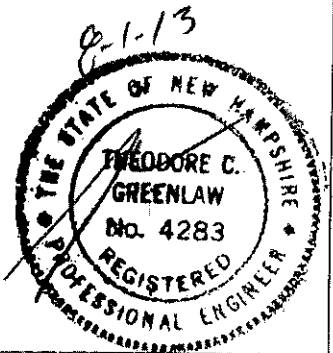
80 - 12 = 68 PSF GROUND @ 70% = 47.6 PSF
ROOF SNOW



TYPICAL PARAPET SECTION

SCALE

1 1/2"=1'-00"



Ted Greenlaw P.E.
183 Columbia Rd.
Hanover, Ma. 02339
Tel # 781-826-8369

MILLER AUTO GROUP - VOLVO

LEBANON

NEW HAMPSHIRE



E. F. WALL &
ASSOC., INC.
BARRE VERMONT

SCALE

1 1/2"=1'-00"

PARAPET DETAIL

DATE

7/8/13

REVISED

SK1

CITY OF LEBANON - BUILDING PERMIT APPLICATION - DEPARTMENTAL REVIEW FORM

PERMIT# 2012-00142	MAP&LOT# 64-30	DATE: 6/13/2012
PROPERTY OWNER: Cicotte Properties (Miller Volvo)		
PROJECT LOCATION: 175 Heater Rd/ Lebanon		
PERMIT IS: Relocate interior walls, new HVAC system INFORMATION RECEIVED: ADDITIONAL DATA 6/13/2012 4 pgs - 11 x 17 M-101 1st FL HVAC Ductwork Plan M-201 1st FL HVAC Piping Plan M-600 AHU Venting, Condensate & Gas Piping Detail MD-101 1st FL HVAC Demo Plan		
FIRE DEPARTMENT REVIEW ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Duane Egner or Jon Paul, Fire Insp. DATED: _____		PLANNING DEPARTMENT REVIEW ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ David Brooks, Senior Planner DATED: _____
CITY ENGINEER ☐ Driveway Permit Attached ☐ Excavation Permit Reviewed & Approved ☐ Approved-NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Christina Hall, City Engineer DATED: _____		5 - UTILITY MAINTENANCE GROUP ☐ Sewer Fee ☐ Water Fee Calcs. Attached ☐ Benefit Assessment Fee Calcs. Attached ☐ No Fees Applicable to Project ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Carl Colburn, Utilities Maintenance Supervisor DATED: _____
4 - UTILITY OPERATIONS GROUP ☐ IWS Questionnaire Needed ☐ Approved - NO COMMENTS ☐ Approved with Conditions-see Attached ☐ Denied SIGNED: _____ Don Schagen, Wastewater Treatment Plant Super. DATED: _____		1 - UTILITY MAINTENANCE GROUP ☐ Approved With No Comments ☐ Approved With Conditions (Attached) ☐ Denied (See Notes Attached) SIGNED: _____ Robert McGonis, Meter/Backflow Technician DATED: _____
2 - OPERATIONS & MAINTENANCE GROUP ☐ Approved With No Comments ☐ Approved With Conditions (Attached) ☐ Denied (See Notes Attached) SIGNED: _____ Earl Labonte, Maintenance Manager DATED: _____		NOTES:



REVISIONS:		DESCRIPTION	DATE
NO.	DATE	DESCRIPTION	
1			
2			
3			
4			
5			
6			

VERMONT MECHANICAL INCORPORATED
PO Box 728, Williston, VT 05495
Ph: 802-862-5900 F: 802-862-2219
www.vtmechanical.com

MILLER VOLVO RENOVATIONS
MILLER AUTO GROUP
175 HEATER RD
LEBANON, NEW HAMPSHIRE

VMI JOB NO. ---
DRAWN BY: SRL
CHECKED BY: WEA
DWG DATE: 02/20/12
VMI JOB NO.

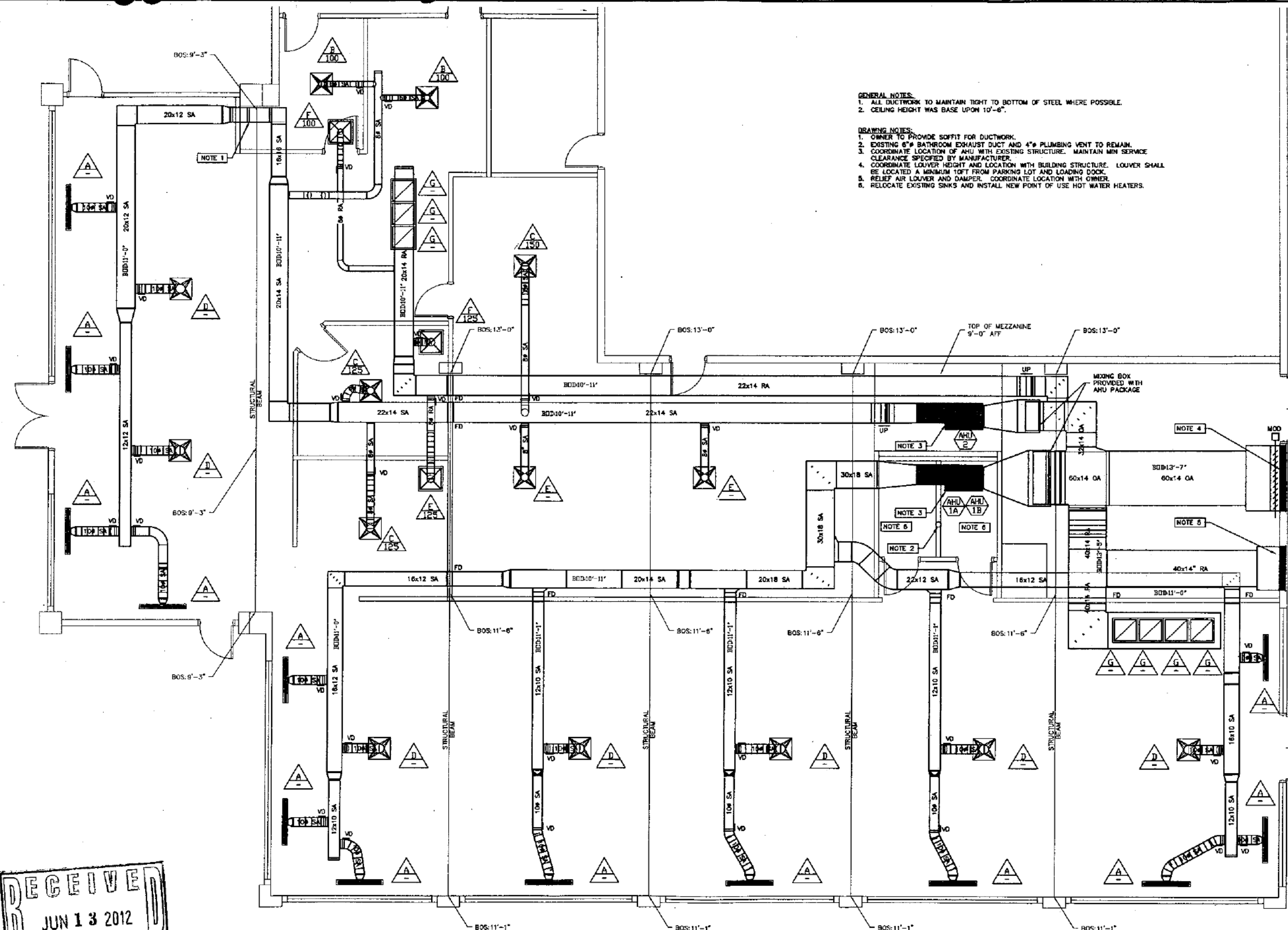
M-101

- GENERAL NOTES:**
1. ALL DUCTWORK TO MAINTAIN TIGHT TO BOTTOM OF STEEL WHERE POSSIBLE.
2. CEILING HEIGHT WAS BASE UPON 10'-6".
- DRAWING NOTES:**
1. OWNER TO PROVIDE SOFFIT FOR DUCTWORK.
2. EXISTING 6" BATHROOM EXHAUST DUCT AND 4" PLUMBING VENT TO REMAIN.
3. COORDINATE LOCATION OF AHU WITH EXISTING STRUCTURE. MAINTAIN MIN SERVICE CLEARANCE SPECIFIED BY MANUFACTURER.
4. COORDINATE LOUVER HEIGHT AND LOCATION WITH BUILDING STRUCTURE. LOUVER SHALL BE LOCATED A MINIMUM 10FT FROM PARKING LOT AND LOADING DOCK.
5. RELIEF AIR LOUVER AND DAMPER. COORDINATE LOCATION WITH OWNER.
6. RELOCATE EXISTING SINKS AND INSTALL NEW POINT OF USE HOT WATER HEATERS.

- CU 2
- CU 1B
- CU 1A

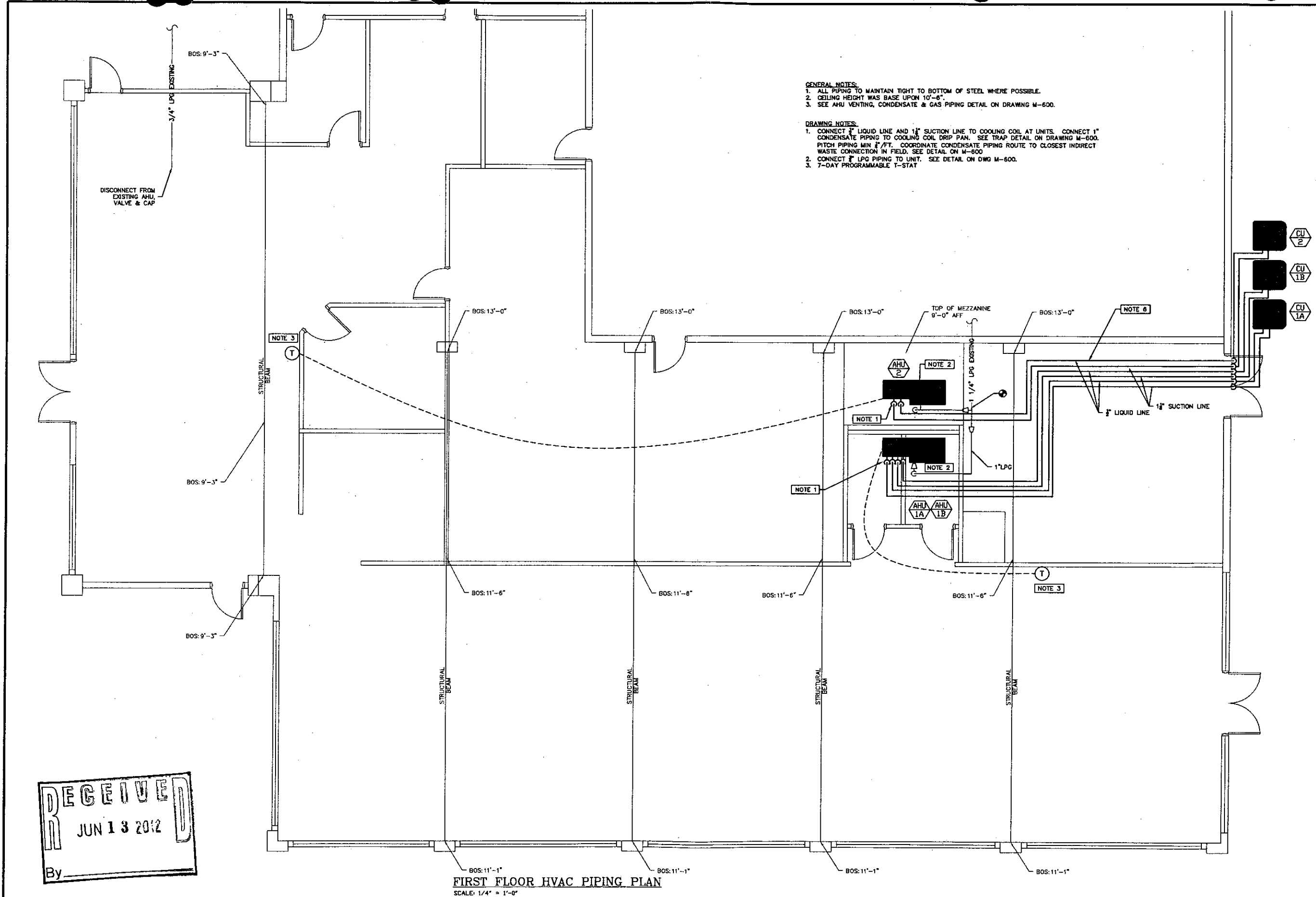
RECEIVED
JUN 13 2012
By _____

Cicotte Prop R/L Lebo
175 Heater Rd
p-2012-42 M/L 64-30
6/13/12
Rec'd



FIRST FLOOR HVAC DUCTWORK PLAN
SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION
6/7/12



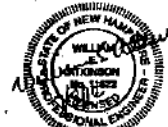
REVISIONS:		DESCRIPTION	DATE	BY	CHK'D
1					
2					
3					
4					
5					
6					

VERMONT MECHANICAL INCORPORATED
PO Box 728, Williston, VT 05495
Ph: 802-862-5900 F: 802-862-2219
www.vrmechanical.com

**MILLER VOLVO RENOVATIONS
MILLER AUTO GROUP
175 HEATER RD
LEBANON, NEW HAMPSHIRE**

VMI JOB NO. ---
DRAWN BY: SRL
CHECKED BY: WEA
DWG DATE: 02/20/12
VMI JOB NO.

M-201



REVISED	NO.	DATE	DESCRIPTION	BY

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INCORPORATED
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VMI JOB NO. _____

M-600

PACKAGED AIR HANDLING UNIT SCHEDULE

PLAN SYMBOL	DESCRIPTION	MANUFACTURER AND MODEL	AIR-FLOW (CFM)	HEATING (BTU'S)	COOLING (BTU'S)	SEER	ENERGY EFFICIENCY INDEX	NOTES
AHU-1A	SPLIT SYSTEM AIR CONDITIONING UNIT	TRANE TUH120A9	2,000	110	104.5	13	115/1/80	DX COOLING COIL: TXCO061BC3HC ECONOMIZER, MIXING BOX
AHU-1B	SPLIT SYSTEM AIR CONDITIONING UNIT	TRANE TUH120A9	2,000	110	104.5	13	115/1/80	DX COOLING COIL: TXCO061BC3HC ECONOMIZER, MIXING BOX
AHU-2	SPLIT SYSTEM AIR CONDITIONING UNIT	TRANE TUH120A9	2,000	110	104.5	13	115/1/80	DX COOLING COIL: TXCO061BC3HC ECONOMIZER, MIXING BOX

NOTES:
1. AHU-1A AND AHU-1B TO BE TWINNED TOGETHER TO PROVIDE A TOTAL COOLING CAPACITY OF 10 TONS.
2. PROVIDE CONCENTRIC VENT KIT FOR ALL UNITS.

CONDENSING UNIT SCHEDULE

PLAN SYMBOL	DESCRIPTION	MANUFACTURER AND MODEL	SERVICE	NOMINAL BTU'S	ELECTRICAL SERVICE (V/PH/Hz)	NOTES
CU-1A	SPLIT SYSTEM CONDENSING UNIT	TRANE 4TTA3080	AHU-1A	60,000	208/3/60	21 35
CU-1B	SPLIT SYSTEM CONDENSING UNIT	TRANE 4TTA3080	AHU-1B	60,000	208/3/60	21 35
CU-2	SPLIT SYSTEM CONDENSING UNIT	TRANE 4TTA3080	AHU-2	60,000	208/3/60	21 35

REGISTERS, GRILLES & DIFFUSER SCHEDULE

PLAN SYMBOL	DESCRIPTION	MANUFACTURER AND MODEL	CFM RANGE	NOMINAL SIZE	FACE SIZE	MAX. DELTA P	MAX. N.C.	NOTES
A	LINEAR SLOT DIFFUSER	RAYMOND SAT SERIES	0-300	10" OVAL	48"x4"	0.10	21	2 SLOT, ADJUSTABLE THROW, STEEL, INTERNAL INSULATION, WHITE
B	SQUARE CONE DIFFUSER	PRICE 6/24/24/300/3/30/812	0-100	6"	24X24	0.10	20	WHITE, STEEL, 4-WAY, 3 CONE T-BAR LAY-IN, 24X24 PANEL
C	SQUARE CONE DIFFUSER	PRICE 6/24/24/300/3/30/812	100-240	8"	24X24	0.10	20	WHITE, STEEL, 4-WAY, 3 CONE T-BAR LAY-IN, 24X24 PANEL
D	SQUARE CONE DIFFUSER	PRICE 10/24/24/300/3/30/812	240-380	10"	24X24	0.10	20	WHITE, STEEL, 4-WAY, 3 CONE T-BAR LAY-IN, 24X24 PANEL
E	ROUND CONE DIFFUSER	PRICE 8/ROCK/812	100-200	8"	-	0.10	20	WHITE, STEEL
F	PERFORATED FACE RETURN GRILLE	PRICE 6/24/24/300/3/30/812	0-100	8"	24X24	0.10	20	WHITE, STEEL, T-BAR LAY-IN, 24X24 PANEL
G	PERFORATED FACE RETURN GRILLE	PRICE 10/24/24/300/3/30/812	800-1200	16"	24X24	0.10	20	WHITE, STEEL, T-BAR LAY-IN, 24X24 PANEL

LOUVER SCHEDULE

PLAN SYMBOL	DESCRIPTION	MANUFACTURER AND MODEL	NOMINAL SIZE	MAX. CFM	FREE AREA	MAX. VELOCITY	DAMPER/ACTUATOR INFO	NOTES
L-1	EXTRUDED ALUMINUM	GREENHECK	72"x48"	6,000	12 SF	500FPM	LOW LEAK DAMPER W/ACT.	PROVIDE LOW LEAK DAMPER 72"x48" AND ACTUATOR COORDINATE LOUVER COLOR WITH OWNER
L-2	EXTRUDED ALUMINUM	GREENHECK	48"x48"	6,000	8 SF	-	-	PROVIDE BR-30 RELIEF AIR DAMPER COORDINATE LOUVER COLOR WITH OWNER

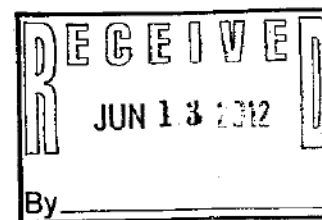
HVAC PIPE & DUCT INSULATION THICKNESS TABLE

FLUID SYSTEM	FLUID TEMP RANGE	PIPE SIZE	
		1 1/2" OR SMALLER	GREATER THAN 1 1/2"
COOLING PIPING SYSTEMS	LESS THAN 55° F	1 1/2"	1 1/2"
CONDENSER/HEAT PUMP PIPING SYSTEM	55° F - 105° F	N/A	N/A
HOT WATER HEATING PIPING	GREATER THAN 105° F	1 1/2"	2"
STEAM HEATING SYSTEMS	N/A	1 1/2"	3"
MECHANICAL ROOM DUCT (SEE NOTE B)	50-100° F	2" RIGID BOARD	
SUPPLY AIR DUCT	50-100° F	MIN R-5 FSK	
RETURN AIR DUCT	70-100° F	SEE NOTE C	
EXHAUST AIR DUCT	70-100° F	SAME AS SUPPLY WITHIN 10' OF EXTERIOR	

PIPE & DUCT INSULATION NOTES:
A. THESE VALUES ARE FROM TABLE 503.2.8 (PG.51) IN THE 2009 IECC
B. ALL EXPOSED SUPPLY, OUTSIDE AIR, AND ALL DUCT CONNECTED TO LOUVERS (FIRST 10FT)
C. WHEN DESIGN TEMPERATURE DIFFERENCE BETWEEN THE INTERIOR AND EXTERIOR OF THE DUCT OR PLENUM EXCEEDS 15° F, SECTION 503.2.7 (PG.50) IN THE 2009 IECC.

LEGEND SCHEMATIC:

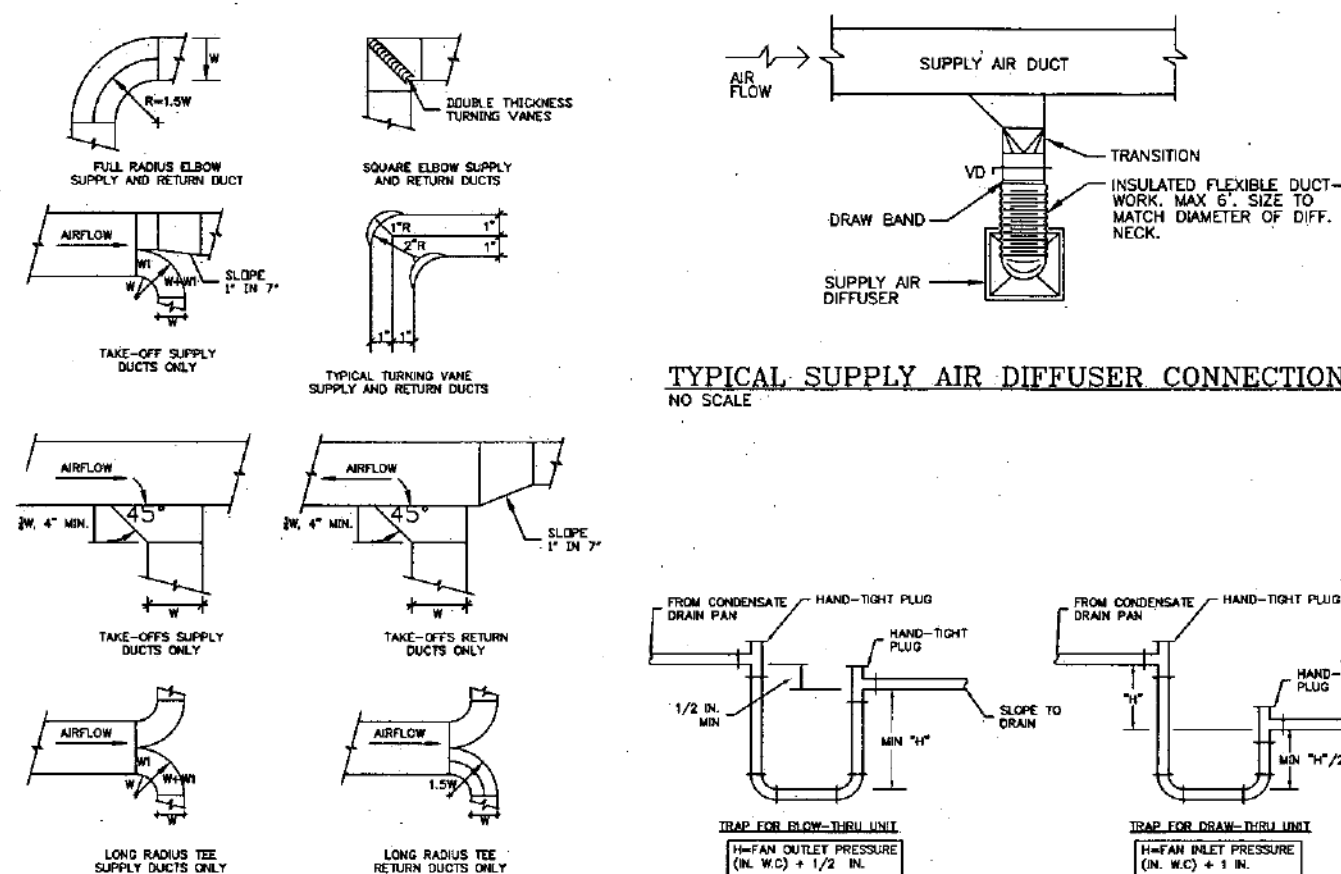
- CONCENTRIC ROOF TERMINAL TRANE BAYAIR30AVENTA. LOCATE ROOF PENETRATION TO ADHERE TO AHU INSTALLATION MANUAL AND LOCAL CODES. MAINTAIN 12 INCHES MINIMUM CLEARANCE ABOVE HIGHEST ANTICIPATED SNOW LEVEL. MAXIMUM OF 24 INCHES ABOVE ROOF. MAINTAIN A MIN SEPARATION DISTANCE OF 1" BETWEEN VENT KITS.
- 3" COMBUSTION AIR AND VENT PIPING, USE SCHEDULE 40 PVC OR OTHER APPROVED MATERIAL STATED IN THE MFG INSTALLATION MANUAL. PROVIDE PIPE SUPPORTS EVERY 3 FEET OF HORIZONTAL AND VERTICAL RUN. INSTALLATION OF ALL COMBUSTION AIR AND VENT PIPING PER AHU INSTALLATION MANUAL AND LOCAL CODES. COMBUSTION AIR AND VENT PIPING TO PITCH A MINIMUM OF 1/8" / FT. 8" DIRT LEG (TYPICAL).
- GAS COCK (TYPICAL). SEE AHU INSTALLATION MANUAL.
- GROUND UNION JOINT (TYPICAL). SEE AHU INSTALLATION MANUAL.
- CONDENSATE TRAP. SEE DETAIL ON DWG M-600.
- JAM BOILER WORKS CONDENSATE NEUTRALIZER MODEL: JN-2. SEE MFG'S INSTALLATION MANUAL.
- FURNACE CONDENSATE DRAIN TRAP PROVIDED WITH AHU (TYPICAL). TRAP TO BE RELOCATED AS SPECIFIED IN INSTALLATION MANUAL.
- CONDENSATE DRAIN TO BE PIPED TO NEAREST INDIRECT WASTE CONNECTION. COORDINATE PIPE ROUTE IN FIELD.



FOR CONSTRUCTION

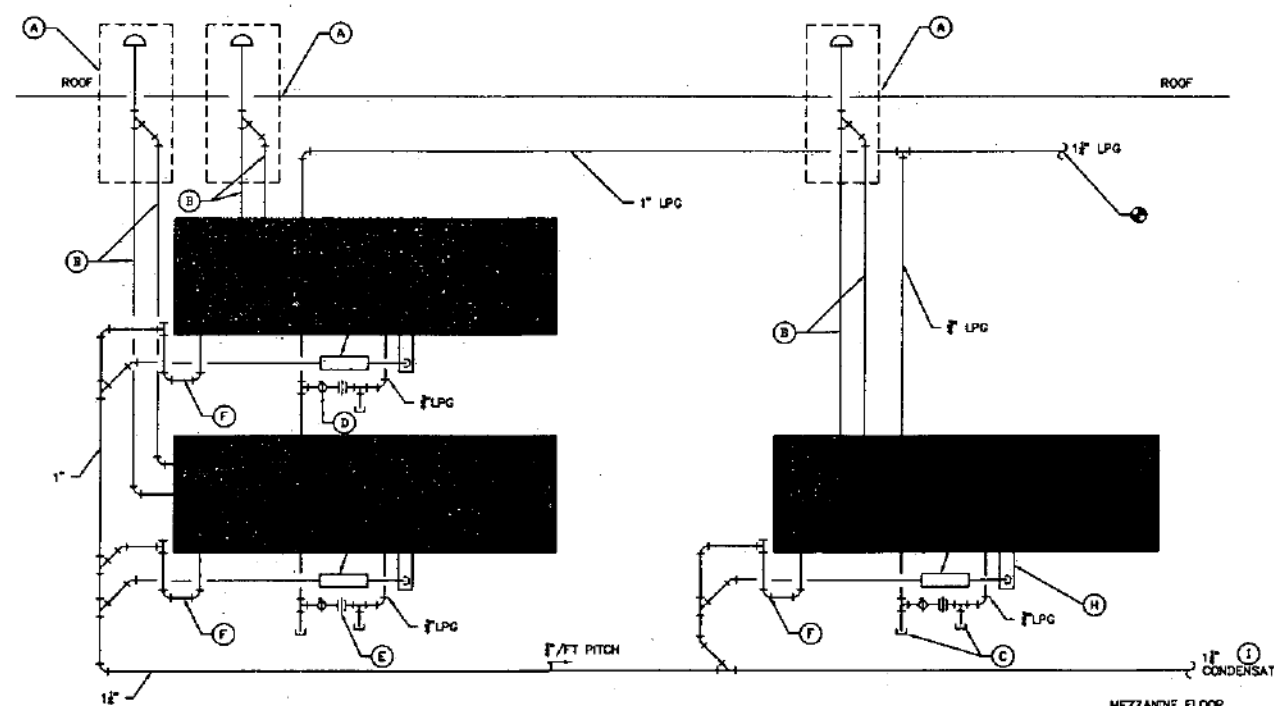
6/7/12

AHU VENTING, CONDENSATE & GAS PIPING DETAIL
SCALE: NTS



DUCT DETAILS
SCALE: NTS

CONDENSATE TRAP DETAILS
SCALE: NTS





REVISIONS:		DATE	DESCRIPTION	BY
NO.	DATE	DESCRIPTION	BY	
1				
2				
3				
4				
5				

VERMONT MECHANICAL INCORPORATED

M

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MILLER VOLVO RENOVATIONS
MILLER AUTO GROUP
175 HEATER RD
LEBANON, NEW HAMPSHIRE

DATE: 06/07/12
FIRST FLOOR HVAC DEMOLITION PLAN

VMI JOB NO. _____
DRAWN BY: SRL
CHECKED BY: WEA
DWG DATE: 02/20/12
VMI JOB NO. _____

MD-101

GENERAL NOTES:

- DRAWING NOTES:
1. REMOVE EXISTING SPLIT SYSTEM AIR HANDLER AND ALL ASSOCIATED DUCTWORK AND PIPING. VMI TO RECLAIM REFRIGERANT, AND DISCONNECT GAS PIPING TO MAKE UNIT SAFE FOR REMOVAL. OWNER TO DISCONNECT ALL ELECTRICAL CONNECTIONS. VMI TO DISCONNECT AND REMOVE ALL LOW VOLTAGE CONTROLS. REMOVE ALL REFRIGERANT PIPE, DUCTWORK AND RGD'S. CORRESPONDING CONDENSING UNIT LOCATE ON THE ROOF TO BE REMOVED. REMOVE VENT PIPING AND COMBUSTION AIR PIPE. OWNER TO PATCH ALL EXISTING ROOF PENETRATIONS. GIVE EXISTING EQUIPMENT TO OWNER FOR STORAGE.
 2. REMOVE EXISTING SPLIT SYSTEM AIR HANDLER AND ALL ASSOCIATED DUCTWORK AND PIPING. VMI TO RECLAIM REFRIGERANT, AND DISCONNECT GAS PIPING TO MAKE UNIT SAFE FOR REMOVAL. OWNER TO DISCONNECT ALL ELECTRICAL CONNECTIONS. VMI TO DISCONNECT AND REMOVE ALL LOW VOLTAGE CONTROLS. REMOVE ALL REFRIGERANT PIPE, DUCTWORK AND RGD'S. CORRESPONDING CONDENSING UNIT TO BE REMOVED. REMOVE VENT PIPING. OWNER TO PATCH ALL EXISTING ROOF PENETRATIONS.
 3. EXISTING ELECTRICAL HOT WATER HEATER TO BE REMOVED. OWNER TO DISCONNECT ALL ELECTRICAL CONNECTIONS.
 4. REMOVE EXISTING SPLIT SYSTEM AIR HANDLERS, QTY 2, AND ALL ASSOCIATED DUCTWORK AND PIPING. VMI TO RECLAIM REFRIGERANT, AND DISCONNECT GAS PIPING TO MAKE UNIT SAFE FOR REMOVAL. OWNER TO DISCONNECT ALL ELECTRICAL CONNECTIONS. VMI TO DISCONNECT AND REMOVE ALL LOW VOLTAGE CONTROLS. REMOVE ALL REFRIGERANT PIPE, DUCTWORK AND RGD'S. CORRESPONDING CONDENSING UNIT TO BE REMOVED. REMOVE VENT PIPING. OWNER TO PATCH ALL EXISTING ROOF PENETRATIONS.
 5. EXISTING CONDENSING UNITS TO BE REMOVED. OWNER TO DISCONNECT ELECTRICAL CONNECTIONS.

NOTE 5

NOTE 2

NOTE 3

NOTE 4

NOTE 1

BOS: 9'-3"

BOS: 13'-0"

BOS: 13'-0"

BOS: 13'-0"

TOP OF MEZZANINE
9'-0" AFF

BOS: 13'-0"

BOS: 9'-3"

BOS: 11'-6"

BOS: 11'-6"

BOS: 11'-6"

BOS: 11'-6"

BOS: 9'-3"

BOS: 11'-1"

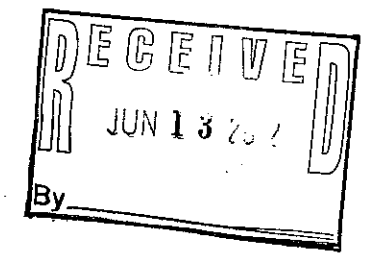
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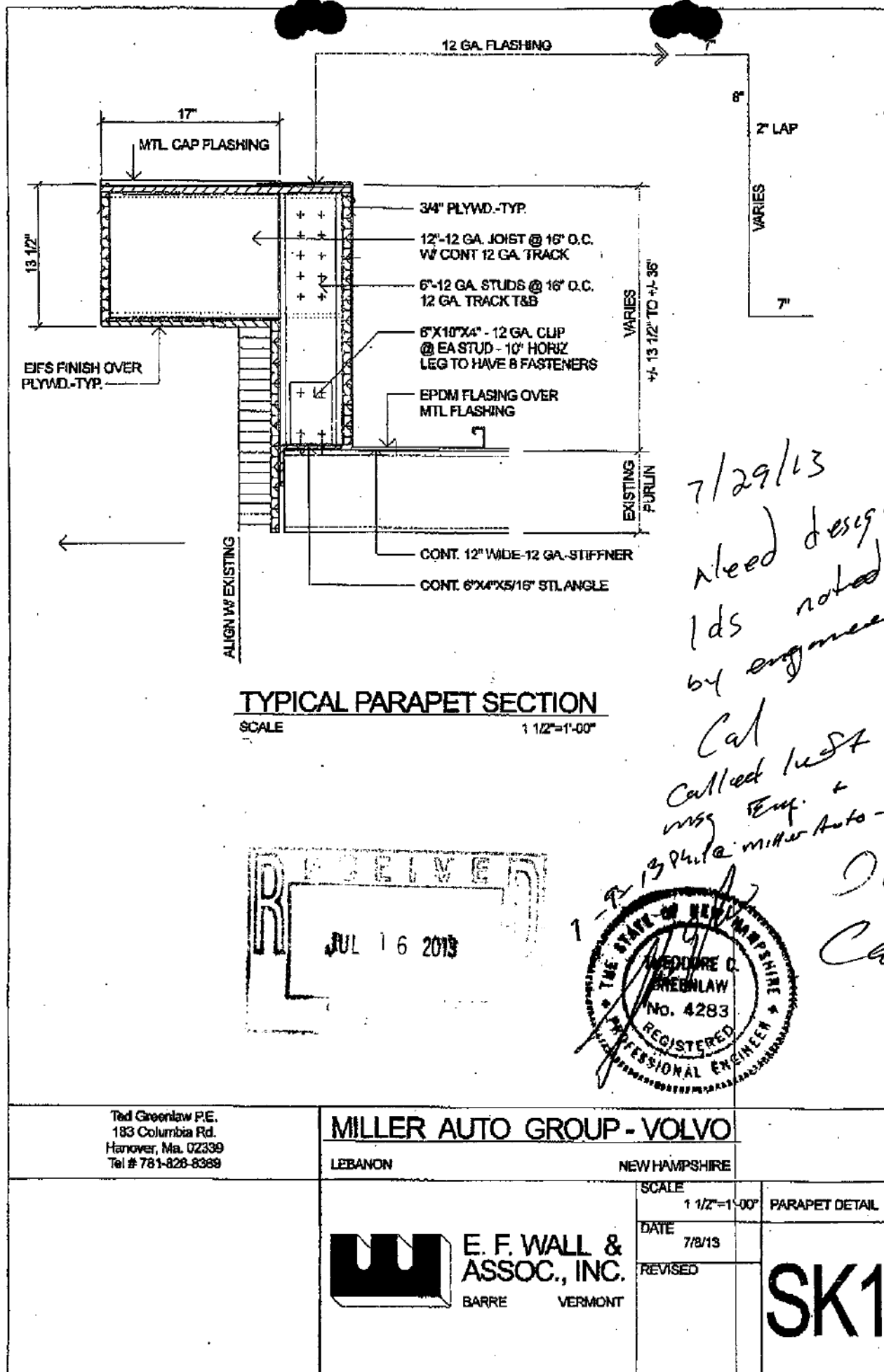
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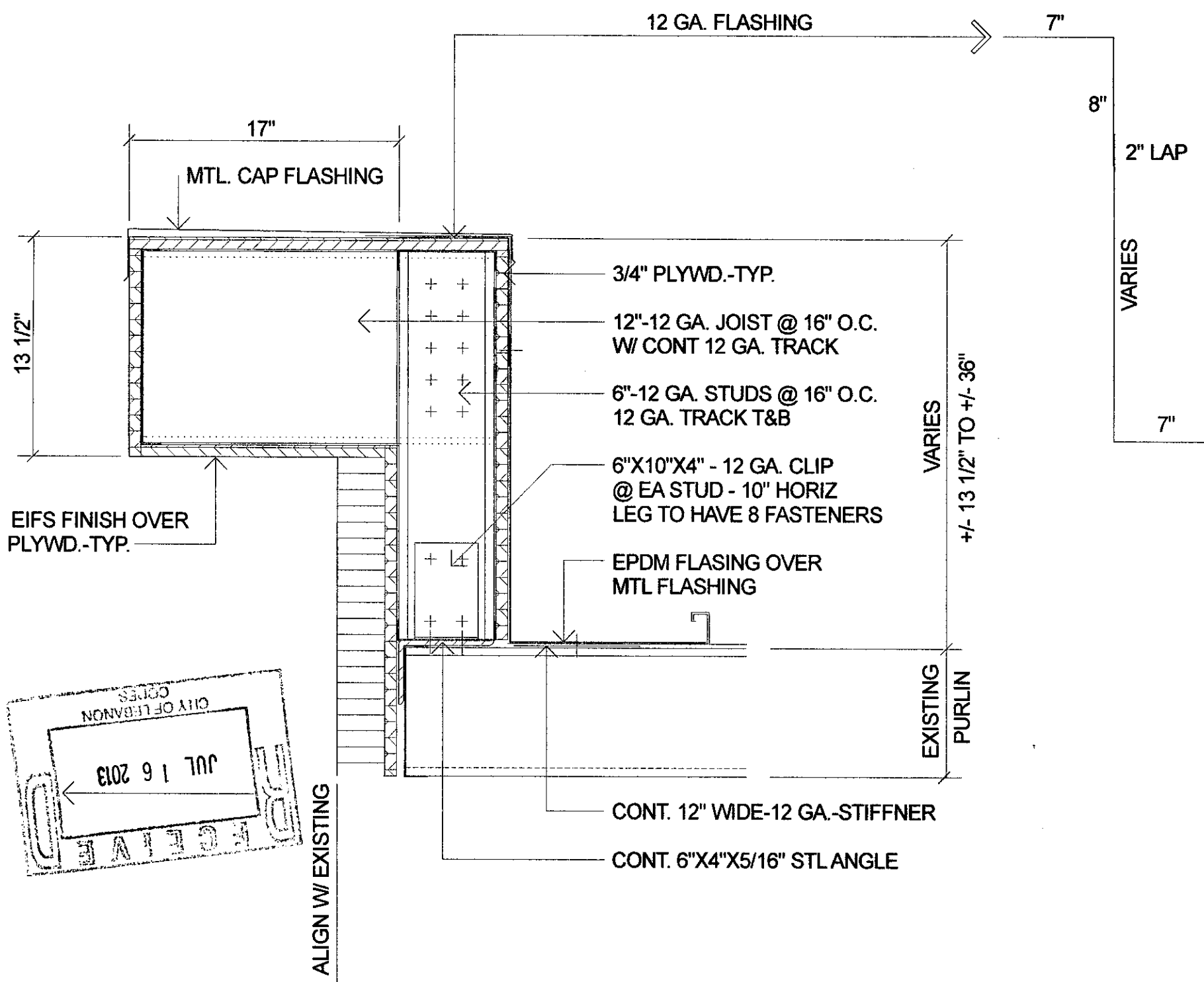
BOS: 11'-1"

FIRST FLOOR HVAC DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION
6/7/12

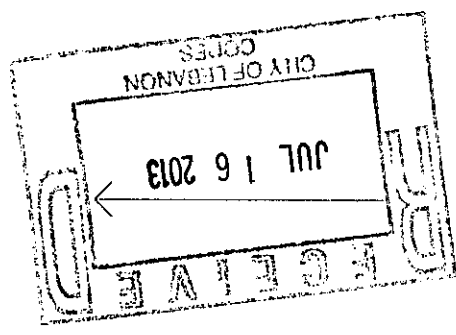






TYPICAL PARAPET SECTION

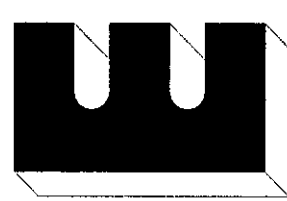
SCALE 1 1/2"=1'-00"



Ted Greenlaw P.E.
183 Columbia Rd.
Hanover, Ma. 02339
Tel # 781-826-8369

MILLER AUTO GROUP - VOLVO

LEBANON NEW HAMPSHIRE



E. F. WALL &
ASSOC., INC.
BARRE VERMONT

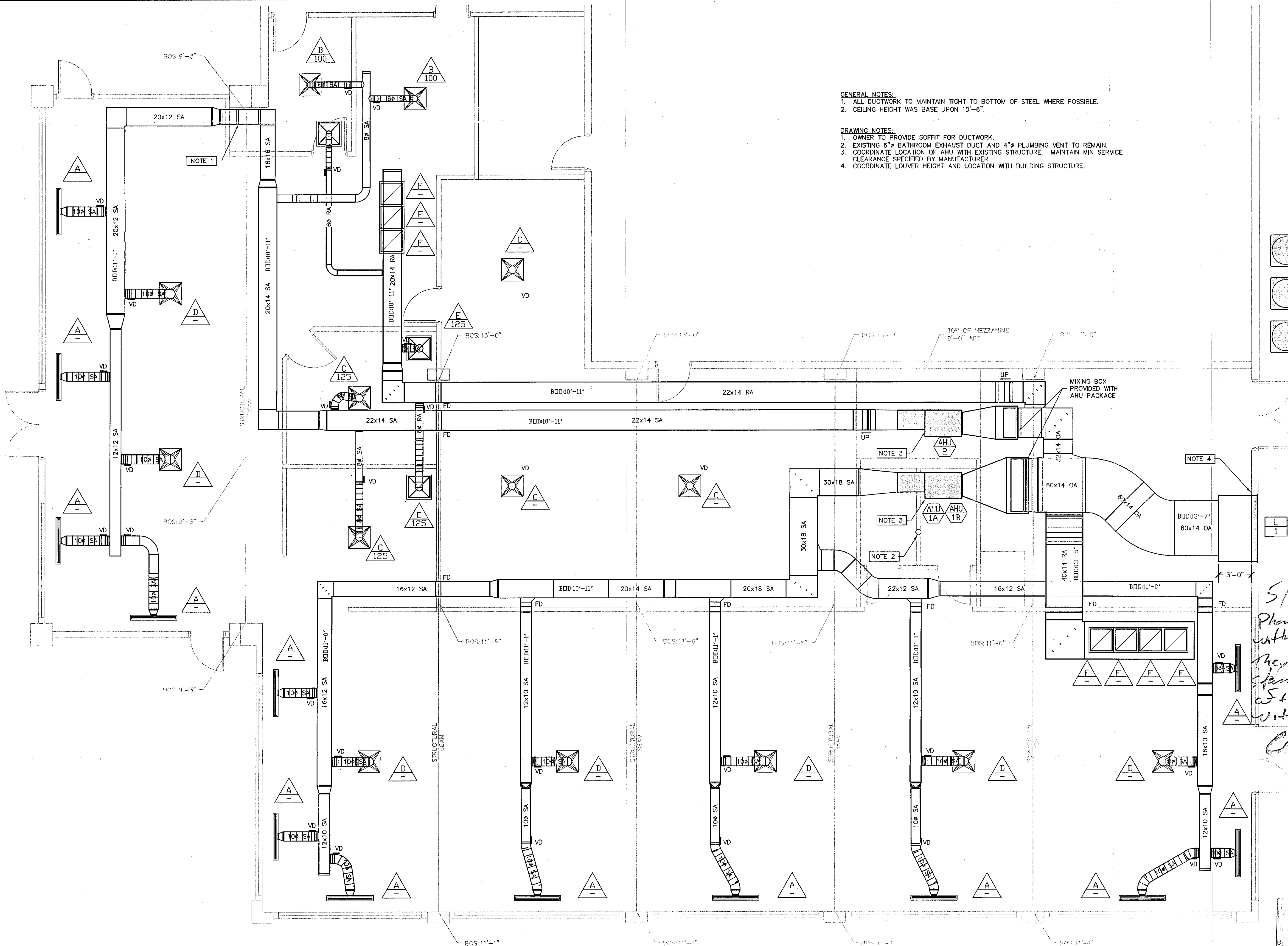
SCALE
1 1/2"=1'-00"

DATE
7/8/13

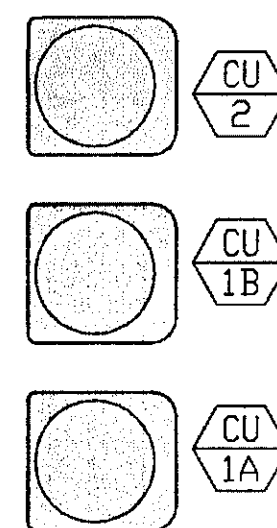
REVISED

PARAPET DETAIL

SK1



- GENERAL NOTES:**
1. ALL DUCTWORK TO MAINTAIN TIGHT TO BOTTOM OF STEEL WHERE POSSIBLE.
 2. CEILING HEIGHT WAS BASE UPON 10'-6".
- DRAWING NOTES:**
1. OWNER TO PROVIDE SOFFIT FOR DUCTWORK.
 2. EXISTING 6" BATHROOM EXHAUST DUCT AND 4" PLUMBING VENT TO REMAIN.
 3. COORDINATE LOCATION OF AHU WITH EXISTING STRUCTURE. MAINTAIN MIN SERVICE CLEARANCE SPECIFIED BY MANUFACTURER.
 4. COORDINATE LOUVER HEIGHT AND LOCATION WITH BUILDING STRUCTURE.



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REVISIONS:		
NO.	DATE	DESCRIPTION

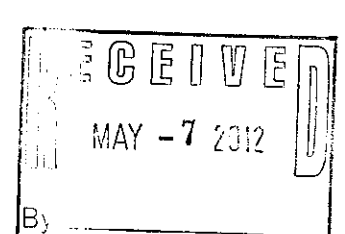
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VMI JOB NO. ---
DRAWN BY: SRL
CHECKED BY: WEA
DWG DATE: 02/20/12
VMI JOB NO.

M-101

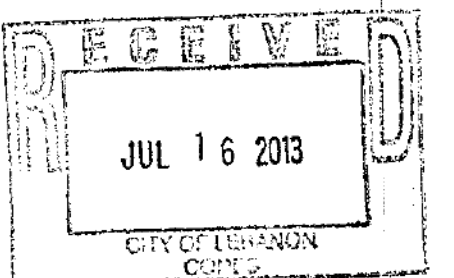
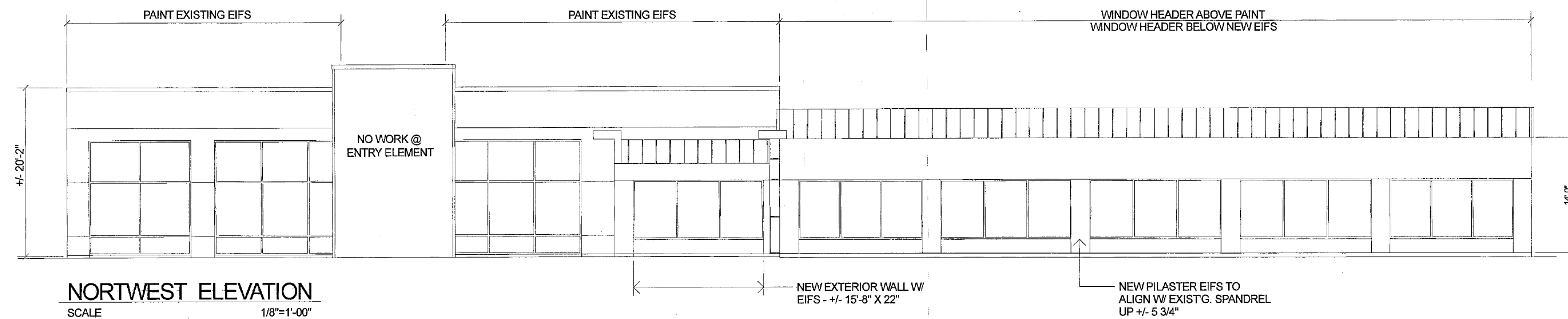
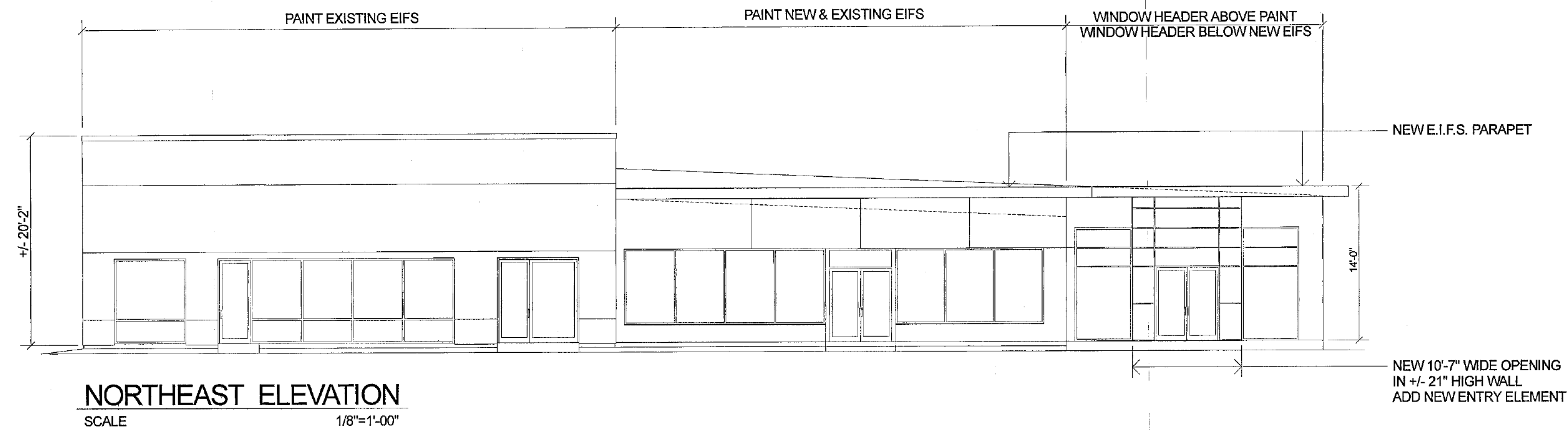
5/17/12
Phone Conf.
with VT. Mech.
They will provide
stamped plans
after conf.
with Phil
Col

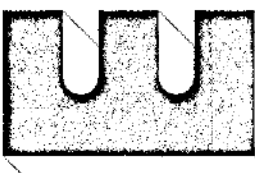


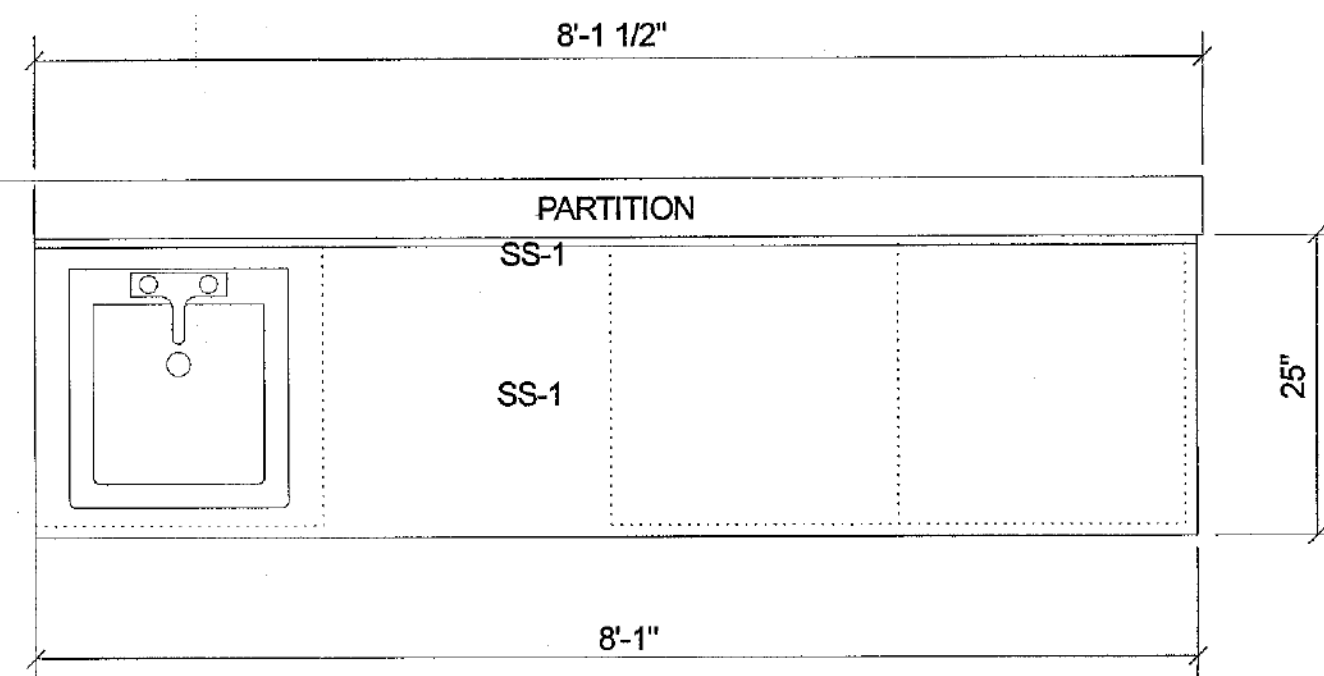
PROGRESS
2/27/12

FIRST FLOOR HVAC DUCTWORK PLAN
SCALE: 1/4" = 1'-0"

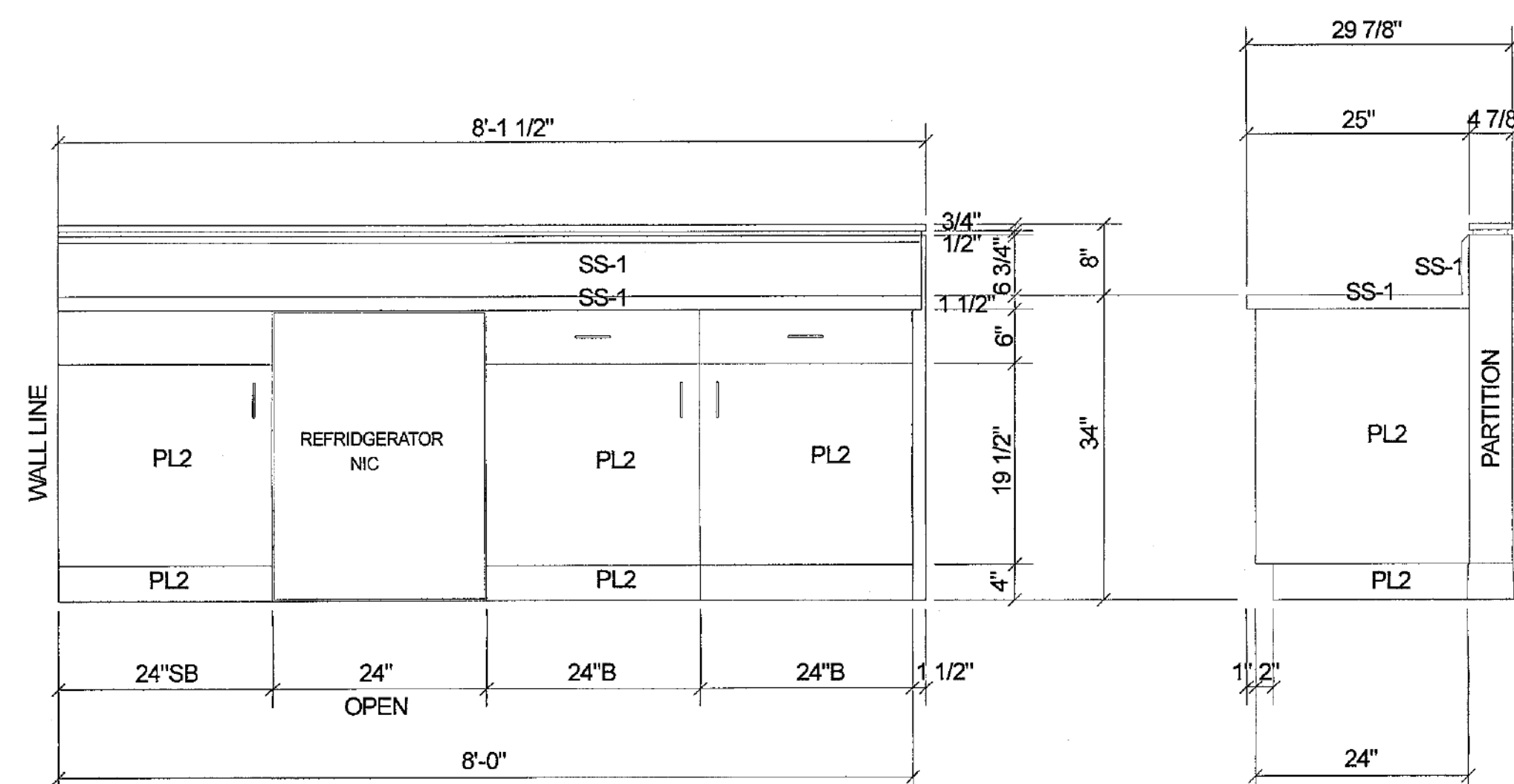
2012-06142 Cicotte Properties 6/4/30 m/c



MILLER AUTO GROUP - VOLVO			
LEBANON		NEW HAMPSHIRE	
 E. F. WALL & ASSOC., INC. BARRE VERMONT	SCALE 1/8"=1'-00"	ELEVATIONS	
	DATE	A3	
	REVISED		



PLAN VIEW



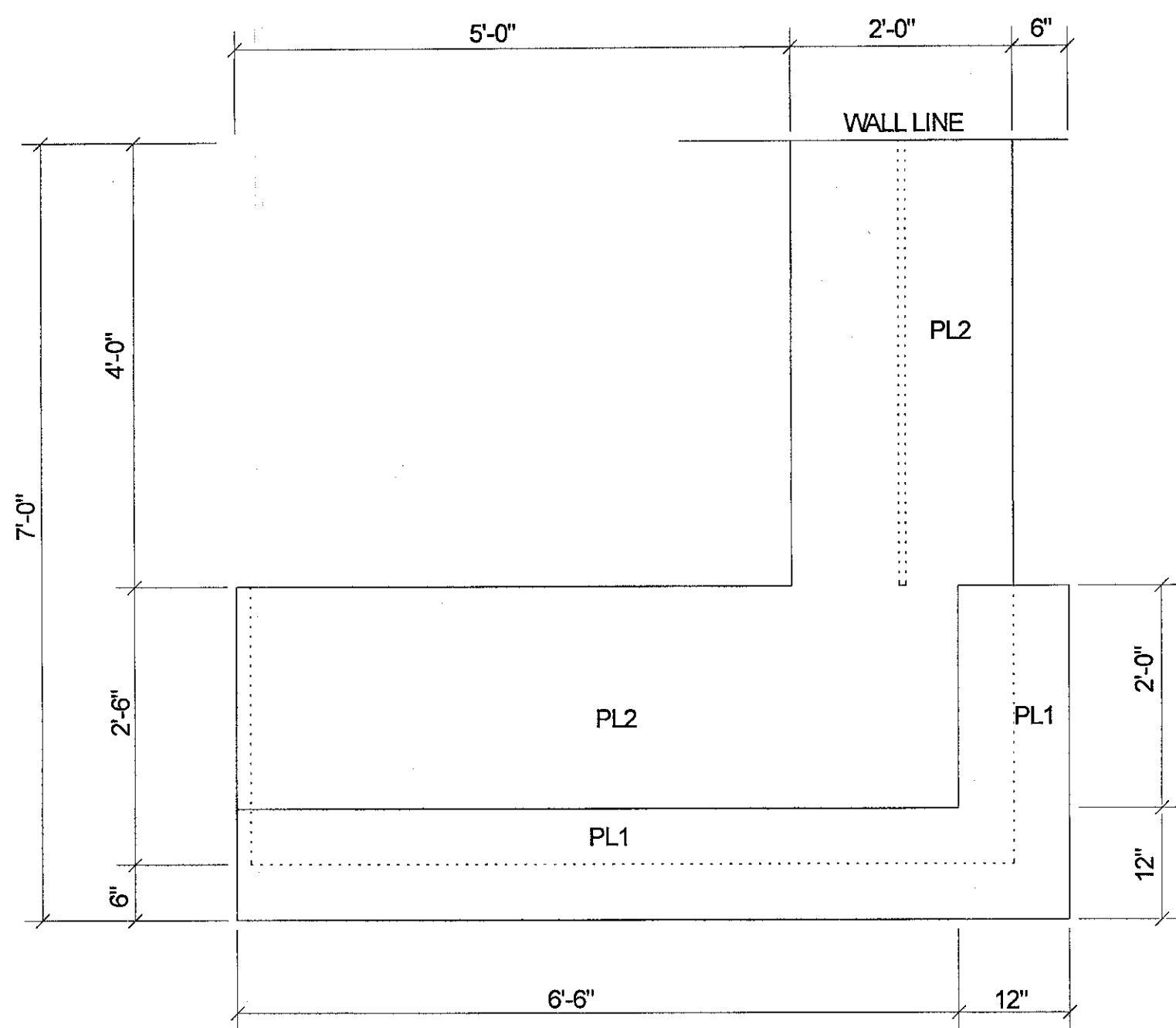
FRONT VIEW

SIDE VIEW

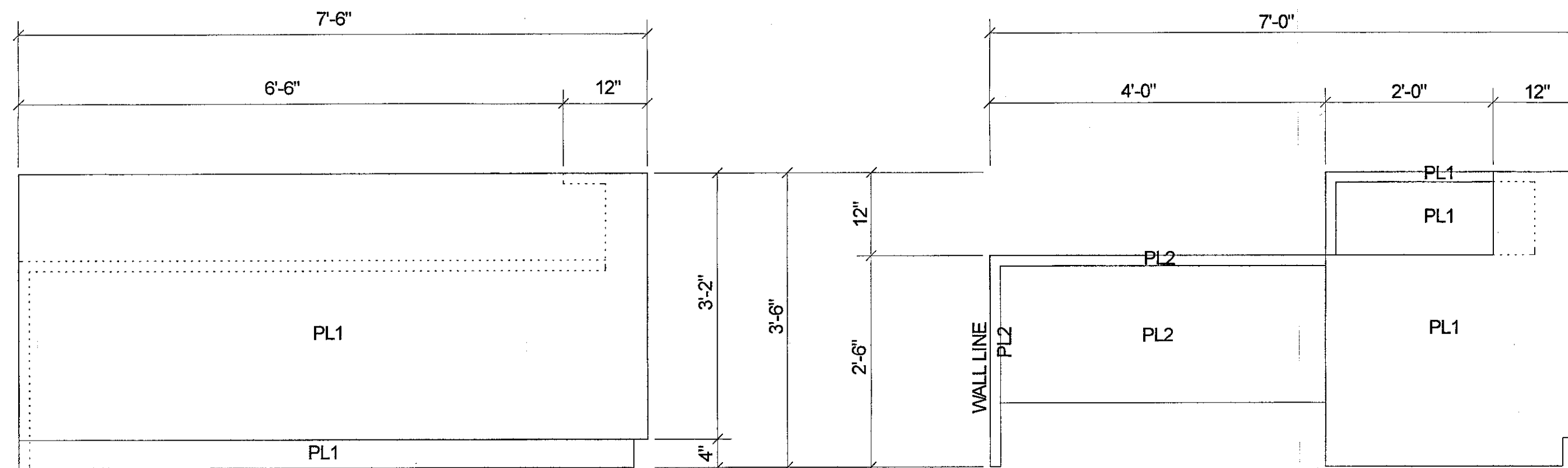
HOSPITALITY BAR

COUNTER & BACKSPLASH - SS-1 = "AVONITE" STUDIO COTTONWOOD SATIN, K1-6600
CABINET FACES & BASE - PL2 = "ARBORITE" PLAM, 1539VL ARCHITECTURAL MAPLE

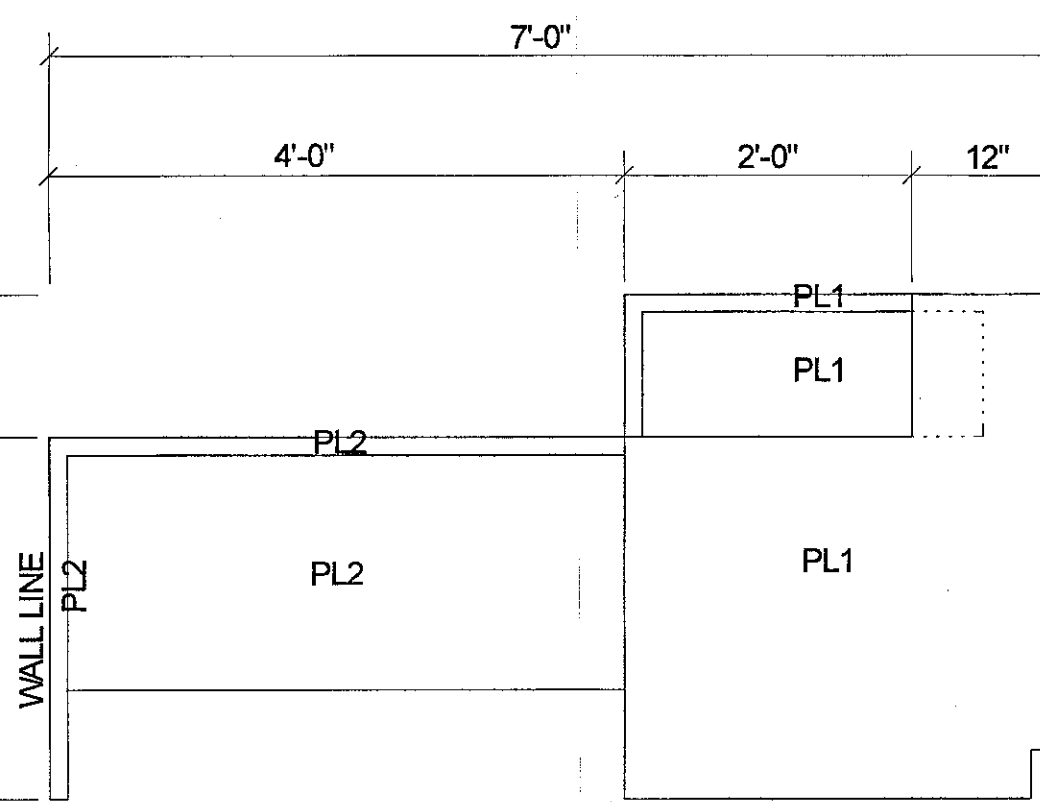
MILLER AUTO GROUP - VOLVO			
LEBANON		NEW HAMPSHIRE	
 E. F. WALL & ASSOC., INC. BARRE VERMONT	SCALE	3/4"=1'-00"	HOSPITALITY BAR
	DATE	7/10/13	A5
	REVISED		



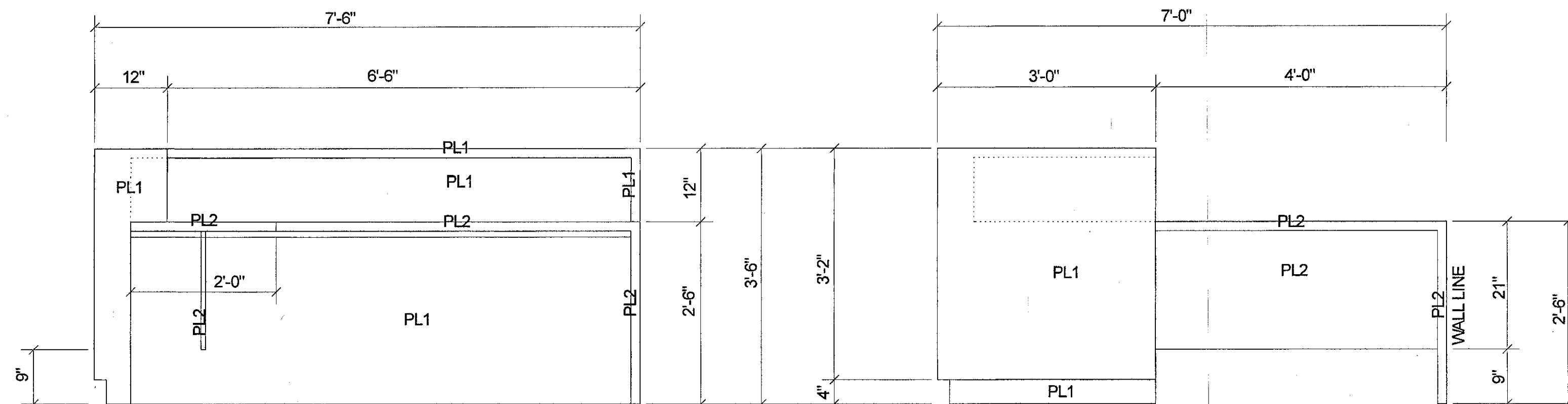
PLAN VIEW



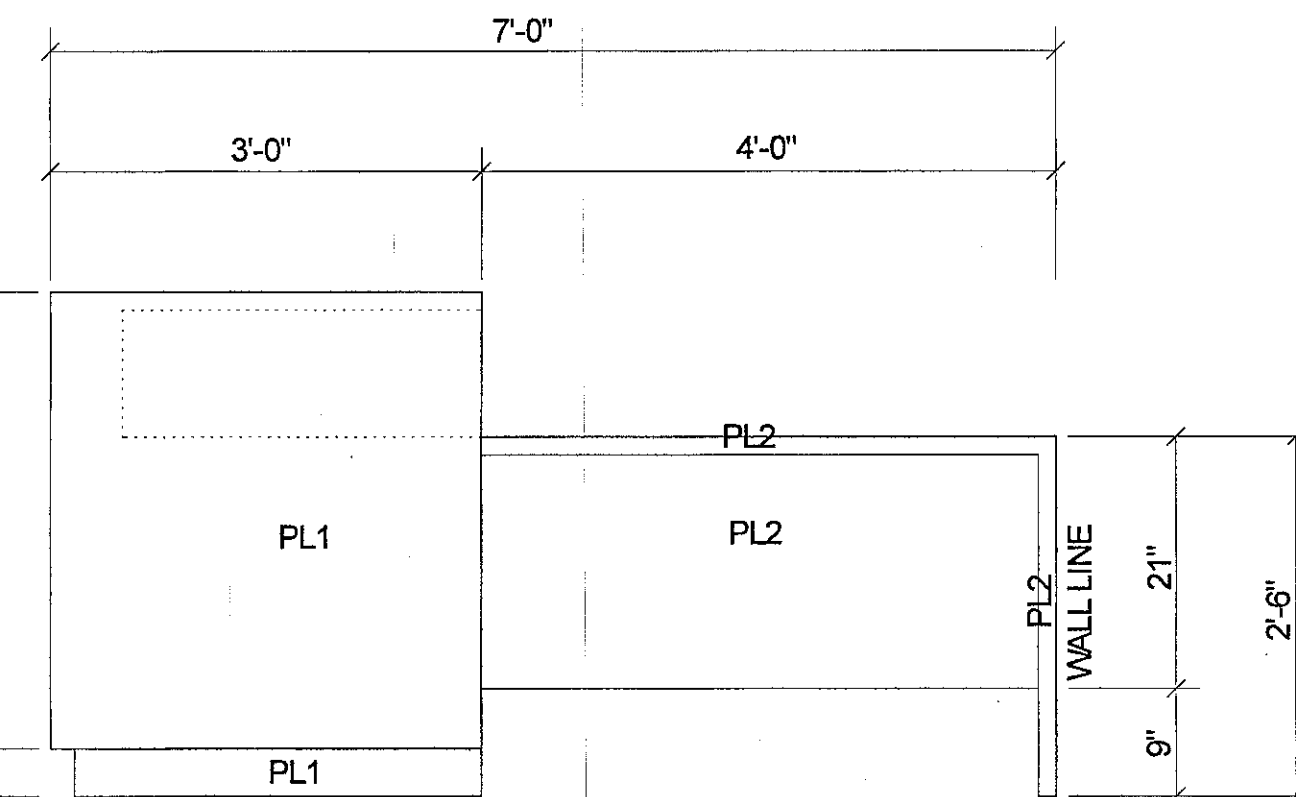
FRONT VIEW



RIGHT END VIEW



BACK VIEW



LEFT END VIEW

SALES RECEPTION DESK

DESK TOP & EDGES - PL2 = "ARBORITE PLAM, 1539VL ARCHITECTURAL MAPLE"
OTHER SURFACES - PL1 = "ARBORITE" PLAM, S-550 ELEGANT WHITE

MILLER AUTO GROUP - VOLVO

LEBANON NEW HAMPSHIRE

SCALE 3/4"=1'-00"

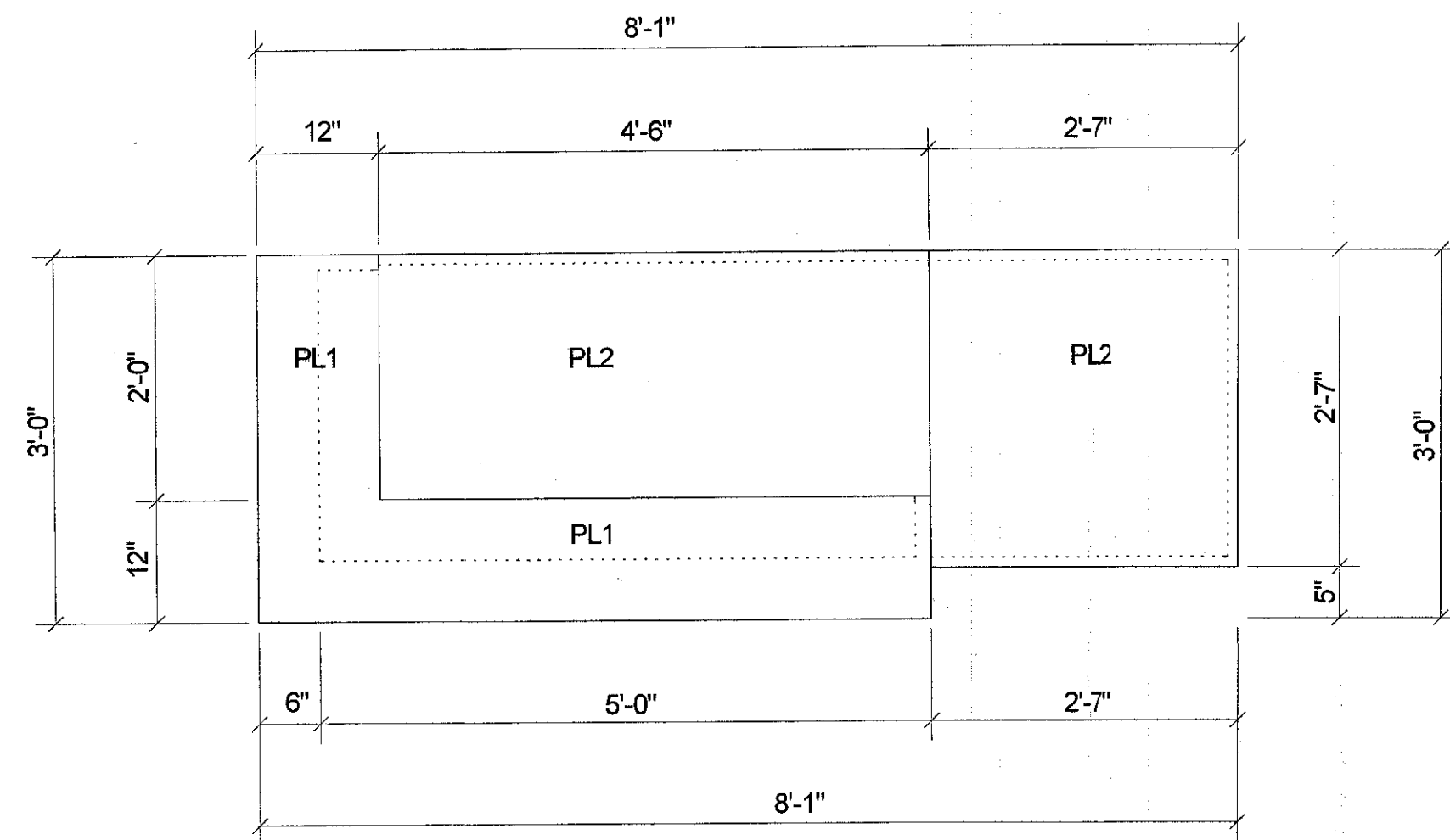
DATE 7/10/13

REVISED

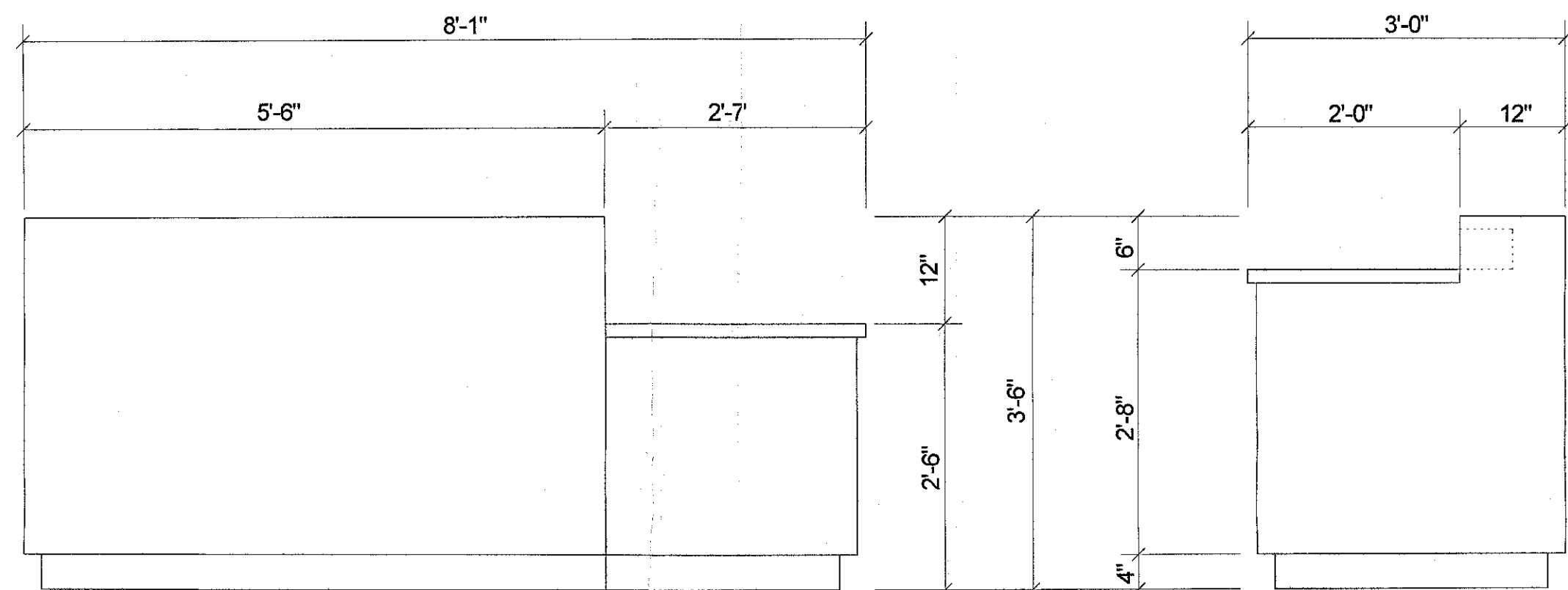
E. F. WALL & ASSOC., INC. BARRE VERMONT

SALES RECEPTION DESK

A6



PLAN VIEW



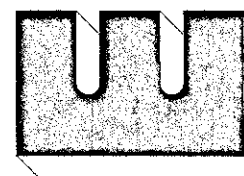
FRONT VIEW

LEFT END VIEW

MILLER AUTO GROUP - VOLVO

LEBANON

NEW HAMPSHIRE



E. F. WALL &
ASSOC., INC.
BARRE VERMONT

SCALE
3/4"=1'-00"

DATE
7/10/13

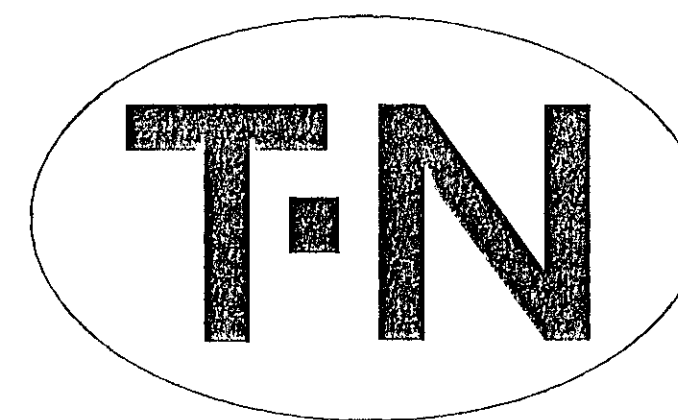
REVISED

SERVICE
RECEPTION
DESK

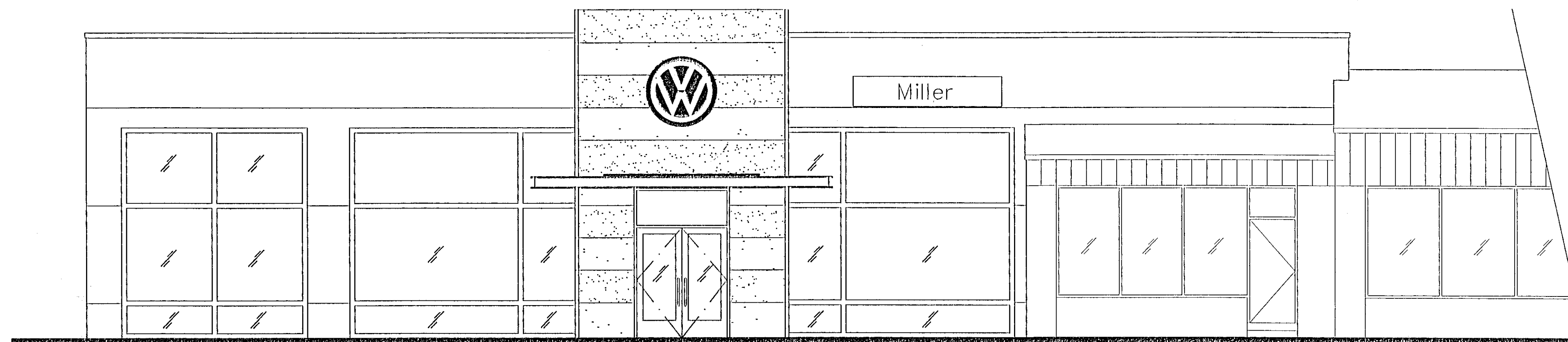
A7

MILLER VOLKSWAGEN LEBANON, NEW HAMPSHIRE

PROPOSED ADDITION

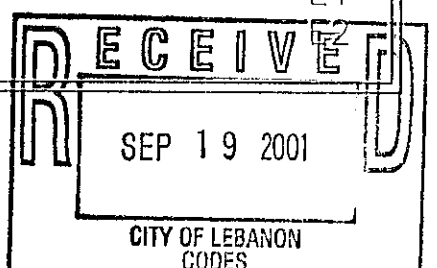


TRUMBULL-NEILSON CONSTRUCTION CO., INC.
200 LEBANON ST. P.O. BOX 1000
HANOVER, NH 03755-1000
TEL. (603) 643-3859 FAX (603) 643-2824
e-mail address trumbullneilson@n.com

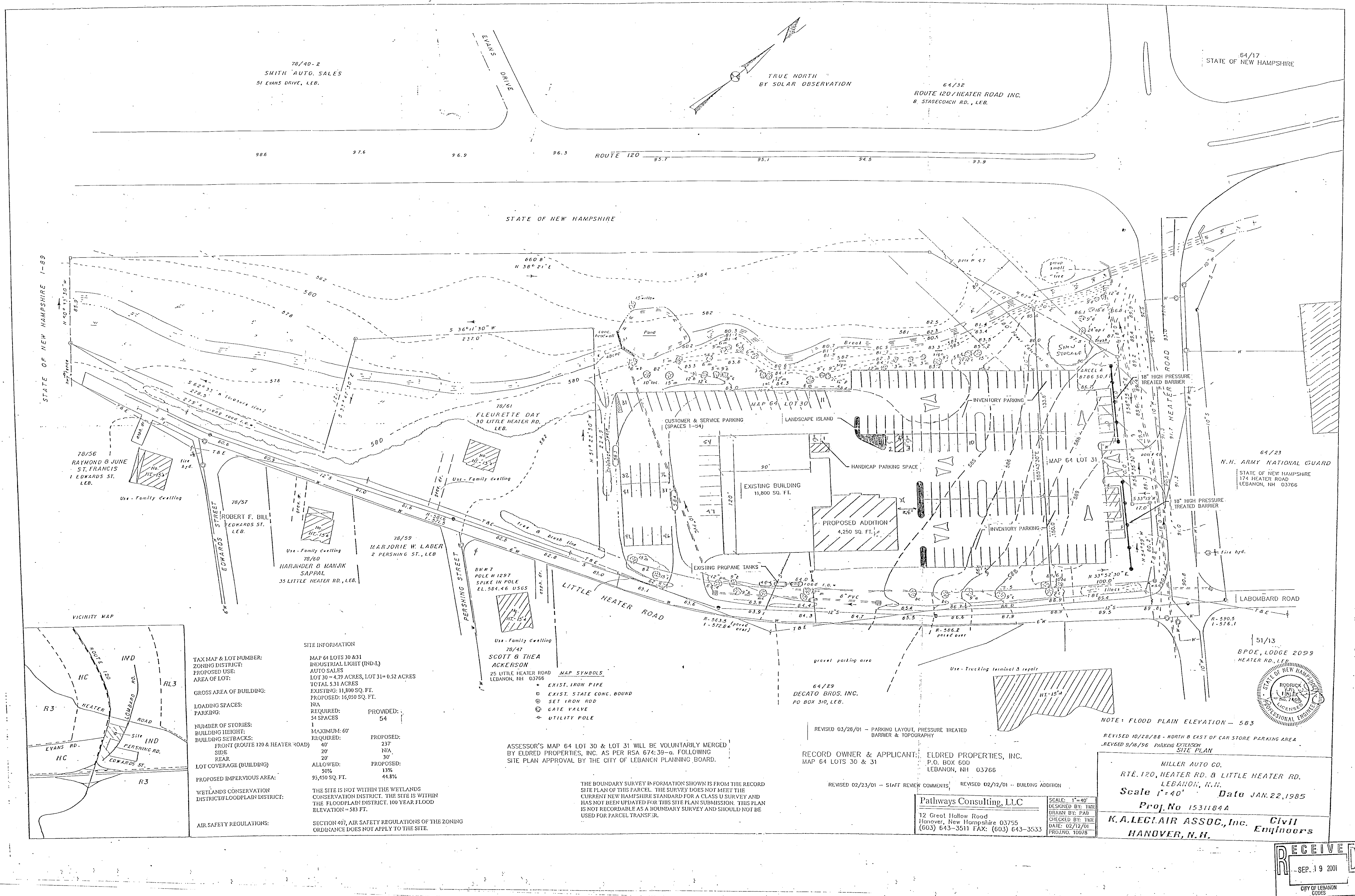


TITLE SHEET	---
SITE PLAN	S1
EXISTING FLOOR PLAN	A1
DEMOLITION PLAN	A2
PROPOSED FLOOR PLAN	A3
PROPOSED ELEVATIONS	A4
SECTIONS	A5
REFLECTED CEILING PLAN	A6
ROOM FINISH AND DOOR SCHEDULES	A7
FOUNDATION PLAN	F1
FOUNDATION SECTIONS	F2
FOUNDATION & STRUCTURAL NOTES	F3
STRUCTURAL PLAN	S1
STRUCTURAL DETAILS	S2
MECHANICAL PLAN	M1
PLUMBING PLAN	P1
POWER PLAN	E1
LIGHTING PLAN	E1

Miller Auto Group
Heater Rd
P-2001-324
M/L 64-30



64-30 324-001



STATE OF NEW HAMPSHIRE 1-89

64/17
STATE OF NEW HAMPSHIRE

TRUE NORTH
BY SOLAR OBSERVATION

64/32
ROUTE 120/HEATER ROAD INC.
B. STAGECOACH RD., LEB.

STATE OF NEW HAMPSHIRE

ROUTE 120

78/56
RAYMOND & JUNE
ST. FRANCIS
EDWARDS ST., LEB.

78/57
ROBERT F. BILL
EDWARDS ST., LEB.

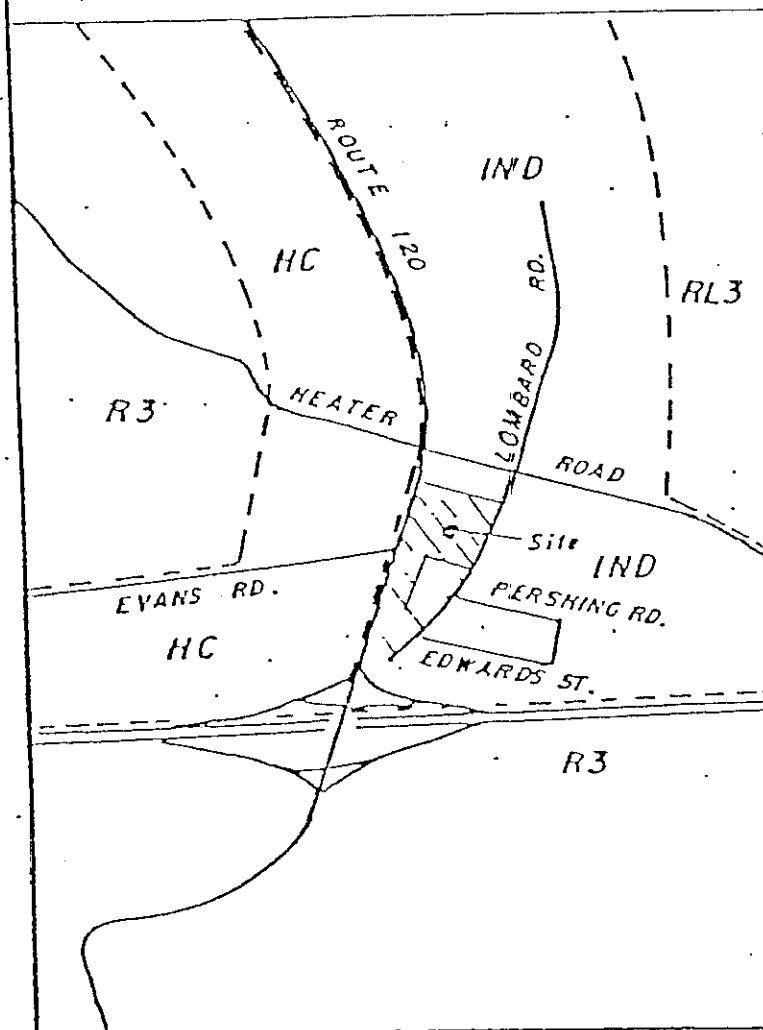
78/59
MARJORIE W. LABER
2 PERSHING ST., LEB.

78/47
SCOTT & THEA
ACKERSON
25 LITTLE HEATER ROAD
LEBANON, NH 03766

64/23
N.H. ARMY NATIONAL GUARD
STATE OF NEW HAMPSHIRE
174 HEATER ROAD
LEBANON, NH 03766

51/13
BPOE, LODGE 2059
HEATER RD., LEB.

VICINITY MAP



TAX MAP & LOT NUMBER:
ZONING DISTRICT:
PROPOSED USE:
AREA OF LOT:
GROSS AREA OF BUILDING:
LOADING SPACES:
PARKING:
NUMBER OF STORIES:
BUILDING HEIGHT:
BUILDING SETBACKS:
FRONT (ROUTE 120 & HEATER ROAD)
SIDE
REAR
LOT COVERAGE (BUILDING)
PROPOSED IMPERVIOUS AREA:
WETLANDS CONSERVATION
DISTRICT/FLOODPLAIN DISTRICT:
AIR SAFETY REGULATIONS:

SITE INFORMATION
MAP 64 LOTS 30 & 31
INDUSTRIAL LIGHT (IND-1)
AUTO SALES
LOT 30 = 4.79 ACRES, LOT 31 = 0.52 ACRES
TOTAL 5.31 ACRES
EXISTING: 11,800 SQ. FT.
PROPOSED: 16,050 SQ. FT.
N/A
REQUIRED: 54 SPACES
PROVIDED: 54
1
MAXIMUM: 60'
REQUIRED: 40'
PROPOSED: 30'
20'
ALLOWED: 50%
PROPOSED: 44.8%
95,450 SQ. FT.

ASSESSOR'S MAP 64 LOT 30 & LOT 31 WILL BE VOLUNTARILY MERGED
BY ELDRED PROPERTIES, INC. AS PER RSA 674:39-a. FOLLOWING
SITE PLAN APPROVAL BY THE CITY OF LEBANON PLANNING BOARD.

THE BOUNDARY SURVEY INFORMATION SHOWN IS FROM THE RECORD
SITE PLAN OF THIS PARCEL. THE SURVEY DOES NOT MEET THE
CURRENT NEW HAMPSHIRE STANDARD FOR A CLASS U SURVEY AND
HAS NOT BEEN UPDATED FOR THIS SITE PLAN SUBMISSION. THIS PLAN
IS NOT RECORDABLE AS A BOUNDARY SURVEY AND SHOULD NOT BE
USED FOR PARCEL TRANSFER.

MAP SYMBOLS
● EXIST. IRON PIPE
⊙ EXIST. STATE CONC. BOUND
⊙ SET IRON ROD
⊙ GATE VALVE
⊙ UTILITY POLE

64/29
DECATO BROS. INC.
PO BOX 310, LEB.

REVISED 03/28/01 - PARKING LAYOUT, PRESSURE TREATED
BARRIER & TOPOGRAPHY

RECORD OWNER & APPLICANT:
MAP 64 LOTS 30 & 31

ELDRD PROPERTIES, INC.
P.O. BOX 600
LEBANON, NH 03766

REVISED 02/23/01 - STAFF REVIEW COMMENTS
REVISED 02/12/01 - BUILDING ADDITION

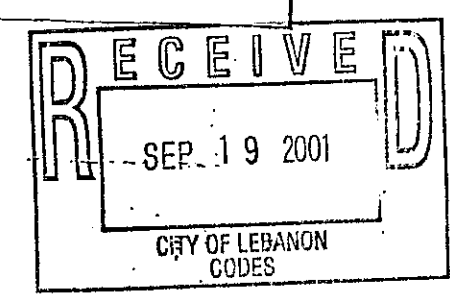
Pathways Consulting, LLC
12 Great Hollow Road
Hanover, New Hampshire 03755
(603) 643-3511 FAX: (603) 643-3533

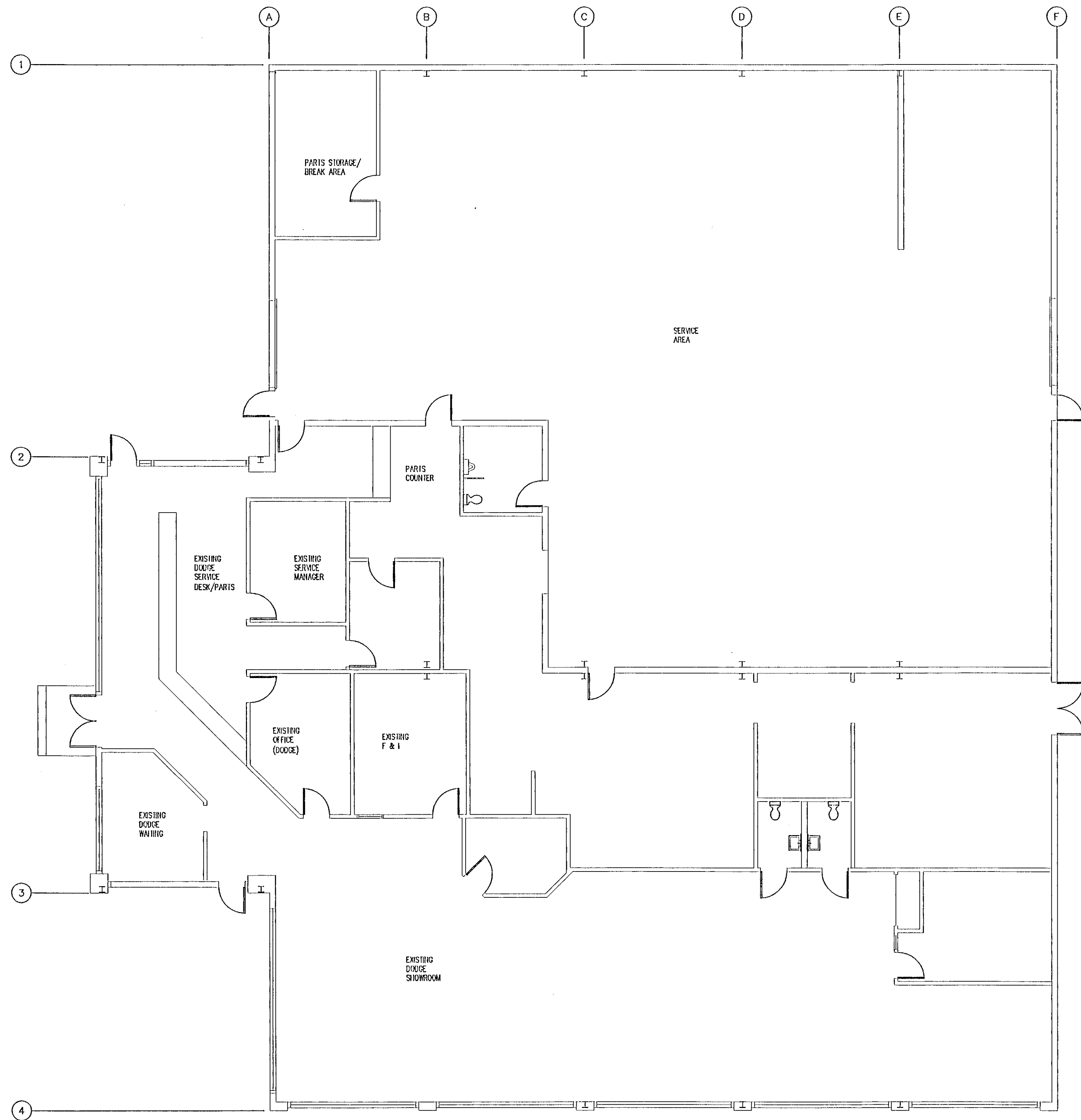
SCALE: 1"=40'
DESIGNED BY: TWR
DRAWN BY: PAB
CHECKED BY: TWR
DATE: 02/12/01
PROJECT: 10078

NOTE: FLOOD PLAIN ELEVATION - 583

REVISED 10/28/88 - NORTH B EAST OF CAR STORE PARKING AREA
REVISED 9/16/86 - PARKING EXTENSION
SITE PLAN

MILLER AUTO CO.
RTE. 120, HEATER RD. & LITTLE HEATER RD.
LEBANON, N.H.
Scale 1"=40' Date JAN. 22, 1985
Proj. No 1531184A
K.A. LECLAIR ASSOC., Inc. Civil
HANOVER, N.H. Engineers



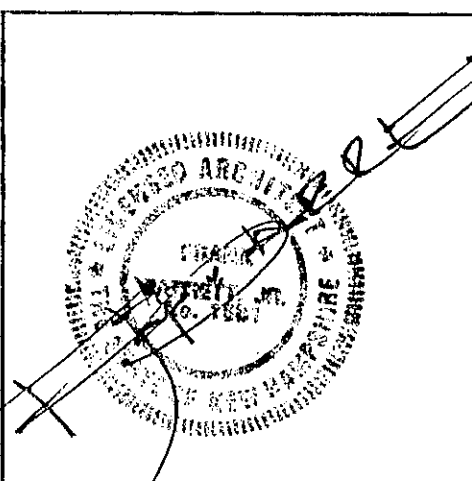


EXISTING CONDITIONS FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- EXISTING DOOR SHOWROOM
- ROOM USE
- GRID DESIGNATION
- EXISTING WALL
- EXISTING DOOR

DESCRIPTION OF REVISION	DRAWN BY	DATE
DESIGN DRAWING SUBMITTAL A	EJF	07/31/01
DESIGN DRAWING SUBMITTAL B	EJF	08/14/01



T-N

TRUMBULL-NELSON CONSTRUCTION CO., INC.
200 LEBANON ST. P.O. BOX 1000
HANOVER N.H. 03755-1000
TEL. (603) 643-3658 FAX (603) 643-2924
e-mail address trumbullnelson@t-n.com

MILLER VW
LEBANON NH 03766

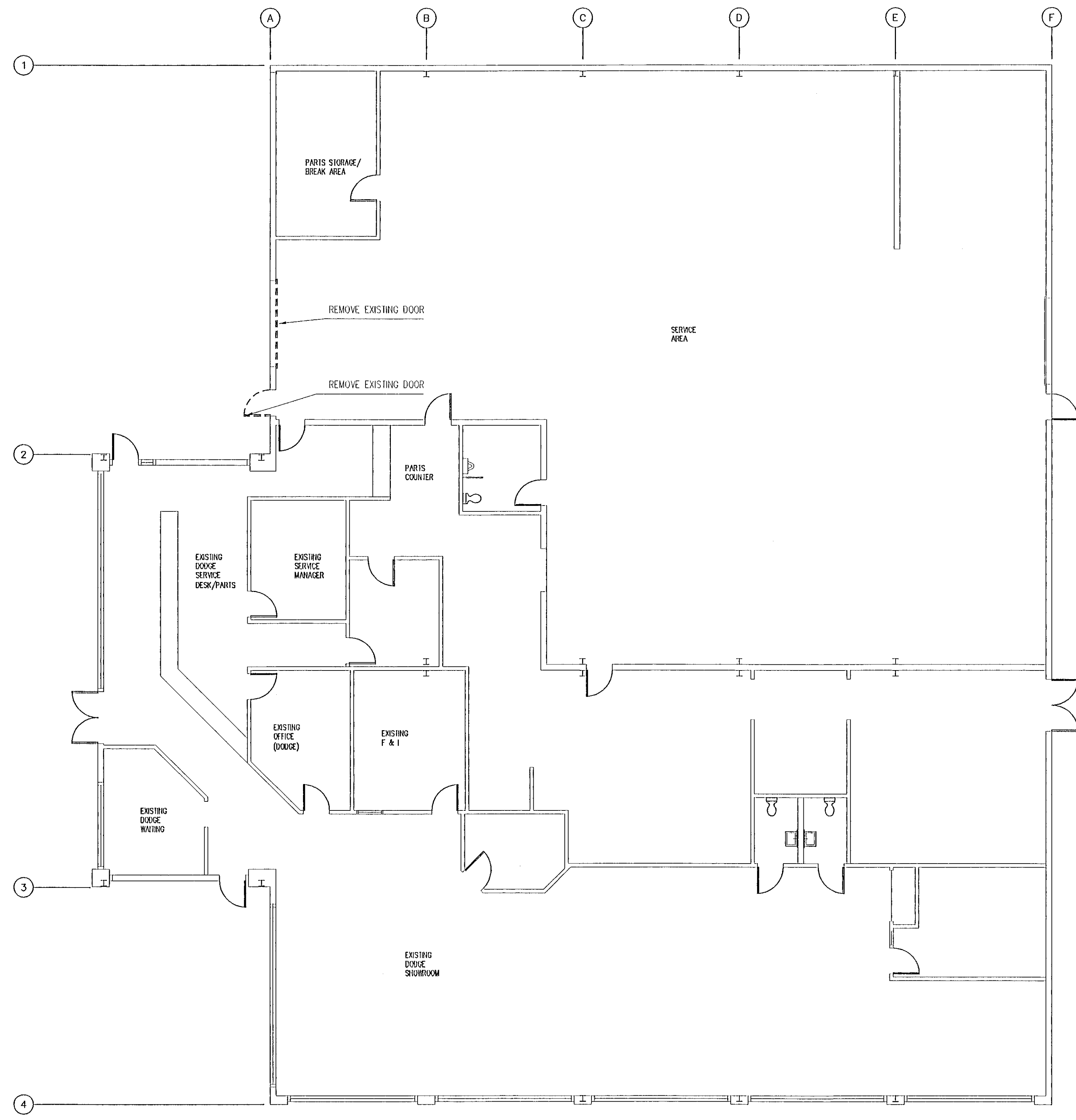
NEW ADDITION

EXISTING CONDITIONS FLOOR PLAN

DRAWN BY EJF	CHECKED BY EJF
DATE 07/31/01	PROJECT NO. -----

A1

RECEIVED
SEP 19 2001
CITY OF LEBANON
CODES

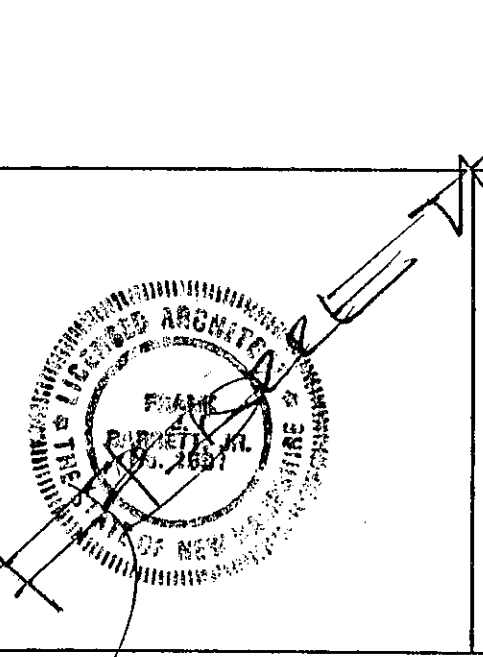


DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- EXISTING DOOR SHOWROOM
- ROOM USE
- GRID DESIGNATION
- EXISTING WALL
- EXISTING DOOR
- EXISTING DOOR TO BE REMOVED
- EXISTING OH DOOR TO BE REMOVED

DESCRIPTION OF REVISION	DRAWN BY	DATE
DESIGN DRAWING SUBMITTAL A	EJF	07/31/01
DESIGN DRAWING SUBMITTAL B	EJF	08/14/01



T-N

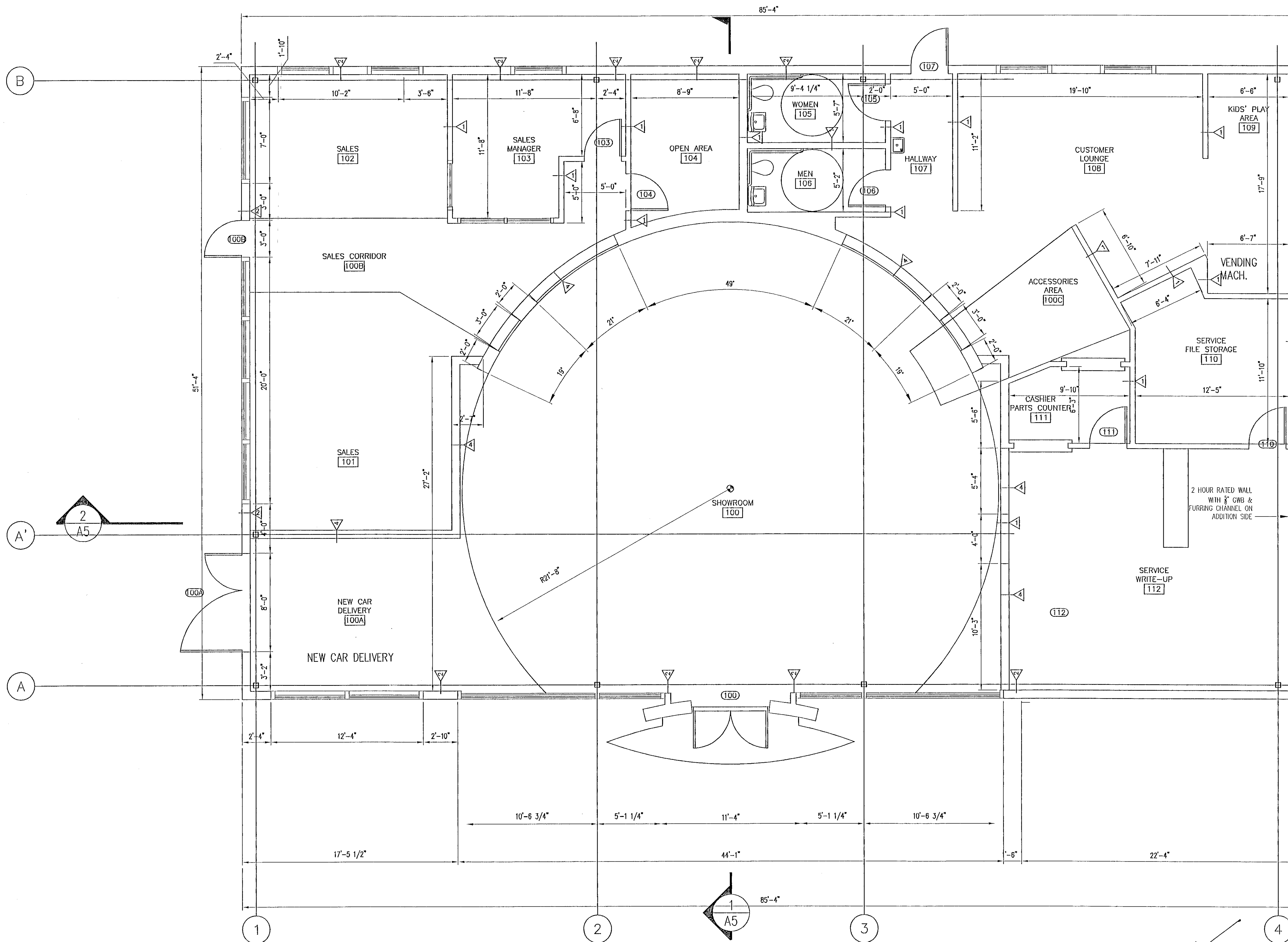
TRUMBULL-NELSON CONSTRUCTION CO., INC.
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e-mail address trumbullnelson@t-n.com

MILLER VW
LEBANON NH 03766

NEW ADDITION

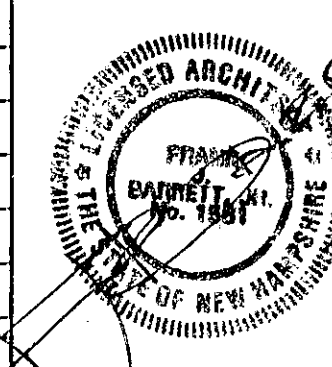
DEMOLITION FLOOR PLAN

DRAWN BY EJF	CHECKED BY EJF
DATE 07/31/01	PROJECT NO. -----
A2	
Sheet of	



FLOORPLAN
SCALE: 1/4" = 1'-0"

DESCRIPTION OF REVISION	DRAWN BY	DATE	CHK'D BY	DATE
DESIGN DRAWING SUBMITTAL A	EJF	07/25/01		

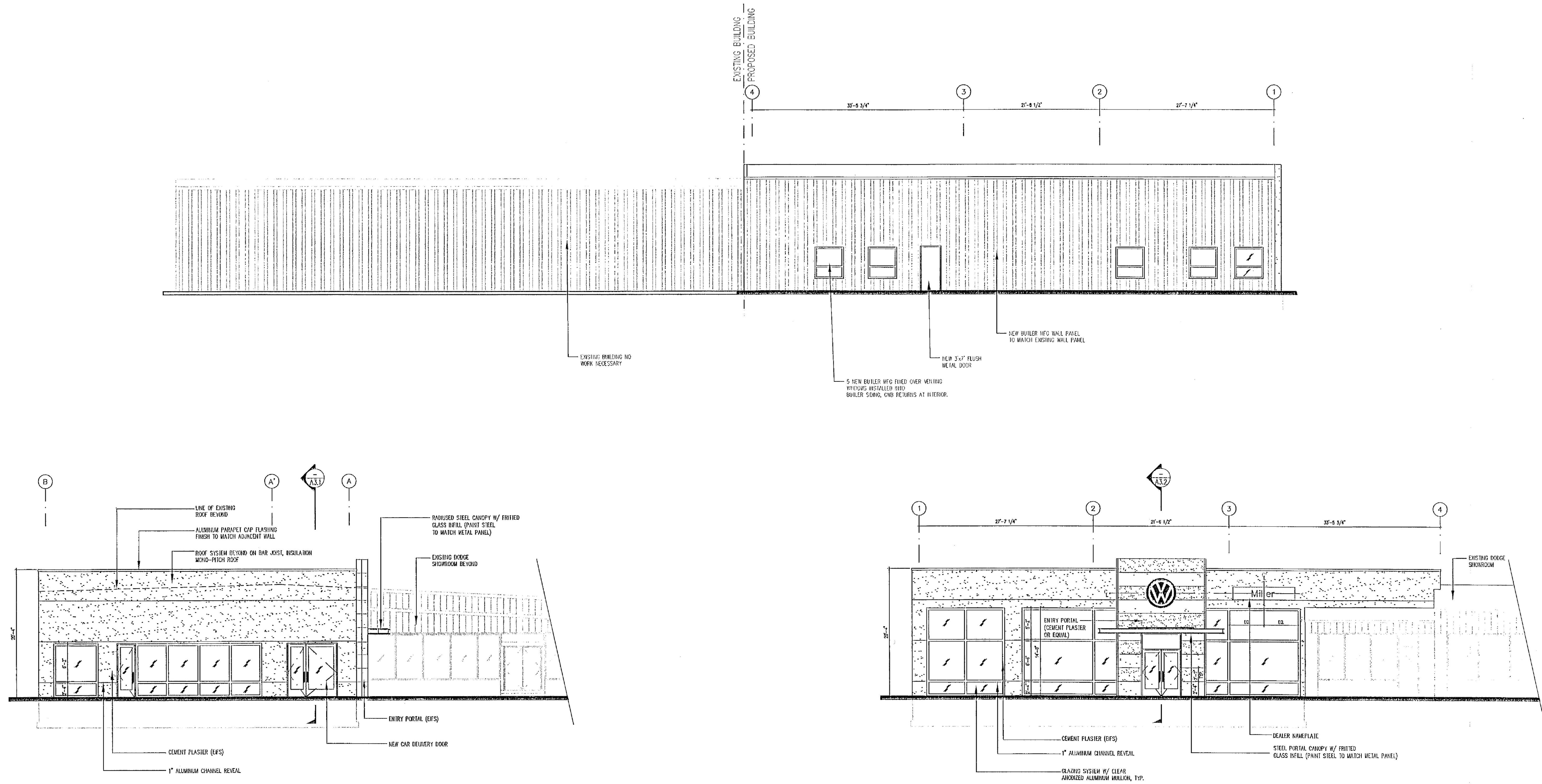


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MILLER VW
LEBANON NH 03766

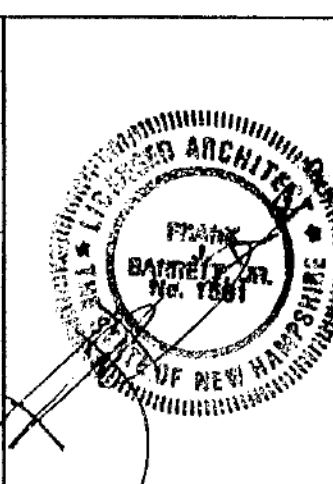
NEW ADDITION
FLOORPLAN

DRAWN BY EJF	CHECKED BY EJF
DATE 07/25/01	PROJECT NO. -----
A3	
Sheet	of



PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"

DESCRIPTION OF REVISION	DRAWN BY	DATE
DESIGN DRAWING SUBMITTAL A	EJF	08/22/01



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e-mail address trumbullnelson@t-n.com

MILLER VW
LEBANON NH 03766

NEW ADDITION

BUILDING ELEVATIONS

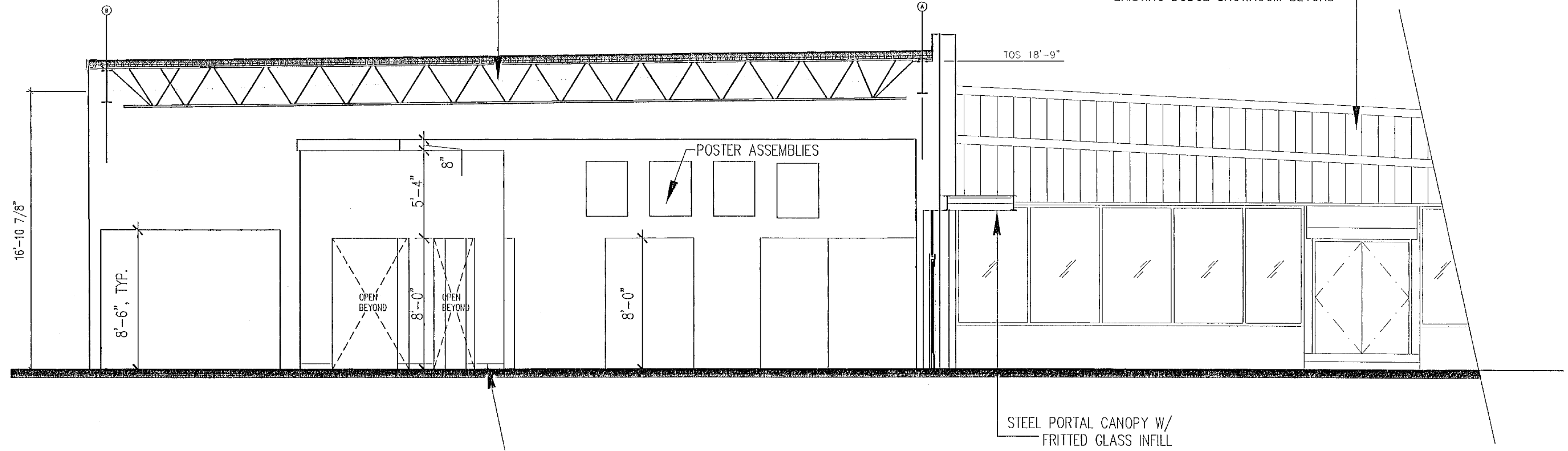
DRAWN BY EJF	CHECKED BY EJF
DATE 08/22/01	PROJECT NO.
A4	
Sheet of	

EXISTING ROOF LINE BEYOND

NEW MARKETPLACE FACILITY

EXISTING CONSTRUCTION

EXISTING DODGE SHOWROOM BEYOND

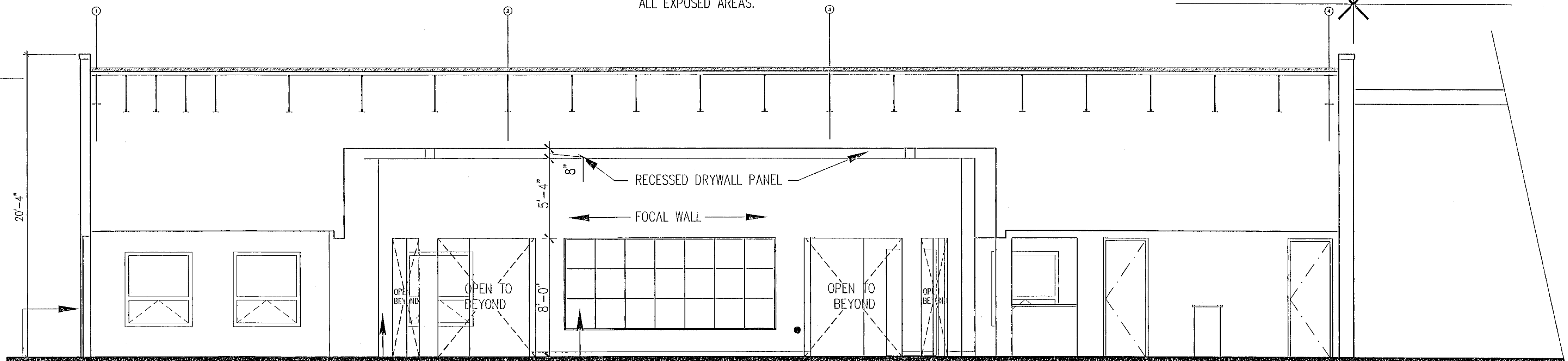


4" HIGH SOLID WOOD
BASE FLUSH W/ WALL,
ALL EXPOSED AREAS.

NEW MARKETPLACE FACILITY

EXISTING CONSTRUCTION

T.O.S. VARIES 18'-9"-18'-3"

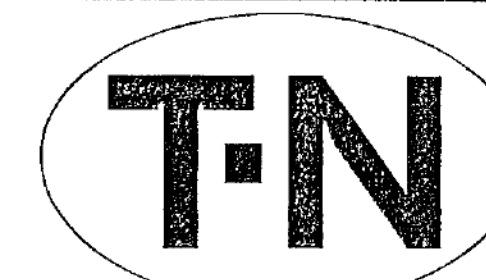


NEW CAR DELIVERY DOORS:
8' WIDE w/ 3' AND 5' SECTIONS.

FOCAL WALL
GRAPHIC

RADIUS BRAND WALL W/ 4" HIGH
SOLID WOOD BASE FLUSH
W/ WALL, ALL EXPOSED AREAS.

DESCRIPTION OF REVISION	DRAWN BY	DATE
DESIGN DRAWING SUBMITTAL	EJF	3/23/98



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e-mail address trumbullnelson@t-n.com

MILLER VW
LEBANON NH 03786

NEW ADDITION

BUILDING CROSS SECTIONS



DRAWN BY
EJF

CHECKED BY
EJF

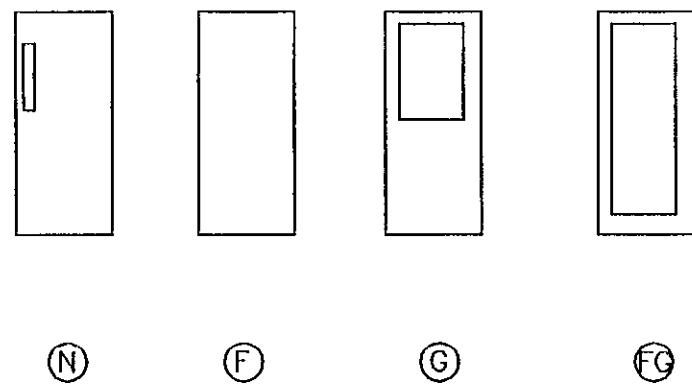
DATE

PROJECT NO.

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Sheet of

DOOR SYMBOLS

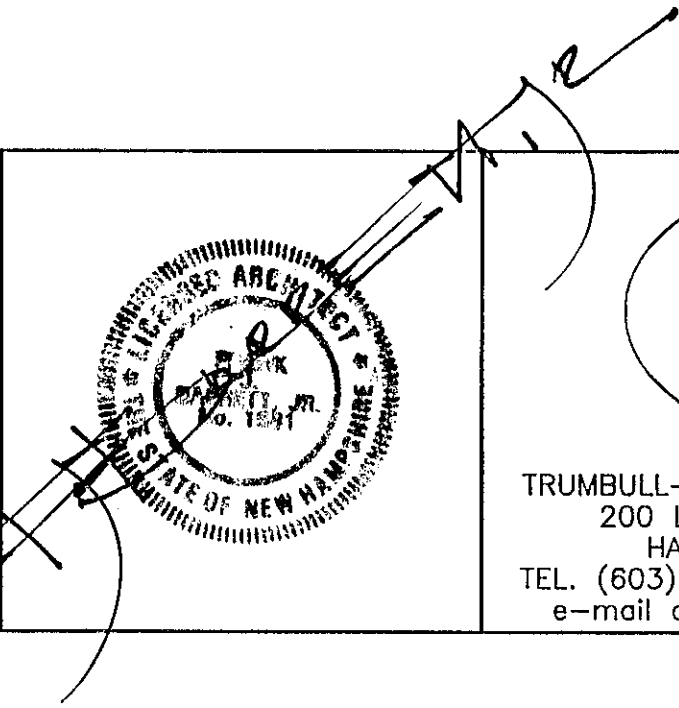


DOOR SCHEDULE											
DOOR #	FROM (OUTSIDE)	TO	DOORS								REMARKS
			TYPE	WIDTH	HEIGHT	THK	MATERIAL	GLAZING	LABEL		
100	OUTSIDE	RM 100	FG	3'-0"x3'-0"	7'-0"	1 3/4"	ALUMINUM	1" INSULATED GLASS	N/A	12" TOE KICK TRANSOM PANEL ABOVE	
100A	OUTSIDE	RM 100	FG	5'-0"x3'-0"	7'-0"	1 3/4"	ALUMINUM	1" INSULATED GLASS	N/A	12" TOE KICK TRANSOM PANEL ABOVE	
100B	OUTSIDE	RM 100	FG	3'-0"	7'-0"	1 3/4"	ALUMINUM	1" INSULATED GLASS	N/A	12" TOE KICK TRANSOM PANEL ABOVE	
103	RM 100	RM 103	HG	3'-0"	7'-0"	1 3/4"	WOOD	1/4" TEMPERED GLASS	N/A	LEVER LOCKSET	
104	RM 104	RM 104	F	3'-0"	7'-0"	1 3/4"	WOOD	N/A	N/A	LEVER LOCKSET	
105	RM 107	RM 105	F	3'-0"	7'-0"	1 3/4"	WOOD	N/A	N/A	PUSH PULL DOOR CLOSER	
106	RM 107	RM 106	F	3'-0"	7'-0"	1 3/4"	WOOD	N/A	N/A	PUSH PULL DOOR CLOSER	
107	RM 107	OUTSIDE	F	3'-0"	7'-0"	1 3/4"	METAL	N/A	N/A	LEVER LOCKSET KICK PLATE DOOR CLOSER	
110	RM 112	RM 110	F	3'-0"	7'-0"	1 3/4"	SC BIRCH	N/A	N/A	LEVER LOCKSET	
111	RM 112	RM 111	F	3'-0"	7'-0"	1 3/4"	SC BIRCH	N/A	N/A	LEVER LOCKSET	
112	EXISTING AREA	RM 112	F	3'-0"	7'-0"	1 3/4"	SC BIRCH	N/A	N/A	LEVER LOCKSET	

FINISH SCHEDULE										
ROOM #	ROOM NAME	FLOOR		WALLS				CEILING		REMARKS
		FINISH	BASE	NORTH FINISH	SOUTH FINISH	EAST FINISH	WEST FINISH	FINISH	HEIGHT	
RM 100	SHOWROOM	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	14'-0"	
RM100B	SALES CORRIDOR	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	GWB	8'-6"	
RM100A	NC DELIV	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	
RM 101	SALES	CARPET	WOOD	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	RADIUSED WALL
RM 102	SALES	CARPET	WOOD	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	RADIUSED WALL
RM 103	SALES MANAGER	CARPET	WOOD	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	RADIUSED WALL
RM 104	OPEN AREA	SEALED CONC	VINYL	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	
RM 105	WOMENS ROOM	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	GWB	7'-10"	
RM 106	MENS ROOM	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	GWB	7'-10"	
RM 107	CORRIDOR	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	
RM 108	CUST. LOUNGE	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	
RM 109	KIDS PLAY AREA	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	
RM 110	SVC FILE STORAGE	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	
RM 111	CSH PARTS CTR	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	
RM 112	SVC WRITE-UP	PORCELAIN TILE	PT	EGGSHELL	EGGSHELL	EGGSHELL	EGGSHELL	ACOUSTICAL TILE	8'-6"	

ROOM FINISH AND DOOR SCHEDULES
NOT TO SCALE

DESCRIPTION OF REVISION	DRAWN BY	DATE
DESIGN DRAWING SUBMITTAL A	EJF	08/22/01



T-N

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TEL. (603) 643-3658 FAX (603) 643-2924
e-mail address trumbullnelson@t-n.com

MILLER VW
LEBANON NH 03766

NEW ADDITION

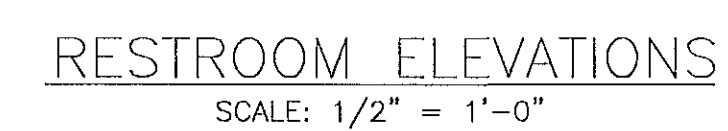
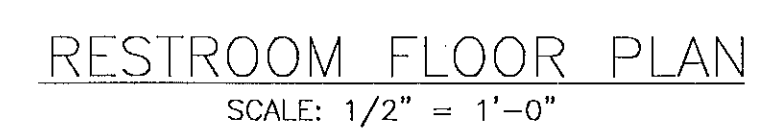
ROOM FINISH AND DOOR SCHEDULES

DRAWN BY
EJF
DATE
08/22/01

CHECKED BY
EJF
PROJECT NO.

A7

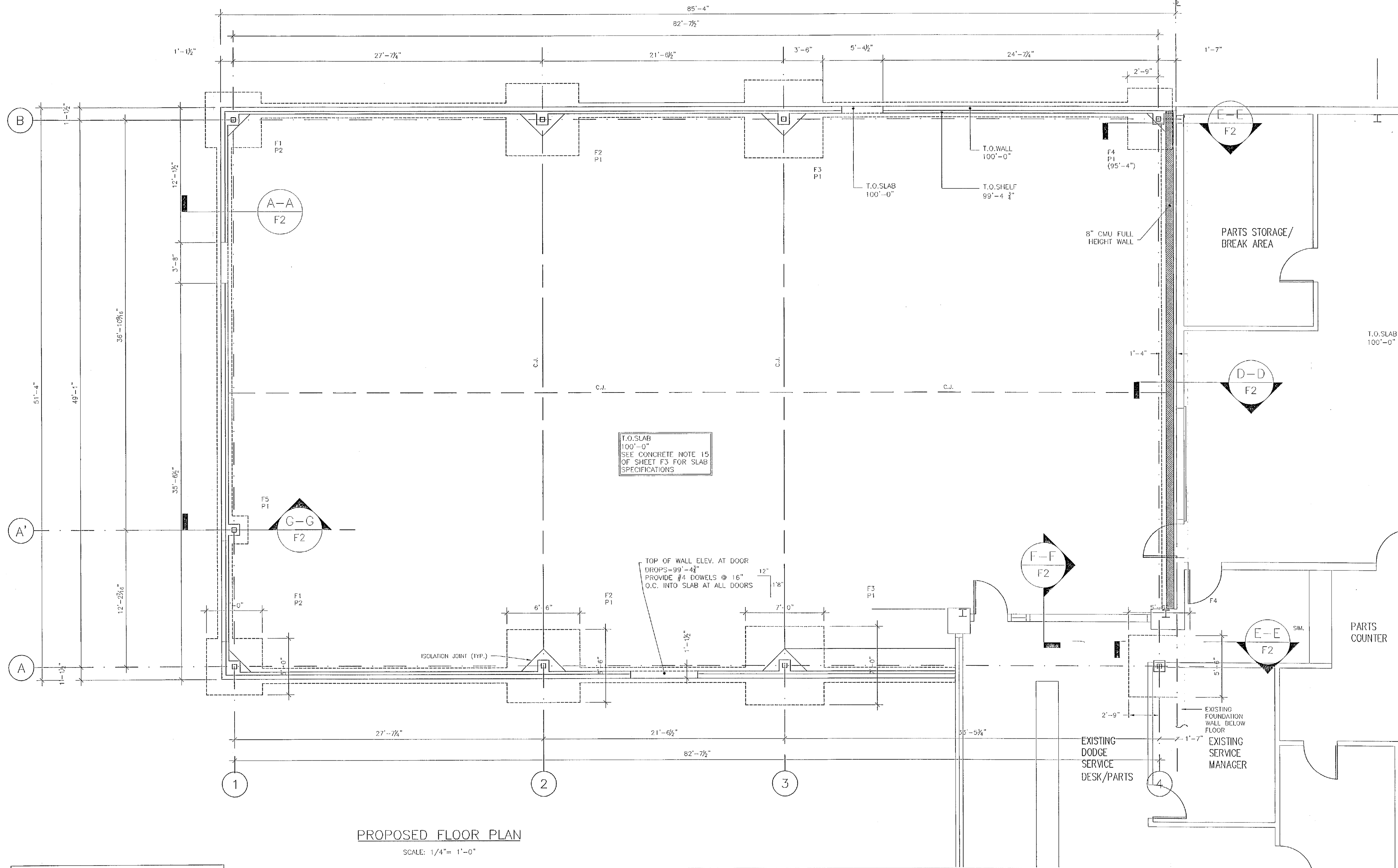
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DATE 09/11/01	PROJECT NO. _____

A8

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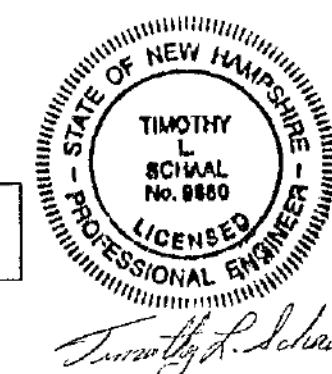


PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOOTING SCHEDULE

- F1 = 5'-0"x5'-0" x 12" W/ (5) #5's E.W., BTM
- F2 = 6'-6"x6'-6" x 14" W/ (7) #5's E.W., BTM
- F3 = 7'-0"x7'-0" x 14" W/ (7) #5's E.W., BTM
- F4 = 5'-6"x5'-6" x 12" W/ (7) #5's E.W., BTM
- F5 = 2'-6"x2'-6" x 12" W/ (3) #4's E.W., BTM

NOTES: UNLESS OTHERWISE NOTED,
BOTTOM OF FOOTING ELEVATION = 95'-0"



REV #	DESCRIPTION OF REVISION	BY	DATE
1	DESIGN DRAWING SUBMITTAL	EJF	04/26/01
2	DESIGN DRAWING SUBMITTAL	EJF	08/21/01
3	ENGINEER REVIEW SUBMITTAL 1	EJF	09/07/01



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e-mail address trumbullnelson@t-n.com

MILLER VOLKSWAGEN
LEBANON, NEW HAMPSHIRE

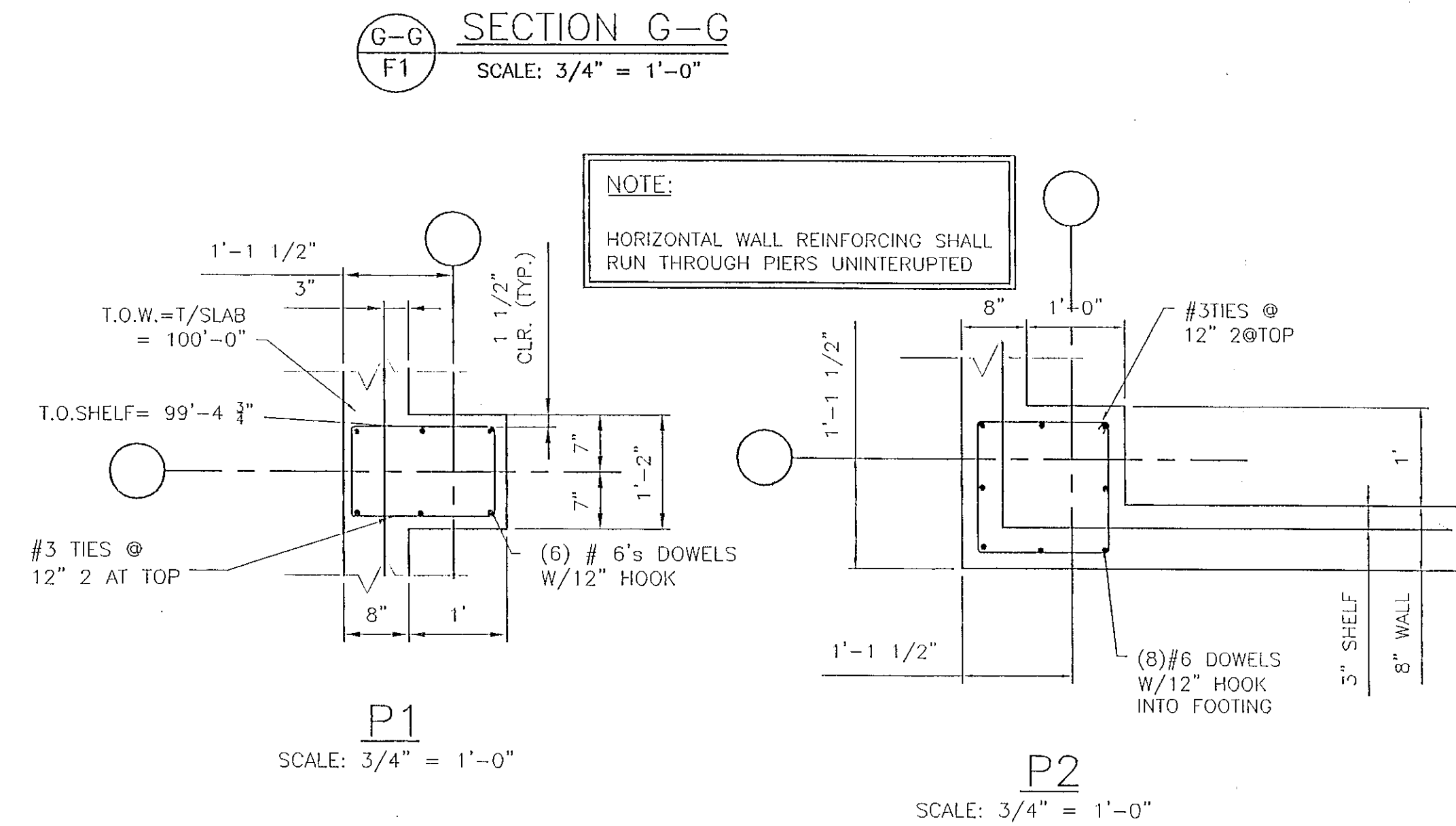
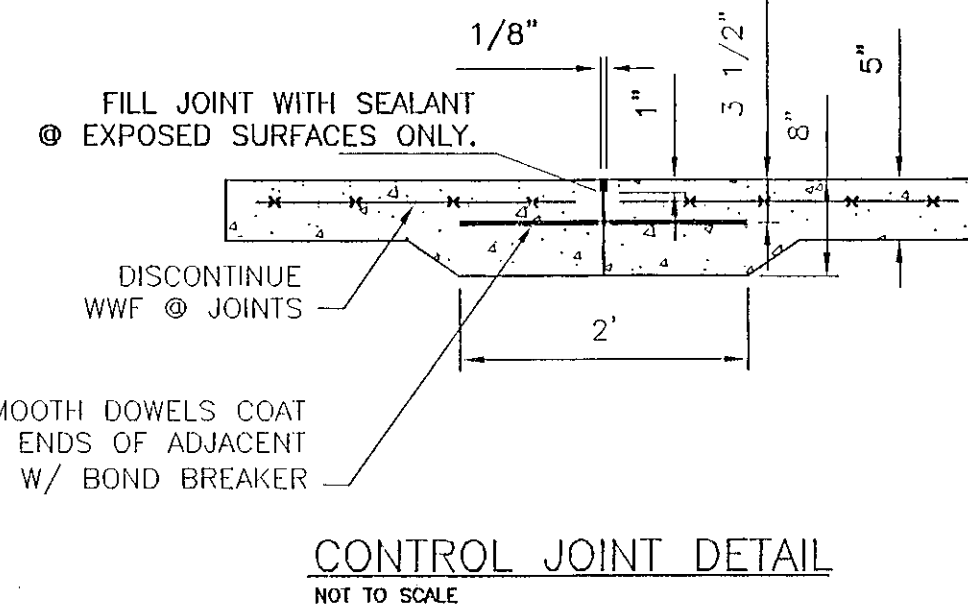
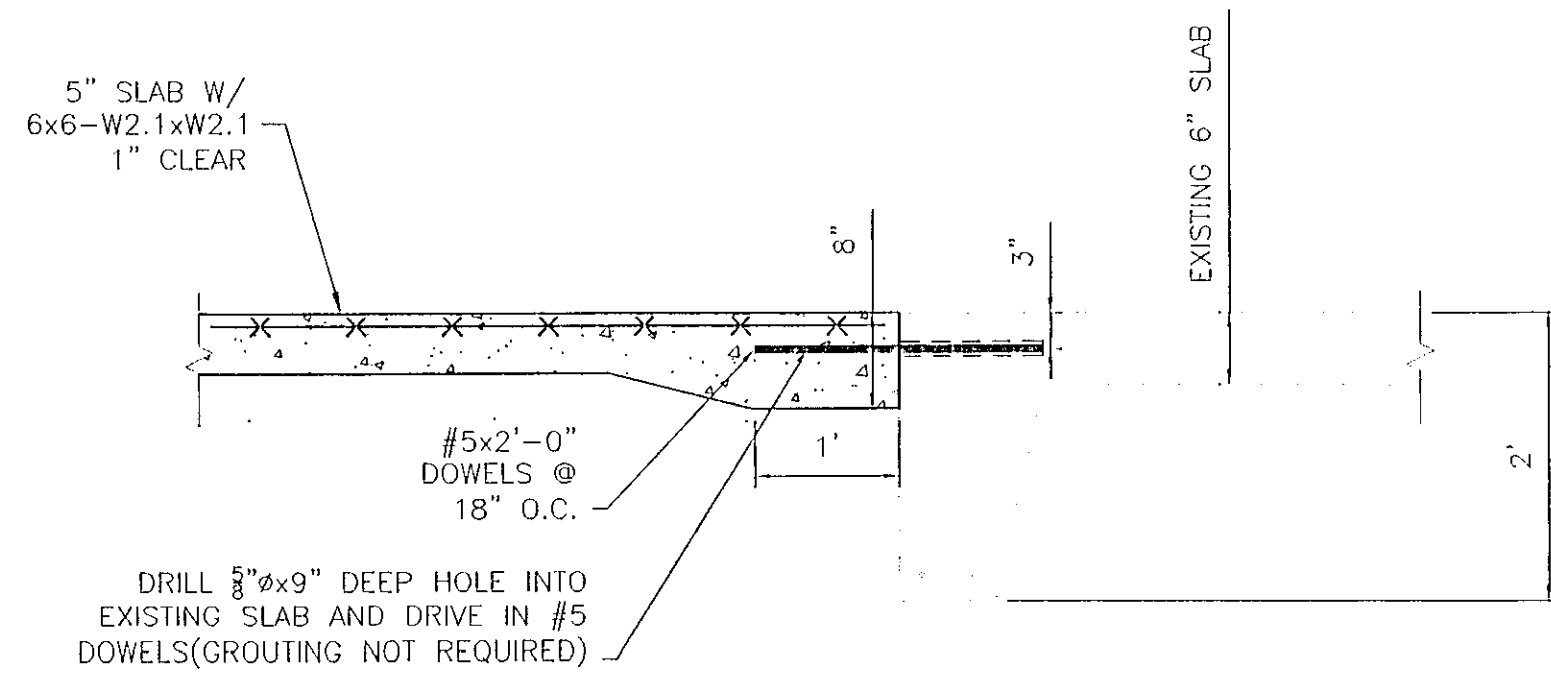
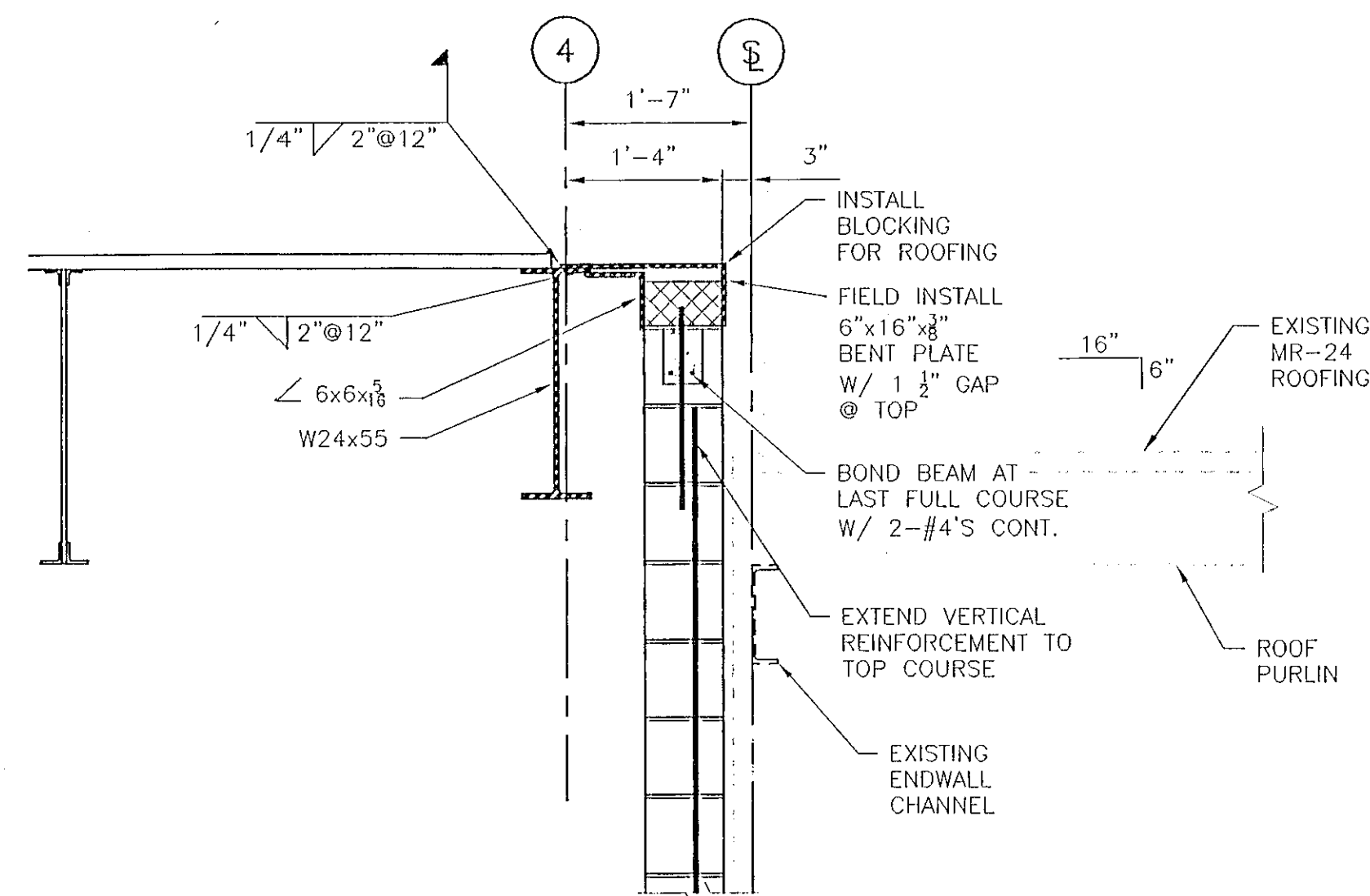
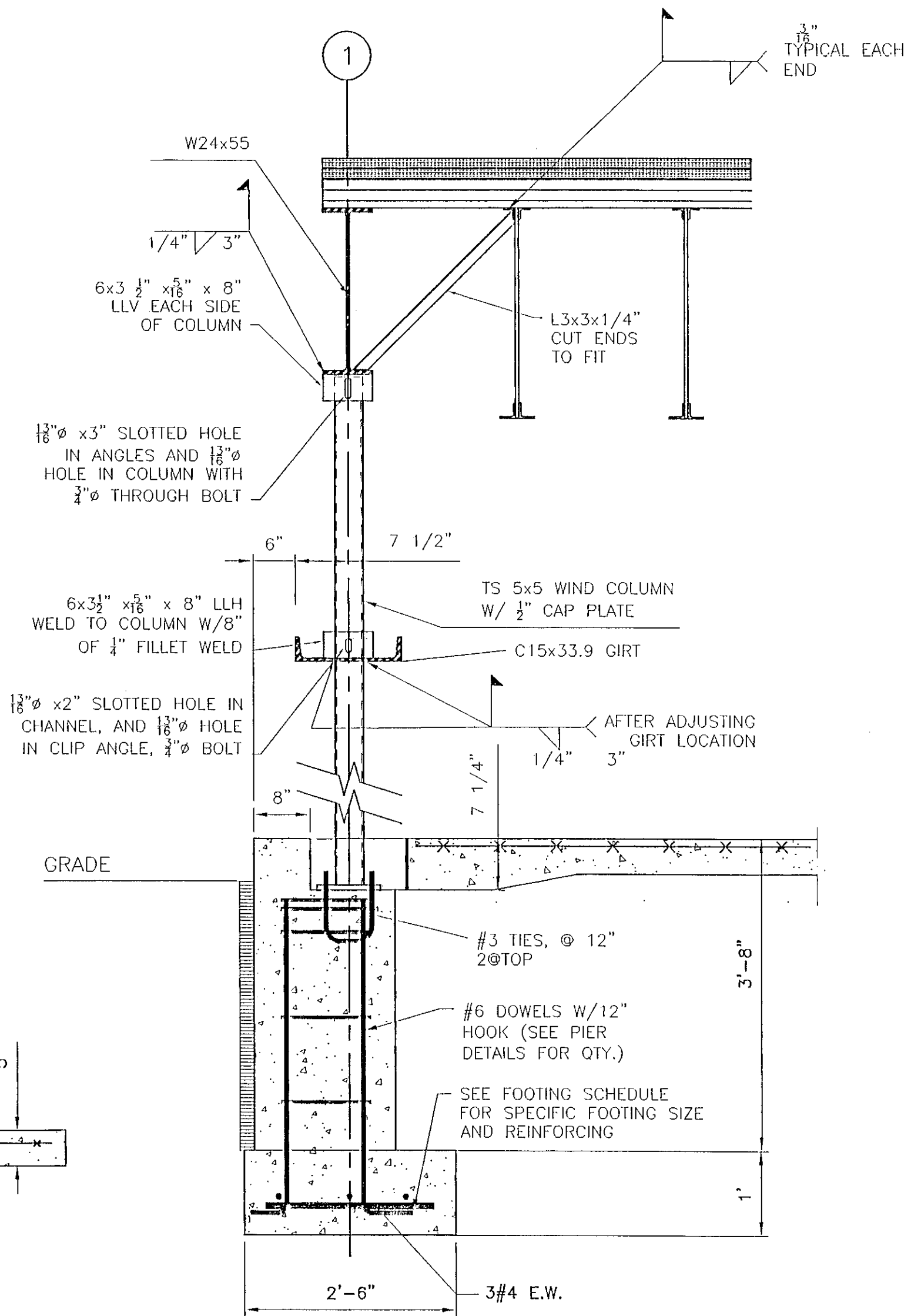
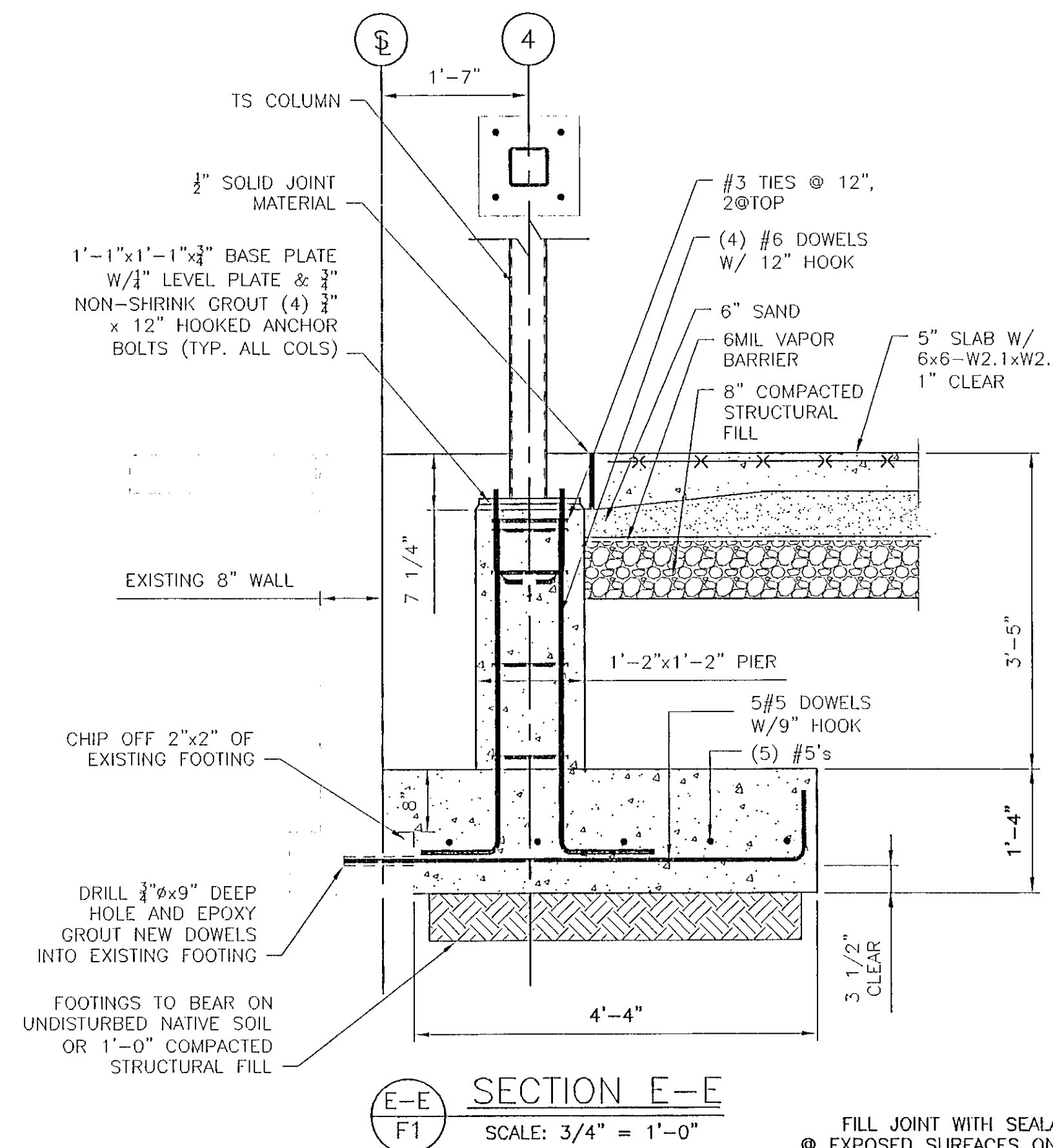
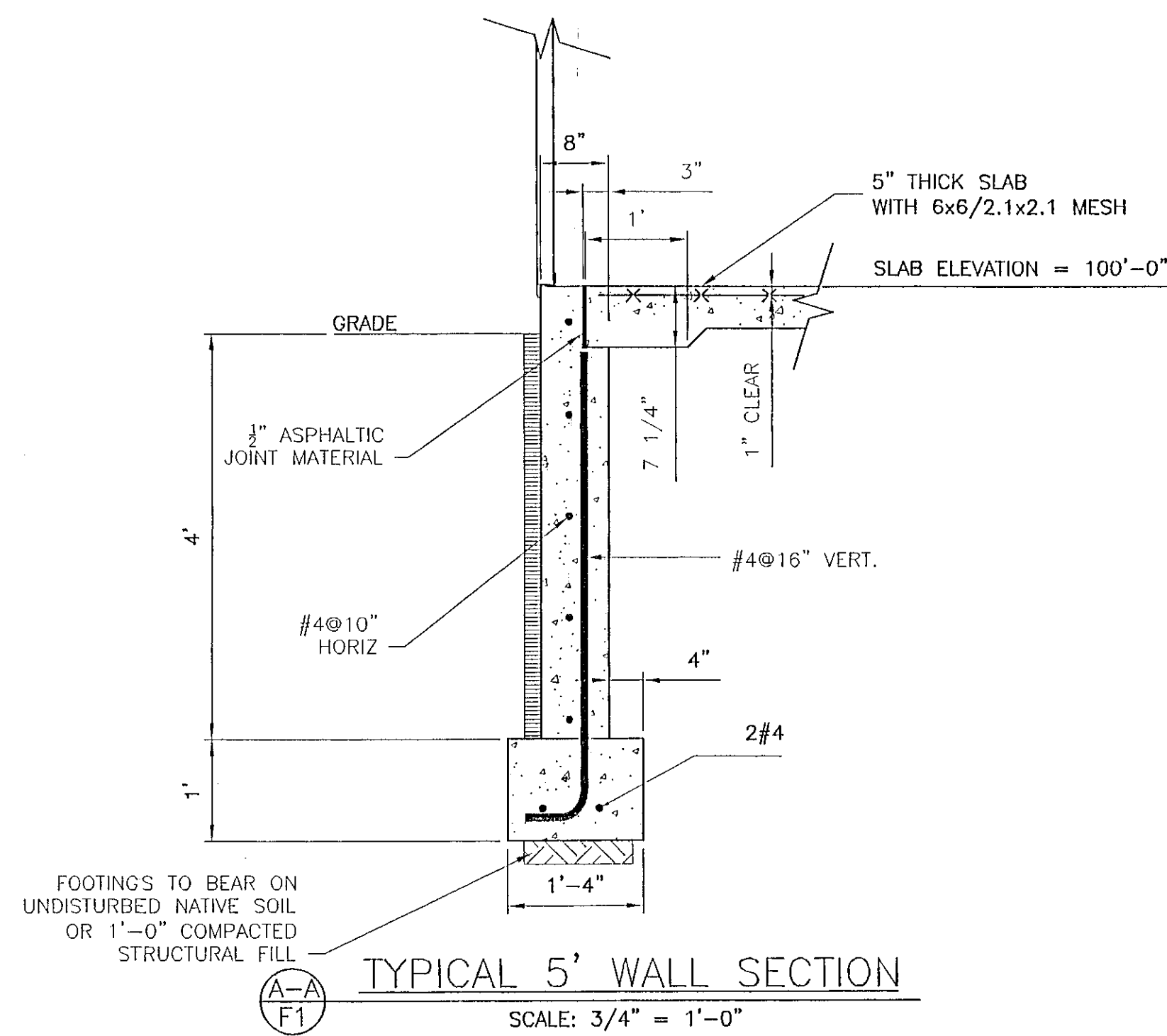
PROPOSED ADDITION

FOUNDATION & STRUCTURAL LAYOUT

DATE: 04/26/01
PROJECT NO.: -----

F1

Sheet of



REV #	DESCRIPTION OF REVISION	BY	DATE
1	DESIGN DRAWING SUBMITTAL	EJF	04/26/01
2	DESIGN DRAWING SUBMITTAL	EJF	08/21/01
3	ENGINEER COMMENTS SUBMITTAL 1	EJF	09/07/01



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e-mail address trumbullnelson@t-n.com

MILLER VOLKSWAGEN
LEBANON, NEW HAMPSHIRE

PROPOSED ADDITION

FOUNDATION & STRUCTURAL LAYOUT

DESIGNED BY
EJF

DATE
04/26/01

PROJECT NO.

F2

Sheet of

STRUCTURAL STEEL NOTES

1. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SITE, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND THE SPECIFICATIONS.
2. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS OF THE A.I.S.C. AND TO THE REQUIREMENTS OF THE LOCAL BUILDING CODES.
3. ALL WELDING SHALL CONFORM TO THE CODE FOR WELDING IN BUILDING CONSTRUCTION OF THE AMERICAN WELDING SOCIETY. ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER.
4. STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING:
- | | |
|---------------------------|--------------------------|
| W SHAPES - | ASTM A572, GRADE 50 |
| PLATES, BARS AND ANGLES - | ASTM A36 |
| STRUCTURAL TUBING - | ASTM A500, GRADE B |
| BOLTS - | ASTM A307 - ANCHOR BOLTS |
| | ASTM A325 - ALL OTHERS |

5. UNLESS OTHERWISE NOTED ON THE FRAMING PLANS, ALL STRUCTURAL STEEL BEAMS SPANNING MORE THAN 30 FEET SHALL BE PROVIDED WITH THE FOLLOWING MINIMUM CAMBER:

SPAN (ft)	MIN. CAMBER
30 TO 42	3/4" INCH
42 TO 52	1" INCH
52 TO 65	1 1/2" INCH

6. ALL SHOP CONNECTIONS SHALL BE BOLTED OR WELDED. ALL FIELD CONNECTIONS SHALL BE BOLTED EXCEPT WHERE WELDING IS SPECIFICALLY CALLED FOR. BOLTS SHALL BE 3/4" DIAMETER MINIMUM WITH OPEN HOLES 1/16" LARGER EXCEPT FOR COLUMN GROUT PLATES WHICH ARE 3/16" LARGER AND COLUMN BASE PLATES WHICH ARE 5/16" LARGER. CONNECTIONS NOT DETAILED SHALL BE DESIGNED FOR THE LOADS INDICATED ON THE DRAWINGS OR THOSE GIVEN IN THE A.I.S.C. UNIFORM LOAD TABLES, WHICHEVER IS GREATER.

7. ALL STRUCTURAL STEEL SHALL BE SHOP PAINTED (MINIMUM 2 MILS DRY FILM THICKNESS) WITH AN APPROVED RUST INHIBITIVE PRIME PAINT. STEEL SHALL BE CLEANED (SSPC-3, POWER TOOL CLEANING) PRIOR TO PAINTING. FIELD TOUCH UP WITH THE SAME PAINT WILL BE REQUIRED.

8. THE STRUCTURAL STEEL CONTRACTOR SHALL PROVIDE ALL NECESSARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STEEL FRAME PLUMB AND SQUARE UNTIL THE ROOF DECK AND WALLS ARE INSTALLED.

9. THERE WILL BE NO FIELD BURNING, CUTTING OR OTHER ALTERATIONS OF PRIMARY STRUCTURAL STEEL OR BAR JOISTS WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

10. NO MASONRY CONSTRUCTION SHOULD BE PERFORMED IN AN AREA WHERE THE STRUCTURAL STEEL WORK IS NOT COMPLETE, SPECIFICALLY INCLUDING PLUMBING AND ALIGNMENT.

11. OPEN WEB STEEL JOIST DESIGN, FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE STEEL JOIST INSTITUTE AND THE A.I.S.C.

12. STEEL JOISTS SHALL BE PROVIDED WITH DEAD LOAD CAMBER ACCORDING TO STEEL JOIST INSTITUTE RECOMMENDATIONS.

13. CONCENTRATED LOADS 100 LBS OR LESS MAY BE HUNG FROM THE BOTTOM CHORD PANEL POINTS. LOAD 400 LBS OR LESS MAY BE HUNG FROM THE TOP CHORDS. CONCENTRATED LOADS GREATER THAN 400 LBS SHALL NOT BE SUPPORTED BY THE JOISTS UNLESS APPROVED BY THE STRUCTURAL ENGINEER.

14. ALL ROOF DECK MATERIAL SHALL BE 1 1/2 INCHES DEEP, 22 GAGE MINIMUM, WIDE RIB GALVANIZED METAL DECK COMPLYING WITH AND APPROVED BY FACTORY MUTUAL FOR SPANS INDICATED ON PLANS. DECK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND ACCEPTED STANDARD PRACTICE. ROOF DECK SHALL BE WELDED TO ALL SUPPORTS WITH 3/8" DIAMETER FUSION WELDS SPACED 12 INCHES ON CENTER. SIDE LAPS SHALL BE MECHANICALLY FASTENED AT MIDSPAN WITH #10 SELF-TAPPING SHEET METAL SCREWS. ALL EDGES OF DECK SHALL BE PROPERLY SUPPORTED.

15. REINFORCE ROOF DECK AROUND OPENINGS AS FOLLOWS: FOR OPENINGS LESS THAN 15" IN ANY DIMENSION, ADD A 20 GA. STEEL SHEET AT LEAST 12" LONGER AND WIDER THAN OPENING. CENTER STEEL SHEET OVER OPENING IN DECK. FASTEN TO DECK WITH #12 SELF-TAPPING SCREWS AT 6" ON CENTER AT ALL EDGES AND AT CORNERS. FOR OPENINGS OVER 15" IN ANY DIMENSION, ADD A L3x3x1/4 STEEL FRAME TO SUPPORT DECK DIRECTLY FROM JOISTS OR BEAMS.

16. THE STRUCTURAL STEEL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (ONE REPRODUCIBLE AND TWO BLUE PRINTS) TO THE GENERAL CONTRACTOR FOR REVIEW PRIOR TO FABRICATION FOR THE FOLLOWING ITEMS:

STRUCTURAL STEEL
OPEN WEB JOISTS
ROOF DECKING
MISCELLANEOUS STEEL

17. STEEL JOISTS SHALL HAVE 2 ROWS OF L1-1/4 X 1-1/4 X 1/8" HORIZONTAL BRIDGING AT THE TOP AND BOTTOM CHORDS AND 1 ROW OF BOLTED L1-1/4 X 1-1/4 X 1/8" DIAGONAL BRIDGING AT MID-SPAN. NOTE: OSHA REQUIRES THAT THE MID-SPAN DIAGONAL BRIDGING BE COMPLETELY BOLTED BEFORE SLACKENING HOIST LINES FOR ALL JOISTS OVER 40 FEET IN LENGTH.

18. DESIGN DATA AS PER THE 1996 BOCA NATIONAL BUILDING CODE:

Floor Live Load = 250 psf

Roof Snow Load Data Pg = 60 psf

Ce = 0.7
I = 0.10
Pf = 42 psf
* Drift Loads added where required.

Wind Load Data Basic Wind SpeedW = 80 mph
Importance Factor = 1.0
Exposure = "B"
Wind Design Pressure = 16 psf

Seismic Load Data

Av = 0.10
Ao = 0.10
Exposure Group = Group I
Performance Category = Category "C"
Soil Profile = S1
Basic Struct. System = Steel Moment Frames
Seismic Resistance Syst. = Special Steel Moment Frames
R = 8
Cd = 5 1/2
Analysis Procedure = Equiv. Lateral Force Procedure

CONCRETE NOTES

1. ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SITE, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND THE SPECIFICATIONS.

2. ALL CONCRETE WORK SHALL COMPLY WITH THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI) AND THE LOCAL BUILDING CODES.

3. ALL CONCRETE SHALL BE NORMAL WEIGHT HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS WITH THE FOLLOWING REQUIREMENTS:

PORTLAND CEMENT - ASTM C150, TYPE II

AGGREGATE - ASTM C33, 1" MAXIMUM SIZE FOR SLABS AND WALLS AND 1 1/2" MAXIMUM SIZE FOR FOOTINGS.

WATER - POTABLE

SLUMP - 2" TO 4"

ADMIXTURES - USE AIR ENTRAINING AGENT CONFORMING TO ASTM C260 WITH 4-6% TOTAL AIR.
USE WATER REDUCING AGENT CONFORMING TO ASTM C494 IN ALL CONCRETE.
CALCIUM CHLORIDE MAY NOT BE USED TO ACCELERATE THE SETTING TIME.

DESIGN MIX - SUBMIT A CURRENT DESIGN MIX, WITH 28 DAY COMPRESSIVE STRENGTH TEST, TO THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

4. ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A615, GRADE 60 EXCEPT STIRRUPS AND TIES TO BE GRADE 40. WELDED WIRE FABRIC TO CONFORM TO ASTM A185.

5. LAP ALL BARS 30 DIAMETERS MINIMUM AT SPLICES UNLESS INDICATED OTHERWISE ON THE DRAWINGS. WELDED WIRE FABRIC TO BE LAPPED ONE FULL MESH AT SIDES AND ENDS.

6. REINFORCEMENT SHALL BE SECURELY TIED IN ITS PROPER PLACE BEFORE AND DURING POURING OPERATIONS USING APPROVED CHAIRS AND SPACERS AS REQUIRED. NO BARS SHALL BE CUT OR OMITTED IN THE FIELD WITHOUT THE APPROVAL OF THE ENGINEER.

7. WHERE CONTINUOUS BARS ARE CALLED FOR, INDICATED OR REQUIRED THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWELED INTO INTERSECTING WALLS AND LAPPED AT NECESSARY SPLICES WITH SPLICES STAGGERED WHEREVER POSSIBLE.

8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

CONCRETE CAST AGAINST EARTH	3"
FORMED CONCRETE EXPOSED TO EARTH OR WEATHER	
#5 AND SMALLER	1 1/2"
#6 AND LARGER	2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER	
SLABS, WALLS & JOISTS	3/4"
BEAMS & COLUMNS	1 1/2"

9. THE CONCRETE CONTRACTOR SHALL INSTALL (OR GIVE OTHER TRADES AMPLE OPPORTUNITY TO INSTALL) ALL ANCHORS, BOLTS, PLATES, NAILERS, SLOTS, CHASES, PIPE SLEEVES, ETC., AS REQUIRED BY OTHER TRADES.

10. FOOTINGS SHALL REST ON SUITABLE UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL HAVING A MINIMUM DESIGN BEARING PRESSURE OF 1,000 PSF. ELEVATIONS OF BOTTOM OF FOOTINGS ARE SHOWN ON PLANS, BUT ARE SUBJECT TO REVISION WHEN TRUE SOIL CONDITIONS ARE EXPOSED BY EXCAVATION. THE ENGINEER SHALL BE NOTIFIED PROMPTLY OF ANY WEAK STRATA, WATER CONDITIONS OR OTHER POOR BEARING CONDITIONS.

11. UNLESS OTHERWISE NOTED, ALL FOOTINGS AND PIERS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.

12. FOUNDATION WALLS SHALL BE POURED IN ALTERNATE LENGTHS, EACH POUR NOT TO EXCEED APPROXIMATELY 45 FEET IN LENGTH. DESIGN MIX SHALL BE REVIEWED WITH THE ENGINEER.

14. PROPER VIBRATION OF THE CONCRETE IS IMPORTANT IN THE PLACEMENT OF ALL CONCRETE; THE CONCRETE CONTRACTOR SHALL MAKE PROVISIONS FOR BACK-UP VIBRATION EQUIPMENT.

15. UNLESS OTHERWISE SHOWN ON PLANS, SLABS ON GROUND SHALL BE 5" THICK, POURED OVER A MINIMUM 6" OF SAND, 6 MIL POLYETHYLENE VAPOR BARRIER AND 8" LAYER OF COMPACTED STRUCTURAL FILL. REINFORCING TO BE WWF 6 X 6 - W2.1 X W2.1 PLACED ONE INCH FROM THE TOP OF SLAB UNLESS OTHERWISE SHOWN ON THE PLANS. THE SLAB SHALL RECEIVE A STEEL TROWEL FINISH AND BE LEVEL WITHIN 1/8" PER 10 FEET.

16. CONCRETE TEMPERATURE DURING THE FIRST SEVEN DAYS SHALL BE MAINTAINED BETWEEN 50 DEGREES FAHRENHEIT AND 90 DEGREES FAHRENHEIT. RAPID DRYING MUST BE PREVENTED.

17. CURING

A) SLABS SHALL BE KEPT CONTINUOUSLY MOIST FOR A MINIMUM OF SEVEN DAYS, WITH WATER AND AN APPROVED SOAKING AGENT (BURLAP, PVC, ETC.).

B) WALLS SHALL RECEIVE 2 COATS (ONE AT A TIME OF STRIPPING AND ANOTHER 3 DAYS LATER) OF AN APPROVED NON-TOXIC CURING COMPOUND.

PRIOR TO USE OF ANY CURING COMPOUND, VERIFY COMPATIBILITY OF COMPOUND WITH ADHESIVES THAT WILL BE USED FOR WATERPROOFING SYSTEM, INSULATION, FLOOR TILES, WALL FINISHES AND OTHER ITEMS TO BE APPLIED LATER.

18. ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED TO WITHSTAND EARTH AND CONSTRUCTION LOAD PRESSURES. WALLS MUST BE AT LEAST SEVEN DAYS OLD BEFORE BACKFILLING.

19. BACKFILLING AGAINST FOUNDATION WALLS SHALL BE DONE BY PLACING SIMULTANEOUS LEVEL LAYERS ON BOTH SIDES OF THE WALL SUCH THAT THE DIFFERENCE BETWEEN ONE SIDE AND THE OTHER DOES NOT EXCEED 24 INCHES.

20. SELECT BACKFILL OUTSIDE THE FOUNDATION WALL:

A) AN APPROVED MATERIAL FREE OF BOULDERS LARGER THAN 6" ORGANIC MATERIAL, TOPSOIL AND DEBRIS. USE OF EXCAVATED MATERIAL SHALL BE PERMITTED, UNLESS SPECIFICALLY INDICATED OTHERWISE.

B) PLACE IN MAXIMUM 8" LEVEL LIFTS AND COMPACT TO 90% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DEFINED BY ASTM D698.

21. SHOP DRAWINGS (ONE REPRODUCIBLE AND TWO BLUE PRINTS) PREPARED IN ACCORDANCE WITH ACI STANDARDS WILL BE REQUIRED FROM THE CONCRETE CONTRACTOR FOR REINFORCING STEEL PRIOR TO CONSTRUCTION.

22. THE GENERAL CONTRACTOR MAY EMPLOY A QUALIFIED ENGINEERING TESTING FIRM TO PERFORM STANDARD FIELD TESTING OF THE CONCRETE.

STRUCTURAL FILL UNDER SLABS & FOOTINGS

1. PRIOR TO PLACING STRUCTURAL FILL ALL ORGANIC MATERIAL, TOPSOIL, DEBRIS AND ANY OTHER DELETERIOUS MATERIAL SHALL BE REMOVED.

2. STRUCTURAL FILL SHALL BE AN APPROVED, WELL GRADED BANK RUN, SCREENED OR CRUSHED GRAVEL MEETING THE FOLLOWING REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
2"	100
No. 4	40-70
No. 100	5-20
No. 200	2-5

3. THE MATERIAL SHALL BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557, MODIFIED PROCTOR (OR ASTM D698, STANDARD PROCTOR FOR LESS CRITICAL FILLS OR CLAYEY SOILS).

4. THE GENERAL CONTRACTOR MAY TAKE DENSITY TESTS ON THE COMPACTED FILL. IF THE MATERIAL TESTS LESS THAN 95%, CORRECTIVE ACTION AND ADDITIONAL TESTING WILL BE REQUIRED. THE ADDITIONAL TESTING AND CORRECTIVE ACTION WILL BE PAID FOR BY THE CONTRACTOR.

5. MATERIALS SHALL BE PLACED IN SUCH A WAY AS NOT TO DAMAGE CONCRETE FOUNDATION AND FOOTINGS.

6. SAND SHALL BE MATERIAL FREE FROM SILT, LOAM, CLAY OR ORGANIC MATTER. IT SHALL BE OBTAINED FROM APPROVED SOURCES AND MEET THE REQUIREMENTS OF THE FOLLOWING TABLE:

SIEVE DESIGNATION	% PASSING
No. 4	100
No. 100	5-20
No. 200	2-10

7. SAND SHALL BE PLACED IN ONE 6-INCH LAYER AND COMPACTED TO 95% ASTM D698, STANDARD PROCTOR.

8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT, A SIEVE ANALYSIS AND A LABORATORY MOISTURE-DENSITY CURVE FOR THE PROPOSED STRUCTURAL FILL. THE TESTS SHALL BE CONDUCTED, AT THE CONTRACTOR'S EXPENSE, BY A TESTING FIRM APPROVED BY THE ENGINEER. ADDITIONAL SAMPLES SHALL BE TESTED UNTIL A MATERIAL MEETING THE ABOVE REQUIREMENTS IS PROVIDED.

REINFORCED MASONRY CONSTRUCTION NOTES

1. CONCRETE MASONRY SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE NATIONAL CONCRETE MASONRY ASSOCIATION, PORTLAND CEMENT ASSOCIATION AND AMERICAN CONCRETE INSTITUTE CODES.

2. CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT CONFORMING TO THE FOLLOWING:

A) HOLLOW LOAD-BEARING, ASTM C90, GRADE N, TYPE I, MINIMUM COMPRESSIVE STRENGTH ON THE NET AREA OF 2000 PSI, TWO CELLS WITH A MINIMUM 50% SOLID.

B) SOLID LOAD-BEARING, ASTM C55, GRADE N, TYPE I, WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI.

C) CONCRETE BRICK, ASTM C55, GRADE N, TYPE I, WITH A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI.

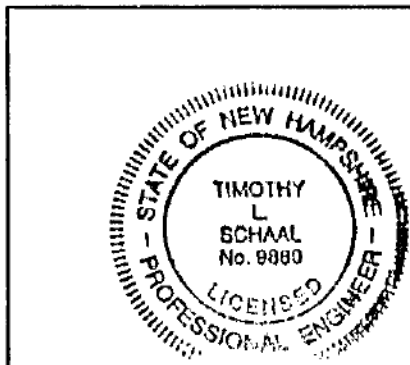
3. MORTAR SHALL CONFORM TO ASTM C270 WITH THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS @ 28 DAYS:

TYPE PM OR PL - 2500 PSI

4. GROUT SHALL CONFORM TO ASTM C476, FINE OR COARSE TYPE AS APPROPRIATE, WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. LOW-LIFT GROUTING SHALL BE USED IN LIFTS OF 4 FEET OR LESS.

5. HORIZONTAL WALL REINFORCEMENT TO BE UNCOATED TRUSS OR LADUR TYPE WITH NO. 9 GAGE UNCOATED WIRE CONFORMING TO ASTM A82, AS MANUFACTURED BY DUR-O-WAL, INC. OR APPROVED EQUAL. REINFORCING TO BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS UNLESS INDICATED OTHERWISE ON THE PLANS.

6. NORMAL MASONRY CONSTRUCTION WEATHER CONDITIONS ASSUMES THE AIR TEMPERATURE TO BE BETWEEN 40 AND 90 DEGREES FAHRENHEIT WITH MINIMAL WIND AND RAIN, PLUS AVERAGE RELATIVE HUMIDITY. IF CONDITIONS OTHER THAN THESE OCCUR, THE CONTRACTOR MUST MODIFY CONSTRUCTION PROCEDURES IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES AND THE ABOVE NOTED CODES.



Timothy L. Schaal

REV #	DESCRIPTION OF REVISION	BY	DATE
1	DESIGN DRAWING SUBMITTAL	EJF	08/21/01



TRUMBULL-NELSON CONSTRUCTION CO., INC.
200 LEBANON ST. P.O. BOX 1000
HANOVER N.H. 03755-1000
TEL. (603) 643-3658 FAX (603) 643-2924
e-mail address trumbullnelson@t-n.com

MILLER VOLKSWAGEN
LEBANON, NEW HAMPSHIRE

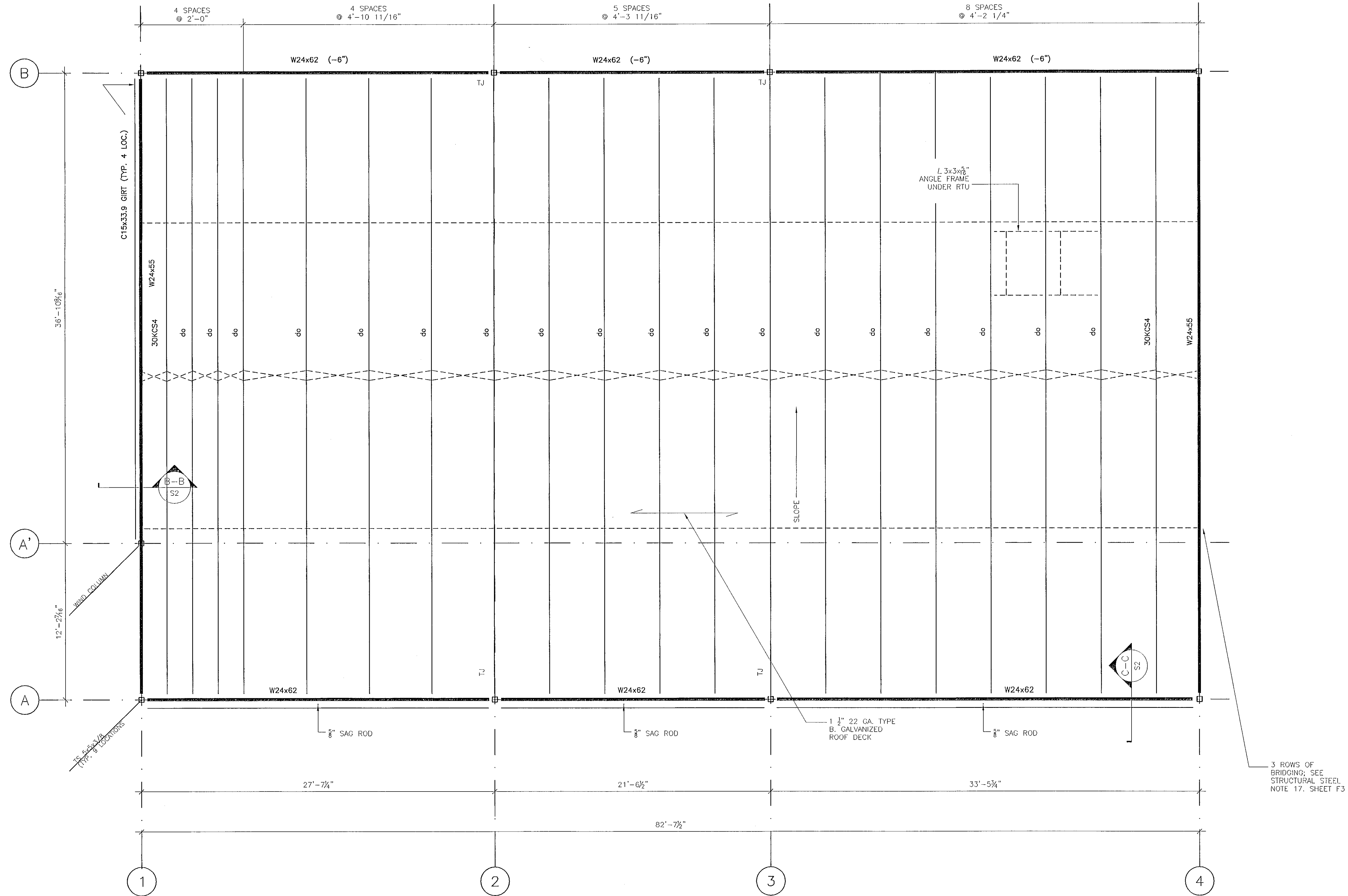
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FOUNDATION & STRUCTURAL NOTES

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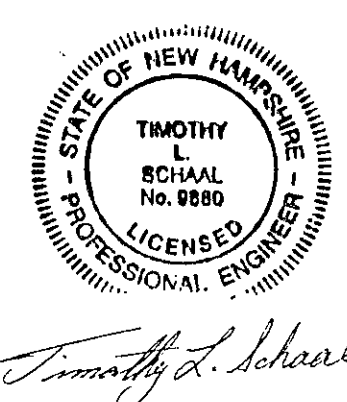
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ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. TOP OF STEEL ELEVATION (UNDERSIDE OF DECK) IS 118'-9", UNLESS NOTED (+/-).
 2. TJ INDICATES TIE JOIST.
 3. ALL JOIST TOP CHORDS TO EXTEND 7" BEYOND COLUMN CENTERLINE.



REV #	DESCRIPTION OF REVISION	BY	DATE
A	DESIGN DRAWING SUBMITTAL	EJF	08/21/01
B	ENGINEERS COMMENT SUBMITTAL	EJF	09/07/01

T.N.

TRUMBULL-NELSON CONSTRUCTION CO., INC.
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MILLER VOLKSWAGEN
LEBANON, NEW HAMPSHIRE

PROPOSED ADDITION

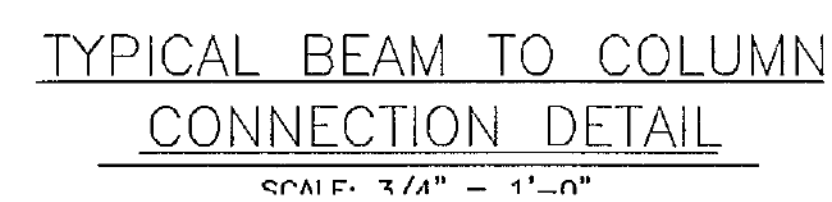
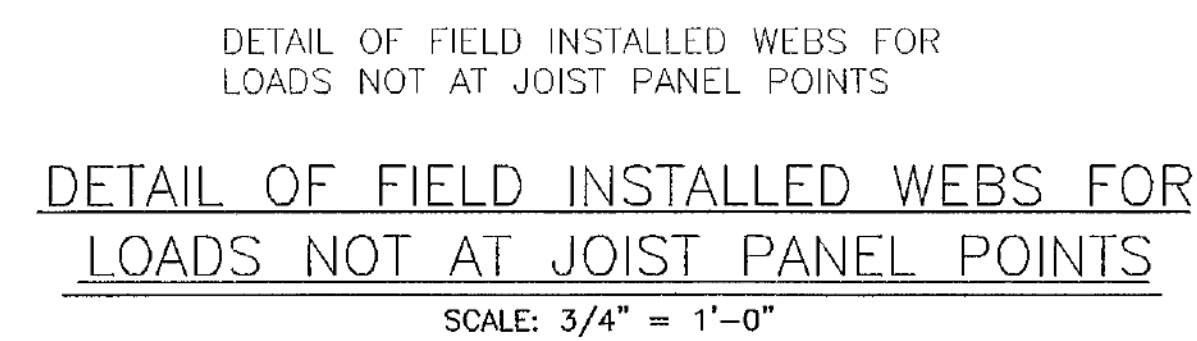
ROOF FRAMING PLAN

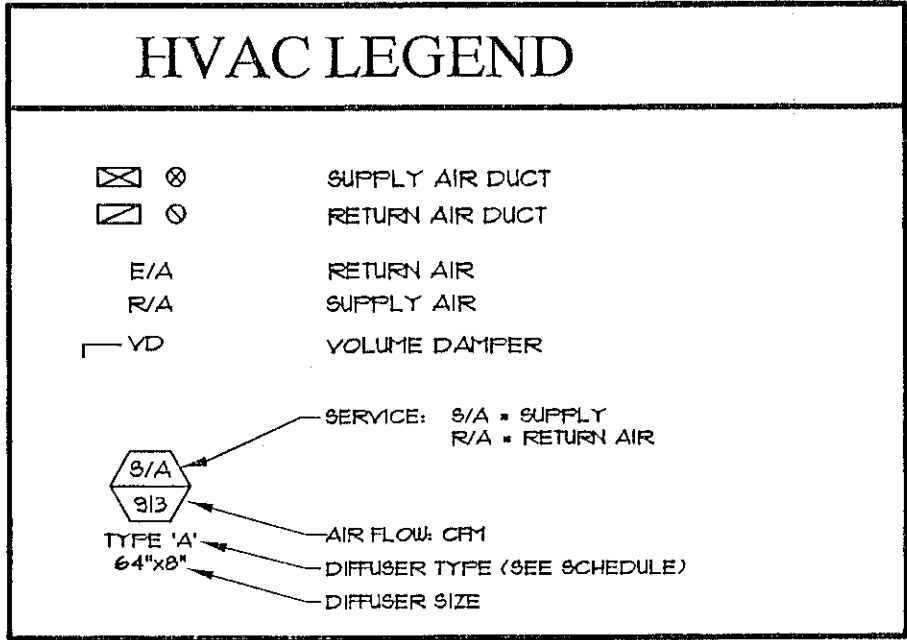
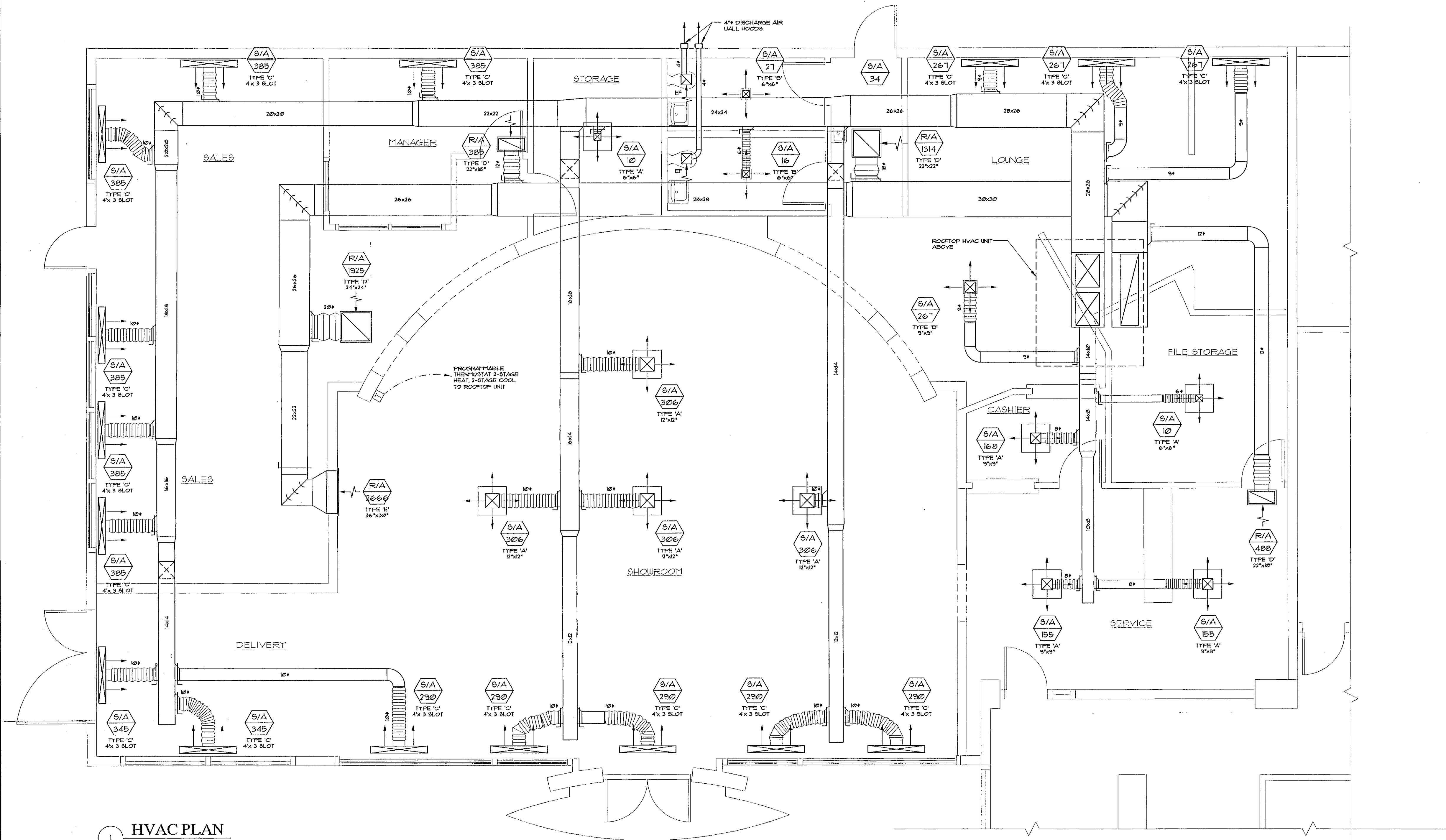
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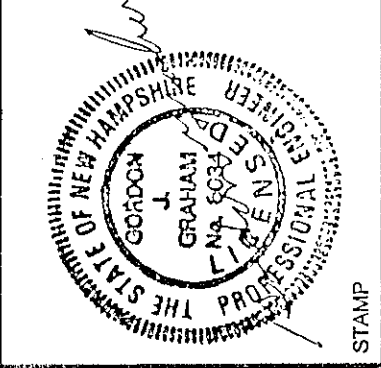
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NO.	REVISION
	DATE



SECANT DESIGN
48 Pine Ridge Road, Sunapee, NH 03270
Ph. (603) 765-3129 • Fax (603) 765-9802

MILLER VU
LEBANON, NH

TITLE: HVAC PLAN & SCHEDULES

HVAC PLAN

VENTILATION AIR: FIRST FLOOR RETAIL • 3 CFM/5F, x 3766 SF • 1130 CFM OUTSIDE AIR

ROOFTOP HVAC UNIT SCHEDULE

MANUF.	MODEL	BLOWER			ELECTRICAL (40 Hz)			LPG HEATING				COOLING			
		CFM	TSF IN/SG	HP	RPM	VOLTS	Ø	FLA	MAX. FUSE AMPS	1 STAGE INPUT MBH	1 STAGE OUTPUT MBH	2 STAGE INPUT MBH	2 STAGE OUTPUT MBH	AFUE	1 STAGE TOTAL MBH
ARMSTRONG	LGA-210	1000	1.6	5	985	208	3	14.1	120	305	244	412	316	80%	952

OPTIONS:
1. LP GAS CONVERSION KITS
2. ECONOMIZER WITH LOW LEAKAGE DAMPERS, INTAKE AIR HOOD AND SINGLE INPUT ENTHALPY CONTROL.
3. POWER EXHAUST FAN AND HOOD.

FAN SCHEDULE

UNIT NUMBER	MANUF.	MODEL	SERVICE	CFM	S.P. (IN. H ₂ O)	MOTOR DATA @ 60 HZ			FAN TYPE	NOTES SEE BELOW
						WATTS	RPM	VOLTS PHASE		
EF	PANASONIC	FV-20V02	EXHAUST	75	0.2	43.4	934	120	1	CEILING

R,G & D SCHEDULE

TYPE	MANUFACTURER	MODEL	SERVICE	SIZE	MATERIAL	FINISH
A	KRUEGER	SHF23	SUPPLY	AS NOTED	STEEL	WHITE
B	KRUEGER	SHF22	SUPPLY	AS NOTED	STEEL	WHITE
C	KRUEGER	PTB31	SUPPLY	AS NOTED	ALUM.	WHITE
D	KRUEGER	EGC5	RETURN	AS NOTED	ALUM.	WHITE
E	KRUEGER	SB2H	RETURN	AS NOTED	STEEL	WHITE

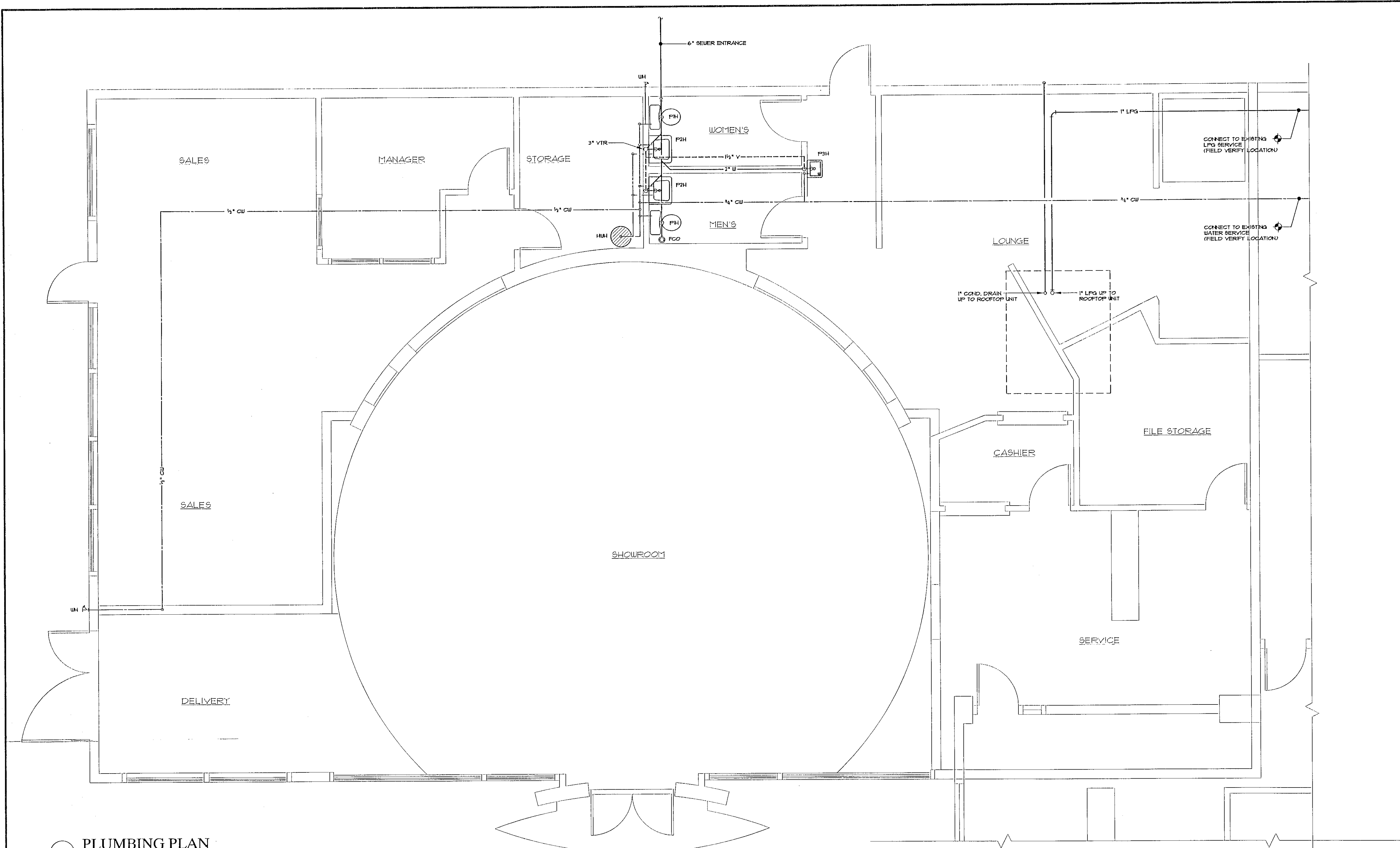
NOTES:

ARC MECHANICAL CONTRACTORS, INC.
PO BOX 724 • DEPOT STREET • BRADFORD, VERMONT 05033
TEL (802) 222-9255 • FAX (802) 222-5111 • arc@arcmech.com

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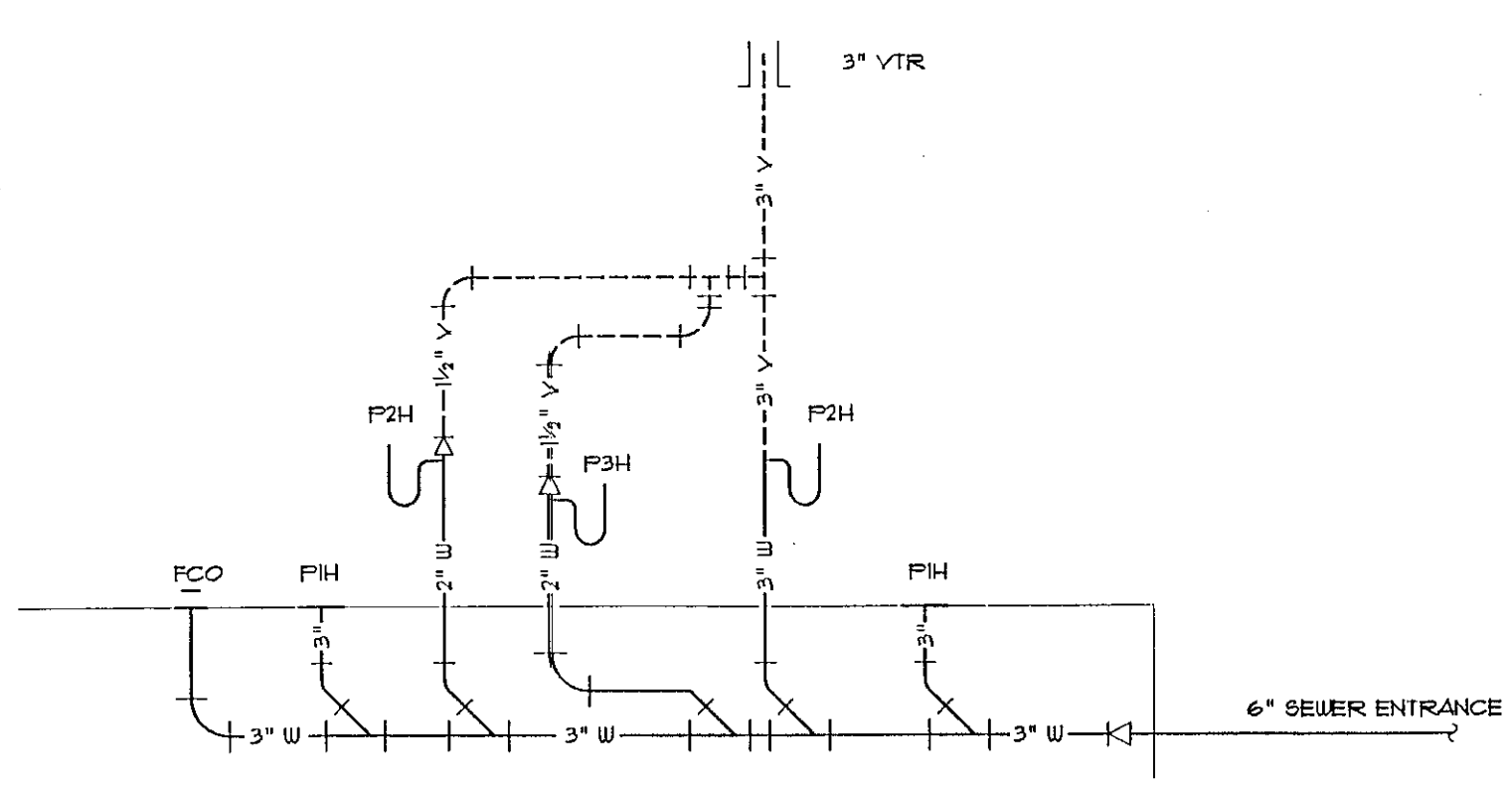
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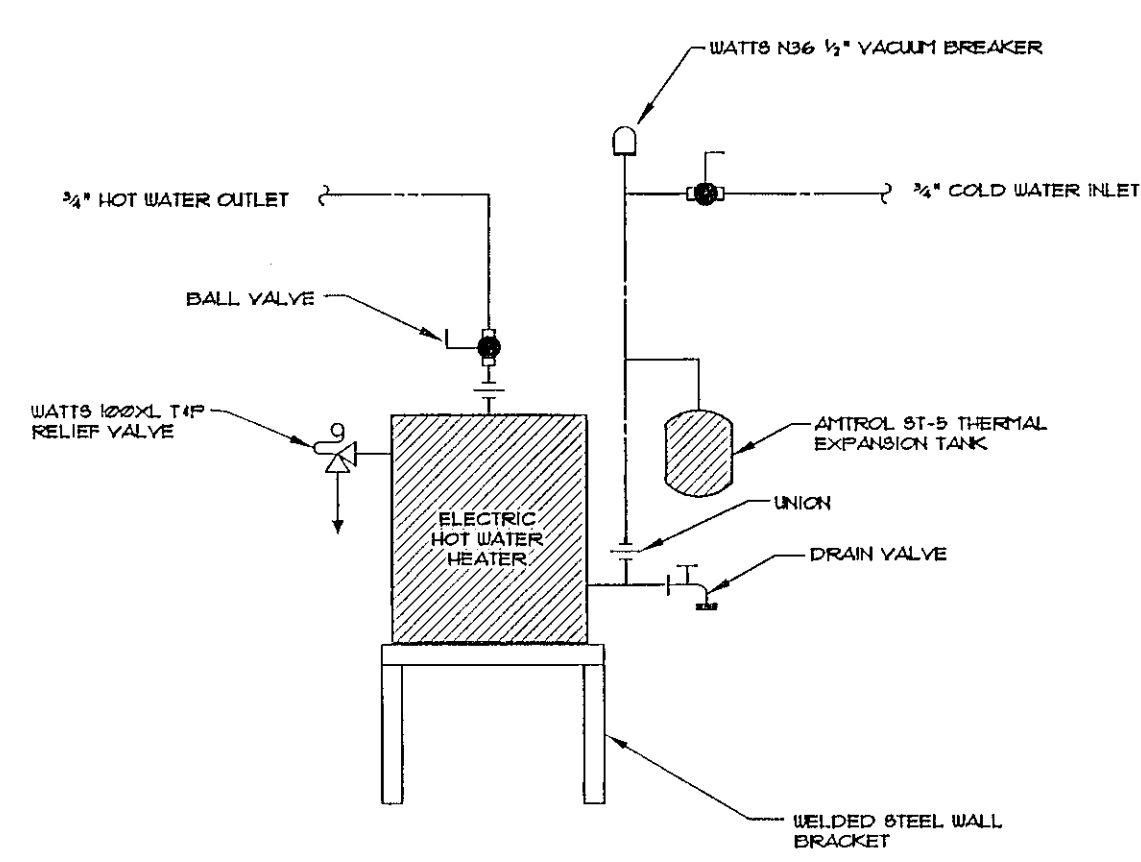


LEGEND	
SANITARY WASTE	— W —
SANITARY VENT	--- V ---
CONDENSATE DRAIN	— COND —
DOMESTIC COLD WATER	— CW —
DOMESTIC HOT WATER	— HW —
LP GAS	— LPG —
PIPE RISE	— o —
PIPE DROP	— o —
VENT THROUGH ROOF (VTR)	— VTR —
BALL VALVE	— BV —
WALL HYDRANT	— WH —
REDUCING COUPLING	— RC —
UNION	— U —
F-TRAP	— FT —
FLOOR CLEANOUT (FCO)	— FCO —
FLOOR DRAIN (FD)	— FD —

1 PLUMBING PLAN
1/4\"/>



2 SANITARY WASTE & VENT RISER DIAGRAM
NOT TO SCALE



3 WATER HEATER PIPING DETAIL
NOT TO SCALE

PIPE, FITTING & INSULATION SCHEDULE		
SERVICE	PIPE/FITTINGS	INSULATION
DOMESTIC COLD WATER (ABOVE GRADE)	ASTM B88 TYPE L COPPER TUBING HARD DRAIN W/BOUGHT COPPER FITTINGS AND GRADE 95TA SOLDER JOINTS.	1/2" WALL ASTM C541 GLASS FIBER INSULATION WALL SERVICE JACKET, FOLDED PVC FITTING COVERS WITH FIBERGLASS INSERTS.
DOMESTIC HOT WATER	ASTM B88 TYPE L COPPER TUBING HARD DRAIN W/BOUGHT COPPER FITTINGS AND GRADE 95TA SOLDER JOINTS.	1" WALL ASTM C541 GLASS FIBER INSULATION WALL SERVICE JACKET, FOLDED PVC FITTING COVERS WITH FIBERGLASS INSERTS.
SANITARY WASTE AND VENT	ASTM D2663 SCH 40 PVC PIPE WITH SOLVENT WELD SCH 40, DUV FITTINGS.	NOT INSULATED

FIXTURE SCHEDULE				
NUMBER	DESCRIPTION	CONNECTIONS		
		CW	HW	W
FIH	KOHLER K-3944 VITREOUS CHINA FLOOR MOUNTED, 16 GPF TOILET WITH 11½" HIGH ELONGATED BOWL. PROVIDE KOHLER K-4666-KC OPEN FRONT ELONGATED SEAT LENS COVER AND ½" x ¼" CHROME LOOSE KEY ANGLE STOP.	½"	-	3"
P2H	KOHLER K-123 20"x16½" VITREOUS CHINA WALL MOUNT LAVATORY WITH 4" G-C FAUCET & CONCEALED ARM DRILLING. PROVIDE WITH KOHLER K-19591-S SINGLE LEVER FAUCET, OPEN GRID DRAIN/STRAINER. ½"x¼" CHROME P-TRAP, (2) ½" x ¼" CHROME LOOSE KEY ANGLE STOPS, JR. 5/8" 1/2" FLOOR MOUNT CONCEALED ARM CARRIER AND TRUEBRO 1620 TRAP, DRAIN AND SUPPLY INSULATION KIT.	½"	½"	1½"
P3H	ELKAY EBPSA-6 WALL MOUNT, WHEELCHAIR ACCESSIBLE, REFRIGERATED WATER COOLER, PROVIDE WITH CHROME ¼"x¼" CHROME P-TRAP AND (2) ½" x ¼" CHROME LOOSE KEY ANGLE STOP.	½"	-	1½"
FCO	JR. 5/8" 1/2" FLOOR CLEANOUT WITH ADJUSTABLE ROUND NICKEL BRONZE TOP & BRONZE PLUG.	-	-	3"
WH	WOODFORD MODEL 25C-12 NON-FREEZE WALL HYDRANT WITH INTEGRAL VACUUM BREAKER, ½" IPS IPS FLANGED INLET.	½"	-	-
WH	AO 5/8" 1/2" DEL-20 ELECTRIC WATER HEATER, 20 GALLON CAPACITY, 20000 WATTS, 208 VOLTS, 1A.	¾"	¾"	-

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DATE: 8/15/21
CHECKED: GJG

NO. REVISION DATE

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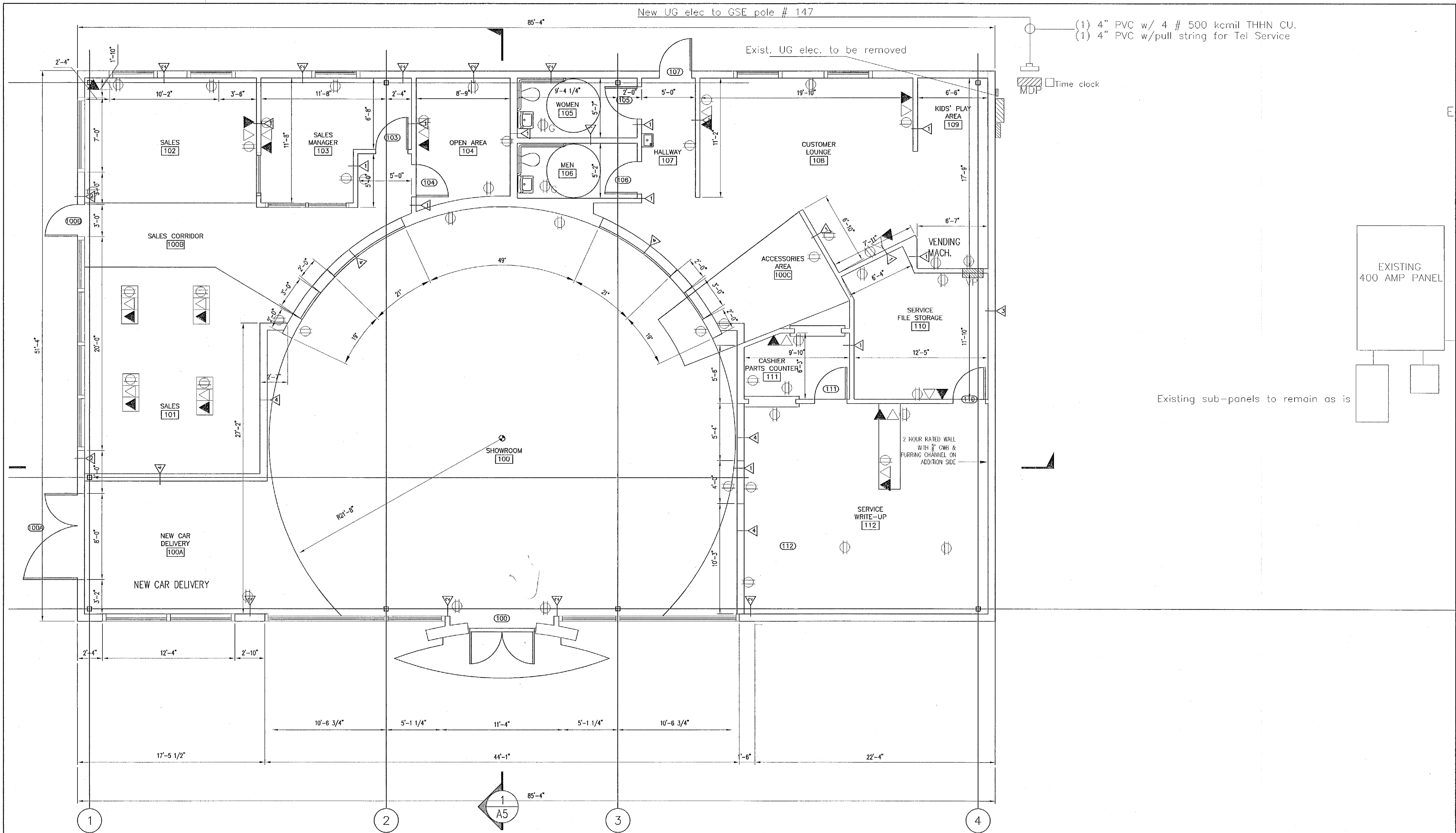
SECANT DESIGN
46 Pine Ridge Road • Sunapee, NH 03782
Ph: (603) 763-3129 • Fax: (603) 763-9902

MILLER YW
LEBANON, NH

PLUMBING PLAN SCHEDULES & DETAILS

ARC MECHANICAL CONTRACTORS, INC.
PO BOX 724 DEPOSIT STREET • BRADFORD, VERMONT 05033
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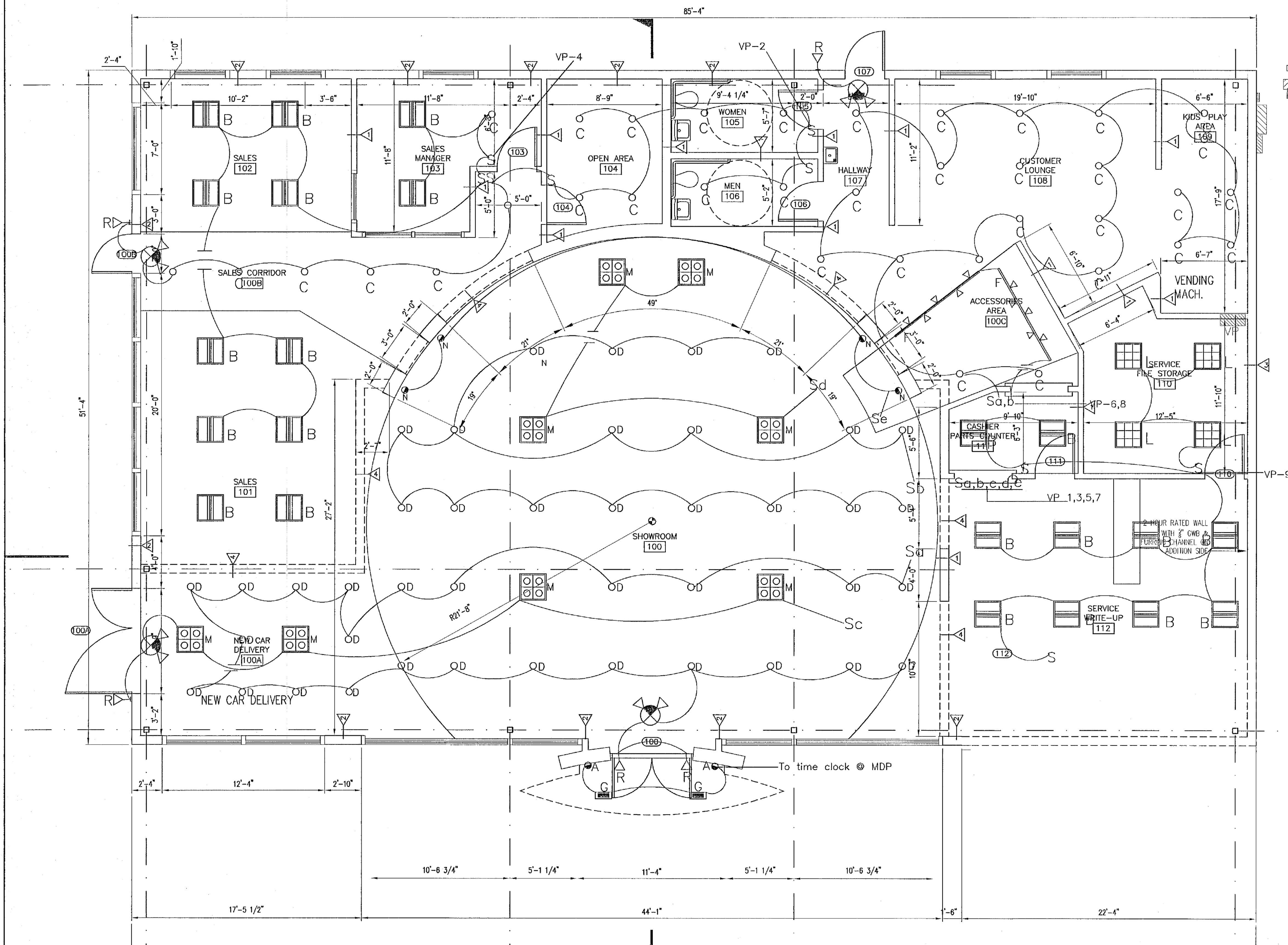
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DEFIANCE ELECTRIC
 COMMERCIAL • INDUSTRIAL
 86 CHOSEN VALE LANE
 ENFIELD, NH 03748
 603-632-4982
 603-540-4982

T.N.
 TRUMBULL-NELSON CONSTRUCTION CO., INC.
 200 LEBANON ST. P.O. BOX 1000
 HANOVER, NH 03755-1000
 TEL. (603) 643-3658 FAX (603) 643-2924
 e-mail address trumbullnelson@t-n.com

MILLER VOLKSWAGEN
 LEBANON, NEW HAMPSHIRE
 PROPOSED ADDITION
 POWER PLAN

DRAWN BY EJF DATE 08/20/01	DRAWING SCALE NOT TO SCALE PROJECT NO. E1
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1	DESIGN DRAWING SUBMITTAL	EJF	08/20/01

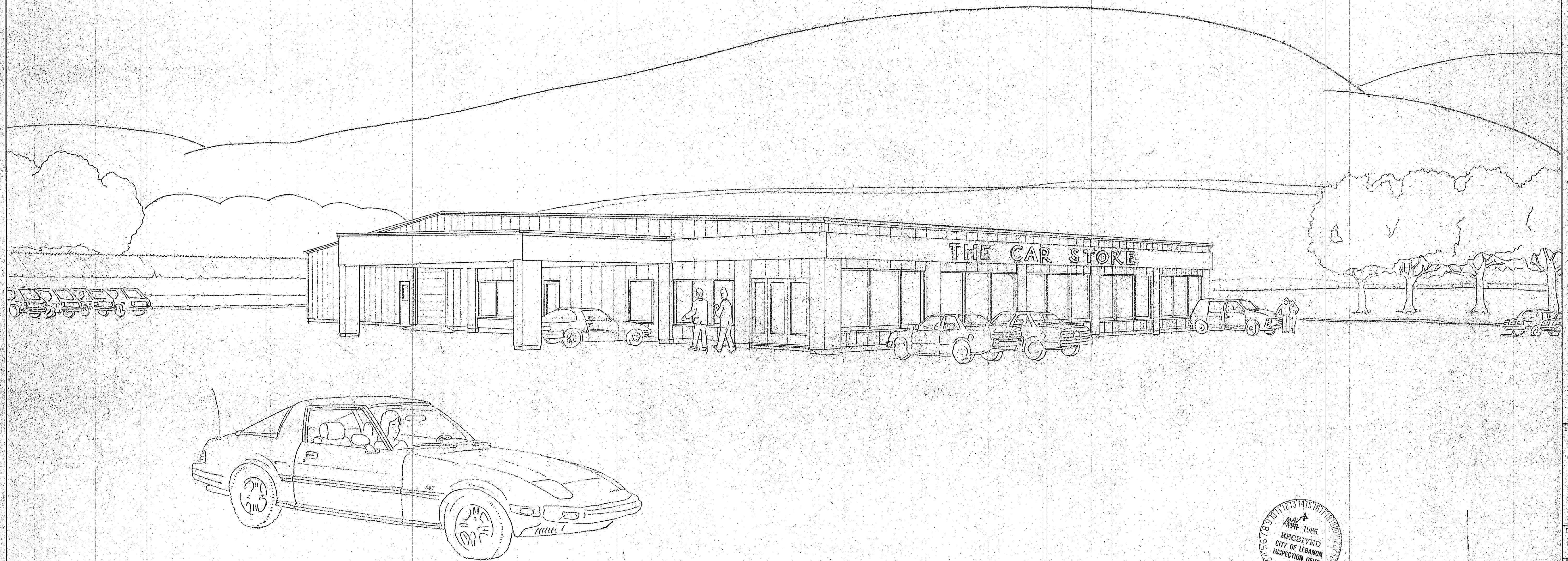
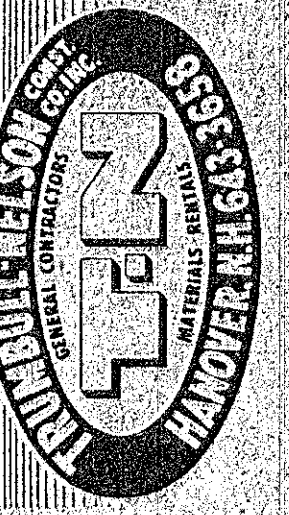
DEFIANCE ELECTRIC
COMMERCIAL • INDUSTRIAL
 86 CHOSEN VALE LANE
 ENFIELD, NH 03748
 603-632-4982
 603-540-4982

T·N
 TRUMBULL-NELSON CONSTRUCTION CO., INC.
 200 LEBANON ST. P.O. BOX 1000
 HANOVER, N.H. 03755-1000
 TEL. (603) 643-3658 FAX (603) 643-2924
 e-mail address trumbullnelson@t-n.com

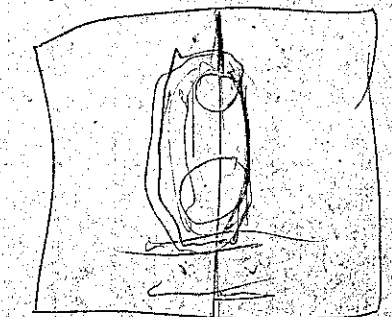
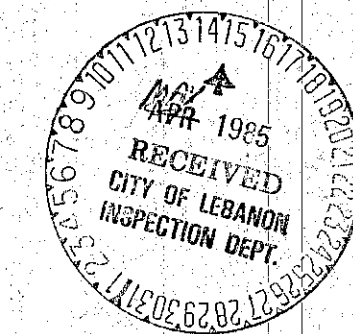
MILLER VOLKSWAGEN
LEBANON, NEW HAMPSHIRE
 PROPOSED ADDITION
 LIGHTING PLAN

Sheet 36

THE CAR STORE LEBANON, NH



*Storage Modest
Type 3 construction
Protected 1,550*



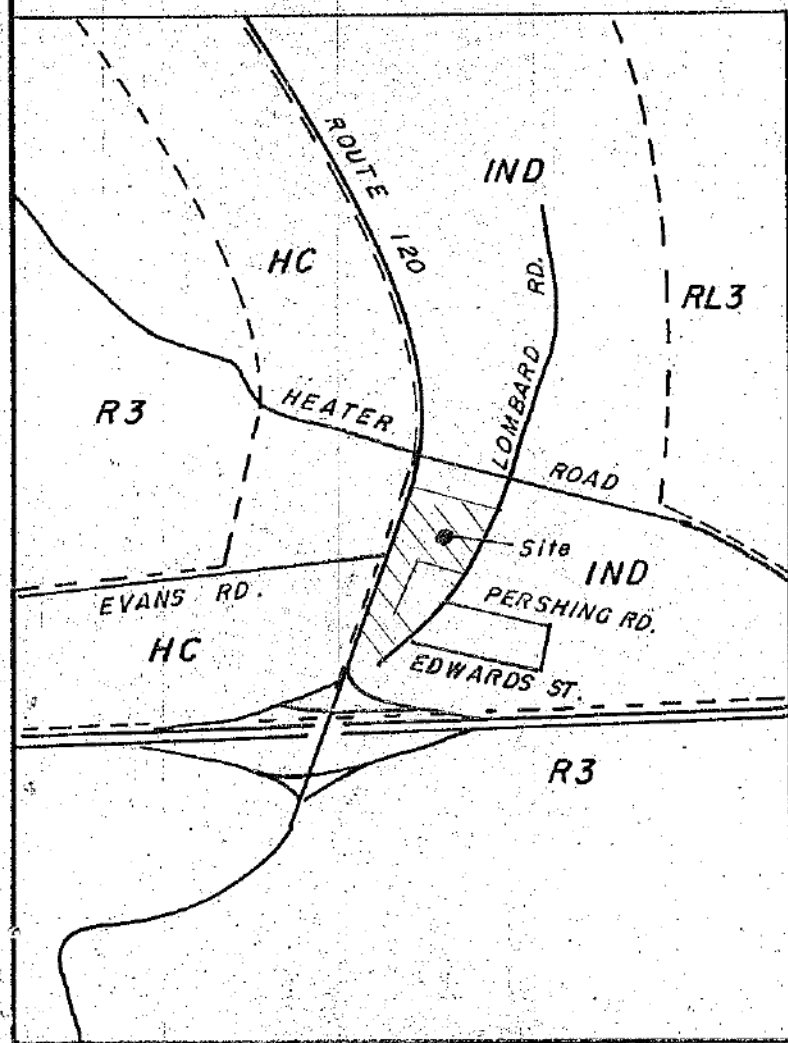
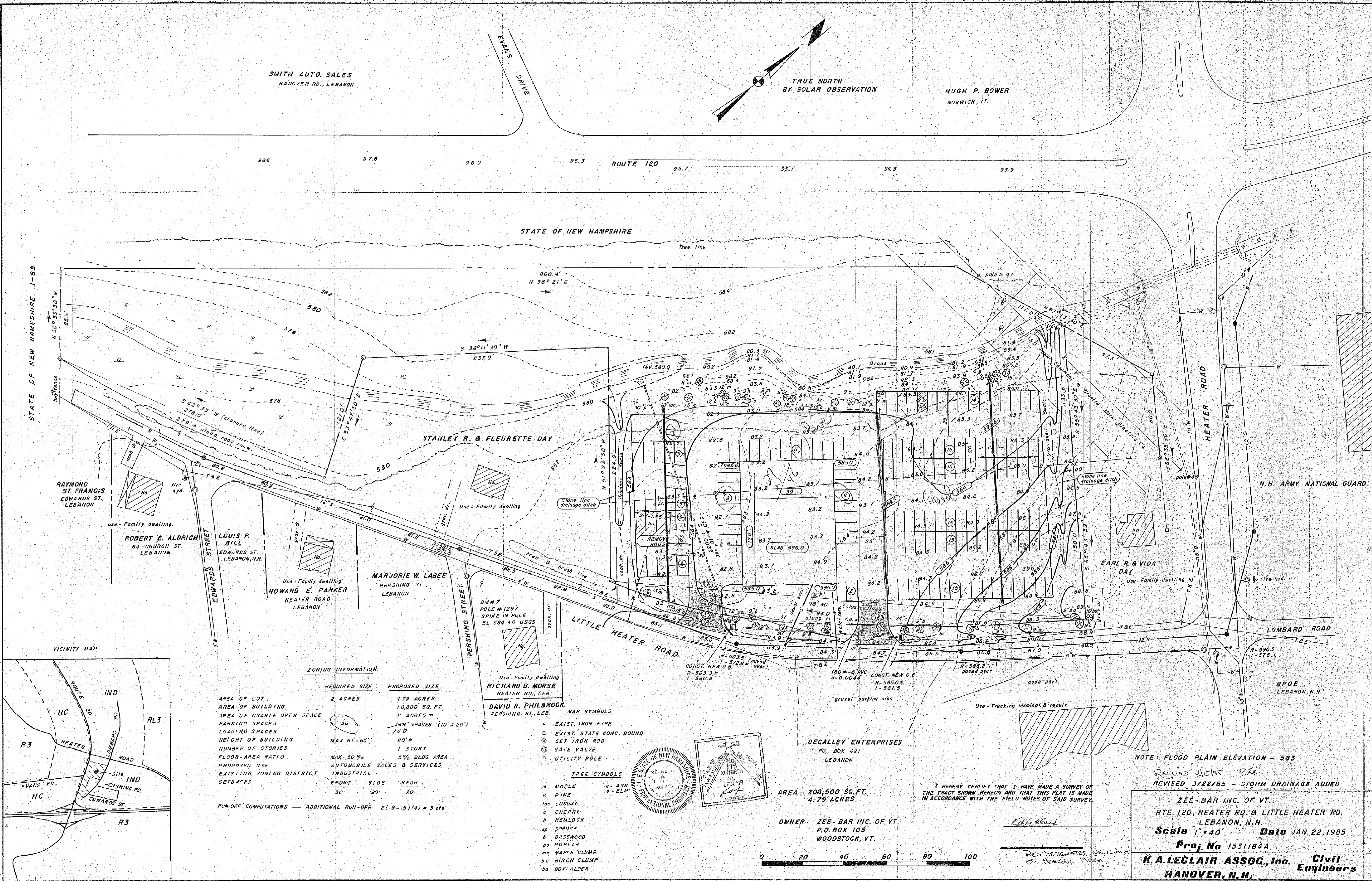
REVISIONS

DATE

SCALE

DRAWN BY:

SHEET NUMBER:

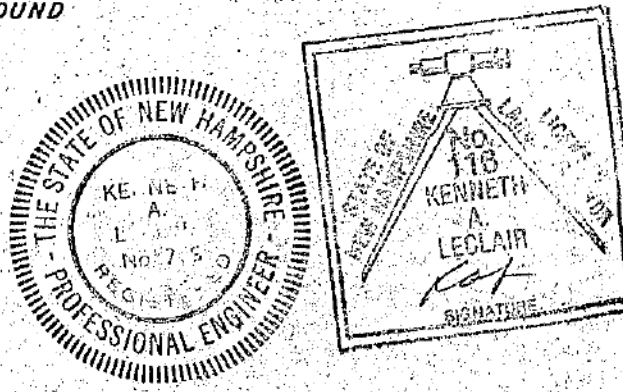


ZONING INFORMATION

	REQUIRED SIZE	PROPOSED SIZE
AREA OF LOT	2 ACRES	4.79 ACRES
AREA OF BUILDING		10,800 SQ. FT.
AREA OF USABLE OPEN SPACE		2 ACRES ±
PARKING SPACES	36	138 SPACES (10' X 20')
LOADING SPACES		100
HEIGHT OF BUILDING	MAX. HT. - 65'	20' ±
NUMBER OF STORIES		1 STORY
FLOOR-AREA RATIO	MAX. 50%	5% BLDG. AREA
PROPOSED USE		AUTOMOBILE SALES & SERVICES
EXISTING ZONING DISTRICT	INDUSTRIAL	
SETBACKS	FRONT 30 SIDE 20 REAR 20	

RUN-OFF COMPUTATIONS — ADDITIONAL RUN-OFF 2(.9-.5)(4) = 3 cfs

- MAP SYMBOLS**
- EXIST. IRON PIPE
 - EXIST. STATE CONC. BOUND
 - SET IRON ROD
 - GATE VALVE
 - UTILITY POLE
- TREE SYMBOLS**
- m MAPLE
 - p PINE
 - loc LOCUST
 - c CHERRY
 - e HEMLOCK
 - sp SPRUCE
 - b BASSWOOD
 - po POPLAR
 - mc MAPLE CLUMP
 - bc BIRCH CLUMP
 - ba BOX ALDER



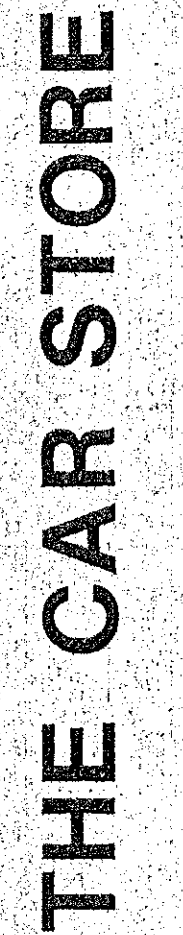
OWNER: ZEE-BAR INC. OF VT.
P.O. BOX 105
WOODSTOCK, VT.

NOTE: FLOOD PLAIN ELEVATION - 583

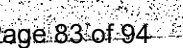
REVISOR 4/11/85 RAE
REVISED 3/22/85 - STORM DRAINAGE ADDED

I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE TRACT SHOWN HEREON AND THAT THIS PLAT IS MADE IN ACCORDANCE WITH THE FIELD NOTES OF SAID SURVEY.

ZEE-BAR INC. OF VT.
RTE. 120, HEATER RD. & LITTLE HEATER RD.
LEBANON, N.H.
Scale 1"=40' Date JAN 22, 1985
Proj. No 1531184A
K.A. LECLAIR ASSOC., Inc. Civil Engineers
HANOVER, N.H.

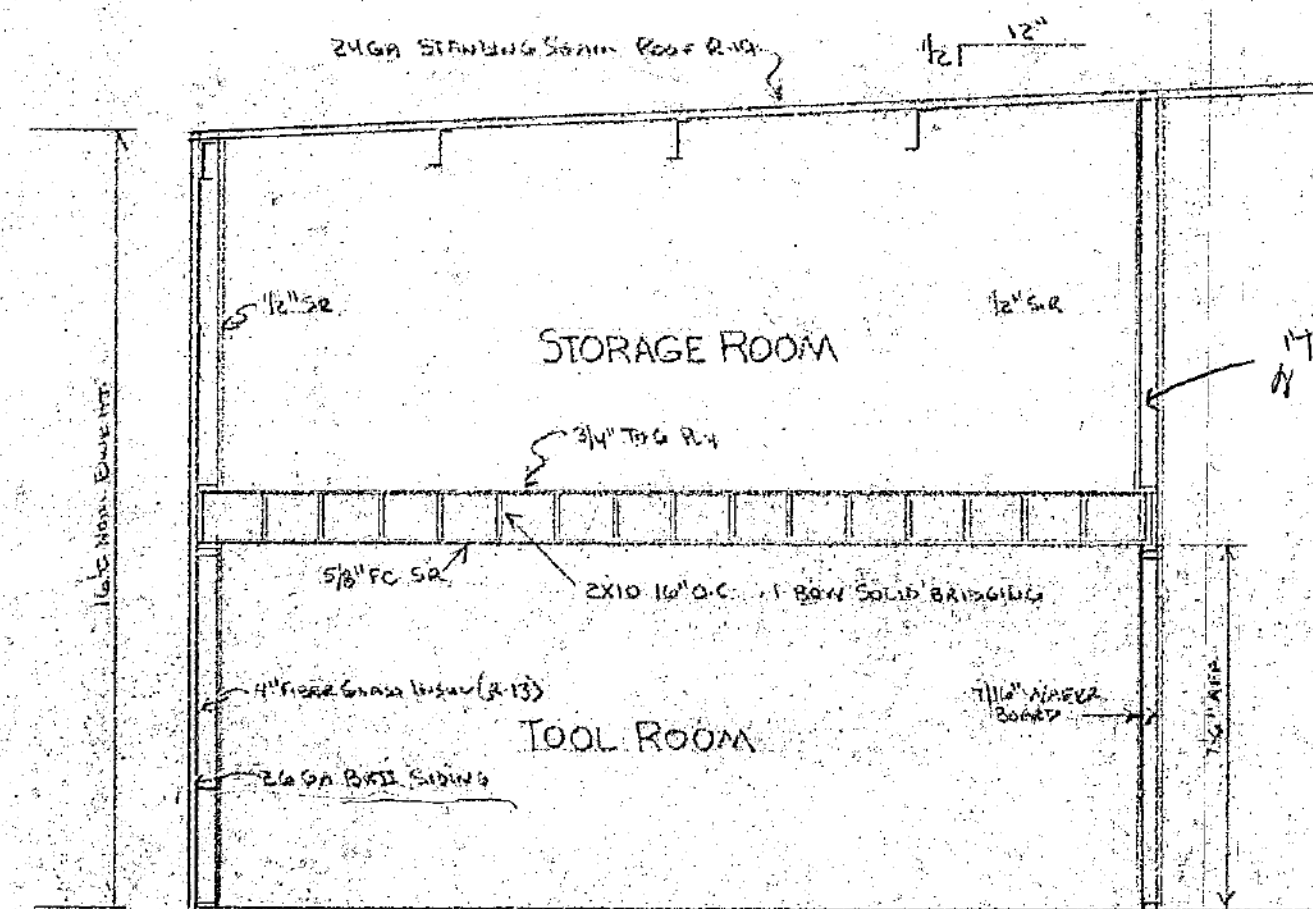


A 1

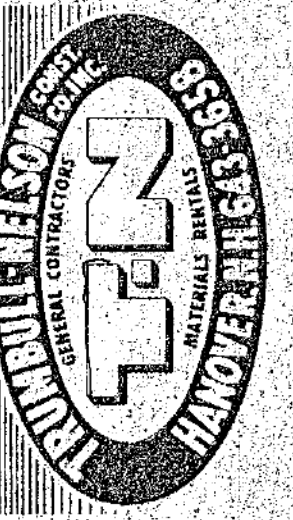
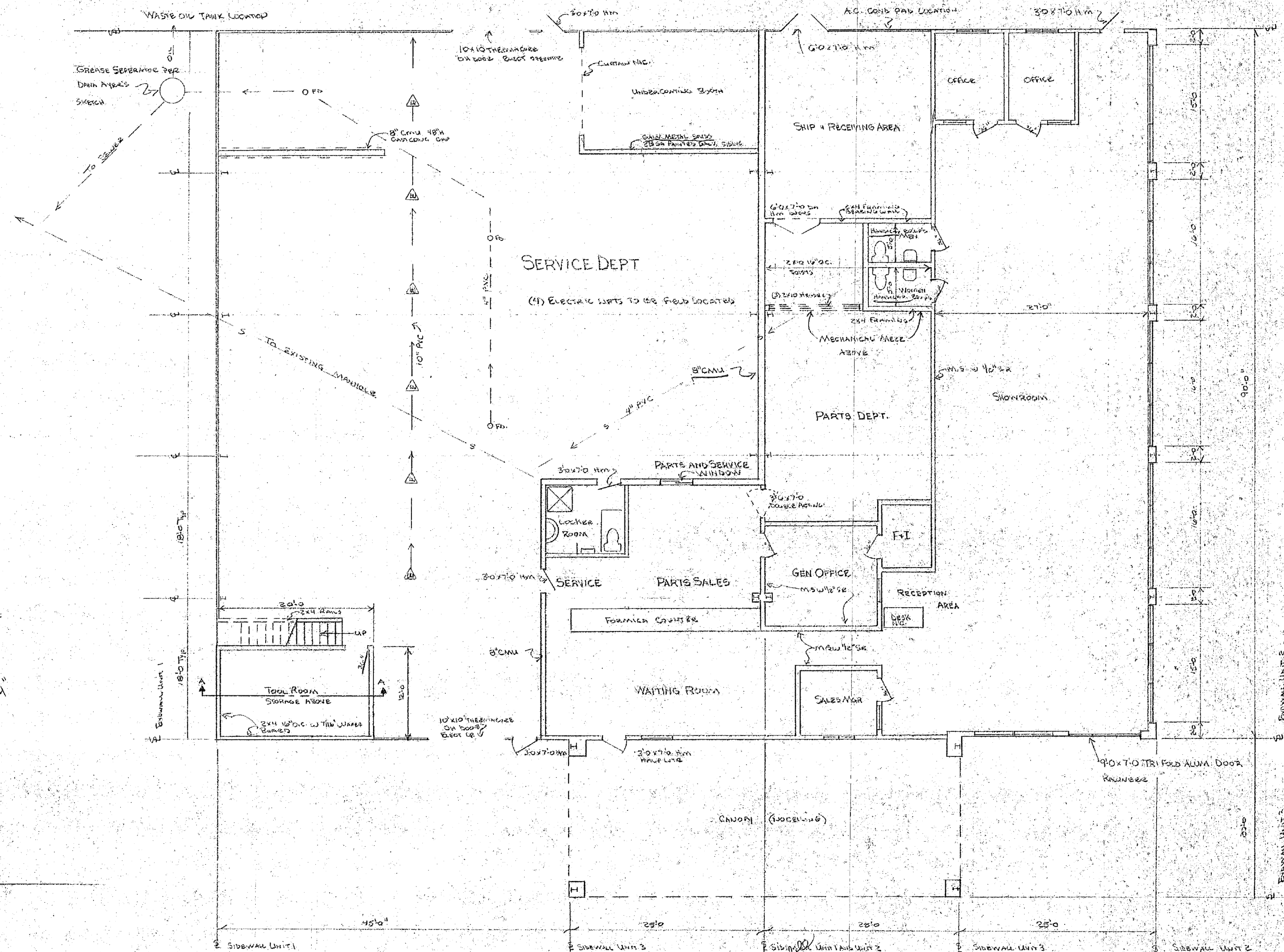


NOTES

Type - Non-Combustible Class 3
 Base Height - Service Station - 25'0" from 1st floor
 FD - Floor Drain
 S - Soil Pipe
 E - Exhaust Evacuation System
 Walls - Metal Stud w. G. Except where noted
 DESIGN DATA: Roof 50 lb/sf live load R-14
 Walls 20 lb/sf wind load R-13
 Cans 3000 lb/sf dead load



TOOL ROOM SECTION A-A
 14'0" x 11'0"



THE CAR STORE
 FLOOR PLAN
 LEBANON, N.H.

REVISIONS

DATE
 11/5/85

SCALE
 1/8" = 1'-0" OR AS NOTED

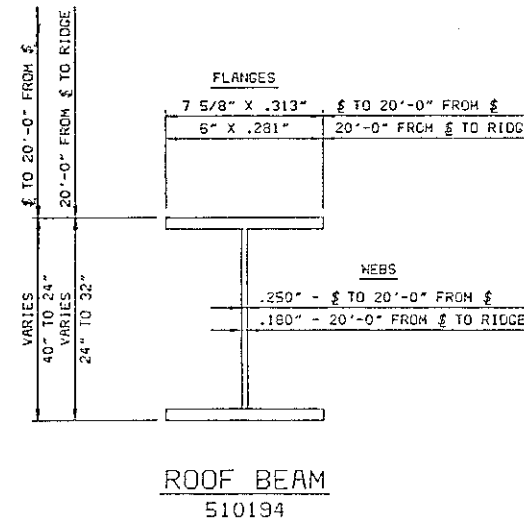
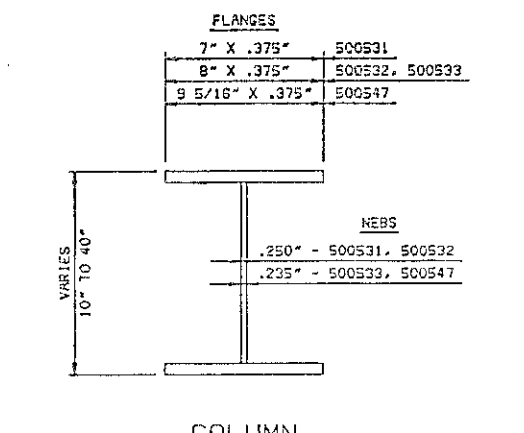
DRAWN BY
 RAB

SHEET NUMBER

A2

TYPE 3 Combustible
 PROTECTED to 11/5/85

10,800



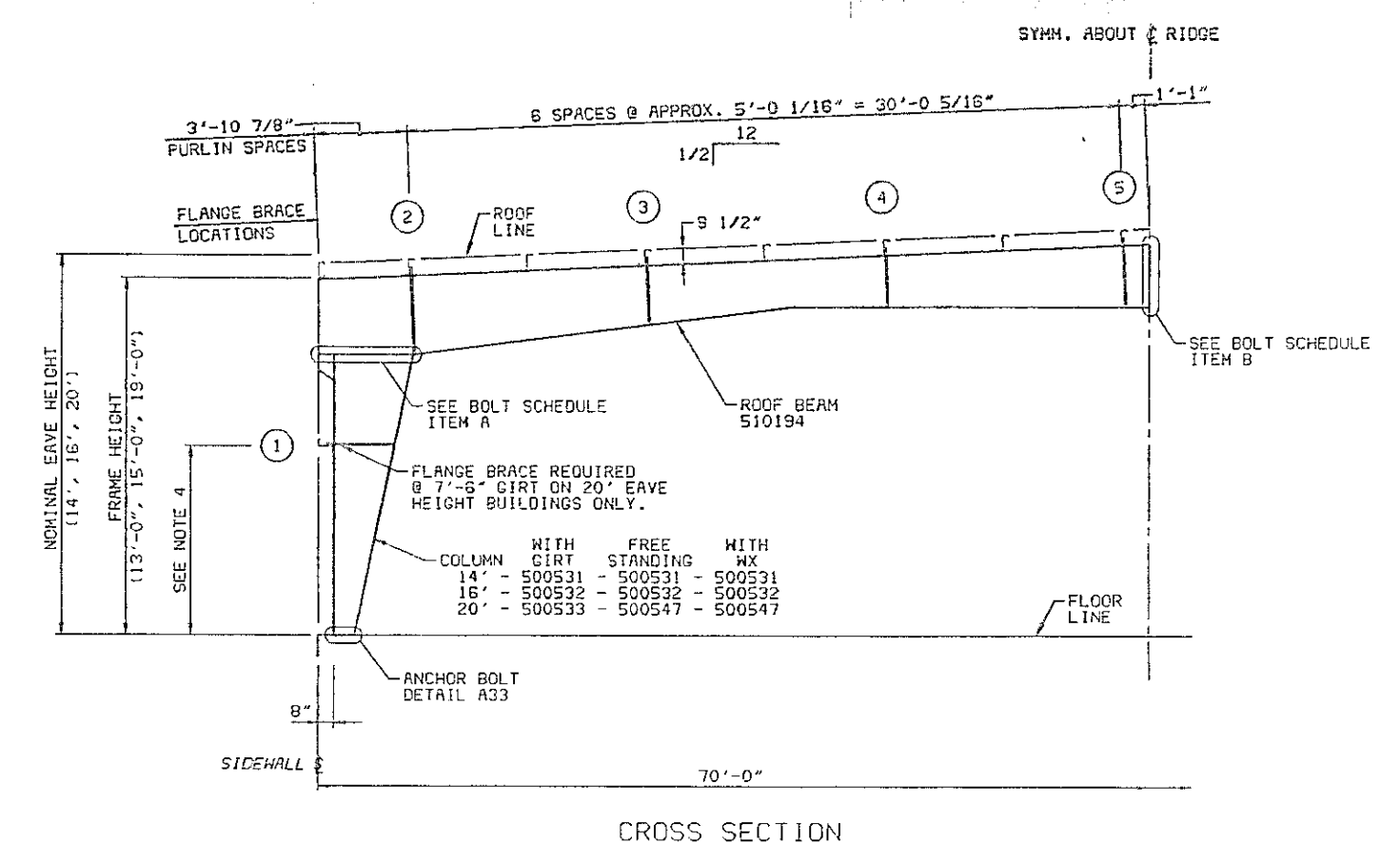
LIVE LOAD	WIND LOAD	CODE	FRAMES NOT COVERED
30	16	BBC	
	13	NORTH CAROLINA	
	27	SOUTH FLORIDA	
	33	SOUTH FLORIDA	
30/40	15	UBC	
	13	BBC	
	20	MBMA	
	25	MBMA	
40	20	UBC	
	25	UBC	
33*	20	WISCONSIN	
43*	20	WISCONSIN	

* INCLUDES 3 PSF WISCONSIN SERVICE LOAD (DEAD LOAD).

NOTE "A":
THESE FRAMES ARE APPLICABLE IN ADDITION TO THOSE LISTED IN THE "WIND LOAD APPLICATION SCHEDULE" FOR THE WIND LOADS INDICATED.

LIVE LOAD	EAVE HEIGHT	BAY LENGTH	WIND LOADS
30	14'	25'	27 SOUTH FLORIDA
	16'		33 SOUTH FLORIDA

DESIGN INFORMATION



ITEM	QUANTITY	BOLT CODE	DESCRIPTION	NUT CODE
A	8	097081	1" X 2 3/4"	095238
B	12	097078	3/4" X 2 1/2"	095235

NO.	CODE	DETAIL	DIM. "Y"
①	005685	23	2'-4 1/2"
②	005712	23	3'-4 1/2"
③	005726	22	3'-4 1/2"
④	005727	23	3'-10 1/2"
⑤	005728	22	3'-4 1/2"

- NOTES:
- \$ = STRUCTURAL LINE. THE EXTERIOR FACE OF THE STRUCTURALS TO WHICH THE PANELS ATTACH.
 - FOR MIXED BAYS, THE LONGEST BAY ADJACENT TO A FRAME DETERMINES THE FRAME TO BE USED.
 - ALL BOLTS ARE HIGH STRENGTH (A-325) WITH HEAVY HEX NUTS AND ARE TO BE INSTALLED USING THE "TURN-OF-NUT TIGHTENING" METHOD SPECIFIED IN THE AISC MANUAL.
 - FOR SIDEWALL GIRTS LOCATIONS SEE DRAWINGS:
D-107705 WIDESPAN SIDEWALL STRUCTURALS
D-107706 WIDESPAN SIDEWALL STRUCTURALS
D-107707 WIDESPAN SIDEWALL STRUCTURALS
D-107708 WIDESPAN SIDEWALL STRUCTURALS
D-107709 WIDESPAN SIDEWALL STRUCTURALS

LIVE LOAD	BAY LENGTH (NOTE 2)	30'	25'	20'
30	YES	NO	NO	NO
33	YES	YES	NO	NO
40	NO	YES	YES	YES
43.50	NO	NO	YES	YES

GROUP	DRAWING NUMBER	REV.
52-38	D 107688	01

THE DESIGN OF THIS STRUCTURE IS IN ACCORDANCE WITH AISC ENGINEERING PRACTICES AND FOR THE QUALITY CONTROL OF THE STRUCTURE.

PATENT APPLIED FOR

SEE FRAMING PLAN FOR DETAILS AND FOR THE LOCATION OF THE STRUCTURE.

Steelmark

LRF 1/2:12 70' CROSS SECTION

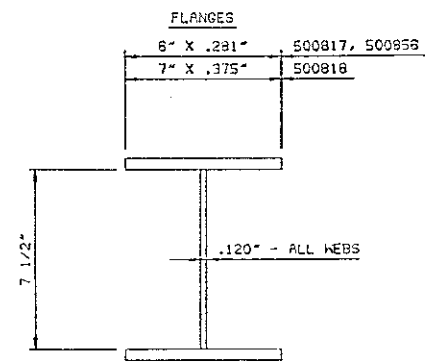
BUTLER

BUTLER MANUFACTURING COMPANY

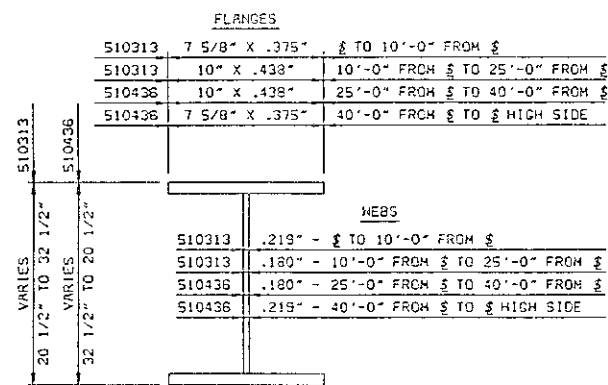
DATE: 07/18/90

DRAWING NUMBER: D 107688

REV.: 01



COLUMN

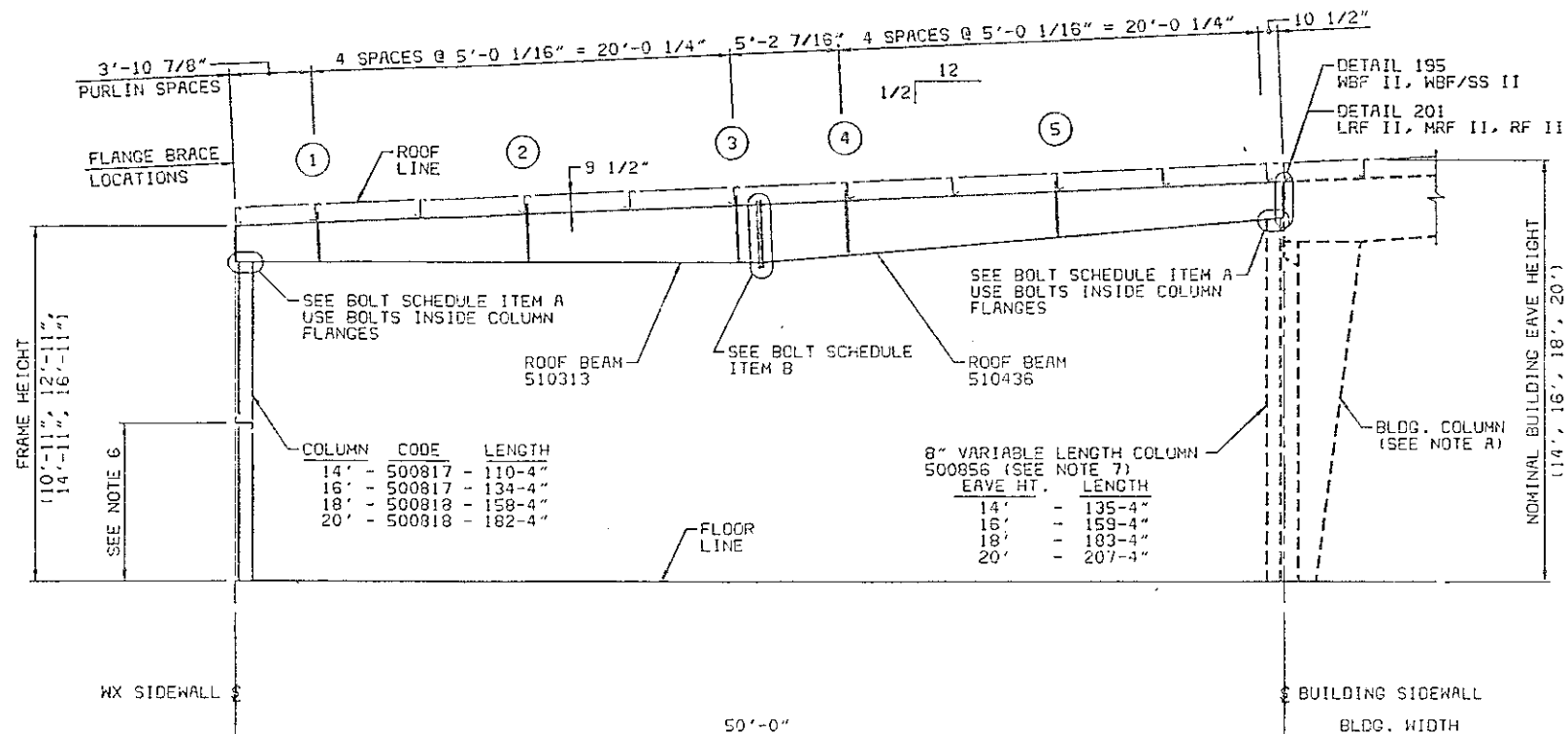


ROOF BEAM

WIND LOAD APPLICATION SCHEDULE			
LIVE LOAD	WIND LOAD	CODE	FRAMES NOT COVERED
30	18	BBC	
	13	NORTH CAROLINA	
	27	SOUTH FLORIDA	
	33	SOUTH FLORIDA	
30/40	15	UBC	
	13	BBC	
	20	MDMA	
	25	MDMA	
40	20	UBC	
	25	UBC	
	20	WISCONSIN	
	20	WISCONSIN	

* INCLUDES 3 PSF WISCONSIN SERVICE LOAD (DEAD LOAD).

DESIGN INFORMATION



CROSS SECTION

NOTE "A"
FOR MAIN BUILDING SIDEWALL COLUMN REQUIREMENTS
SEE THE FOLLOWING DRAWINGS:
LRF II (1/2:12) - SEE UPDATED CROSS SECTION DRAWING.
LRF II (1:12) - 12, 20 P.S.F. LL C-107412
25, 30, 40 P.S.F. LL C-104143
MRF II (1/2:12) - 12 P.S.F. LL C-105011
20 P.S.F. LL C-105012
25 P.S.F. LL C-104144
30, 40, 50 P.S.F. LL C-104145
RF II (4:12) - 12 THRU 50 P.S.F. LL C-105743
MRF II (1:12) - 25, 30, 40 P.S.F. LL C-104146
HBF II (1/2:12) - SEE UPDATED CROSS SECTION DRAWING.
DOUBLE SLOPE
HBF II (1/2:12) - SEE UPDATED CROSS SECTION DRAWING.
SINGLE SLOPE

BOLT SCHEDULE (SEE NOTE 3)				
ITEM	QUANTITY	BOLT CODE	DESCRIPTION	NUT CODE
A	4	097115	1" X 3"	095238
B	16	097078	3/4" X 2 1/2"	095235

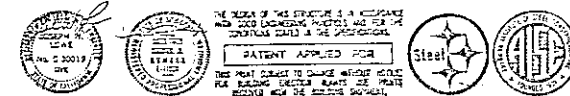
FLANGE BRACE SCHEDULE			
NO.	CODE	DETAIL	DIM. "Y"
①	005675	22	1'-10 1/2"
②	005654	23	2'-10 1/2"
③	005709	22	3'-4 1/2"
④	005749	22	3'-4 1/2"
⑤	005686	23	2'-4 1/2"

NOTES:

1. \$ = STRUCTURAL LINE. THE EXTERIOR FACE OF THE STRUCTURALS TO WHICH THE PANELS ATTACH.
2. FOR MIXED BAYS, THE LONGEST BAY ADJACENT TO A FRAME DETERMINES THE FRAME TO BE USED.
3. ALL BOLTS ARE HIGH STRENGTH (A-325) WITH HEAVY HEX NUTS AND ARE TO BE INSTALLED USING THE "TURN-OF-NUT TIGHTENING" METHOD SPECIFIED IN THE AISC MANUAL.
4. ALL 8" VARIABLE LENGTH COLUMNS MAY USE "ALTERNATE LOCATION" SHOWN ON DRAWING C-107093.
5. ALL COLUMNS ARE FOR 7'-6" GIRT, FREE STANDING, AND WX II ADDITION.
6. FOR SIDEWALL GIRT LOCATIONS SEE DRAWINGS:
D-107953 WIDESPAN SIDEWALL STRUCTURALS
D-107954 WIDESPAN SIDEWALL STRUCTURALS
D-107955 WIDESPAN SIDEWALL STRUCTURALS
D-107956 WIDESPAN SIDEWALL STRUCTURALS
D-107957 WIDESPAN SIDEWALL STRUCTURALS
7. COLUMN REQUIRED AT HIGH SIDE OF WX WHEN ATTACHING TO LRF II, MRF II, AND RF II ONLY.

FRAME USAGE TABLE			
LIVE LOAD	BAY LENGTH (NOTE 2)		
	30'	25'	20'
30, 33	YES	NO	NO
40, 43	NO	YES	YES
50	NO	NO	YES

GROUP 52-39 DRAWING NUMBER D 1080018 REV. 02



WX II
1/2:12

50' CROSS SECTION

BUTLER
MANUFACTURING
COMPANY

DATE 01/01/81
GROUP 52-39

DRAWING NUMBER D 1080018 REV. 02

TRUMBULL-NELSON
CONSTR. CO., INC.
Box 1000 200 Lebanon St.
HANOVER, NH 03755

LETTER OF TRANSMITTAL

(603) 643-3658

TO

Przemyslaw Wilius

DATE <u>5/3/85</u>	JOB NO.
ATTENTION	
RE: <u>THE CAP STORE</u>	

WE ARE SENDING YOU ☐ Attached ☐ Under separate cover via _____ the following items:

- | | | | | |
|---|---------------------------------------|--------------------------------|----------------------------------|---|
| ☐ Shop drawings | ☐ Prints | ☐ Plans | ☐ Samples | ☐ Specifications |
| ☐ Copy of letter | ☐ Change order | ☐ _____ | | |

COPIES	DATE	NO.	DESCRIPTION
2			REVISED FLOOR PLANS
2			BUILDING SECTION AND EAVE DETAIL
1			REVISED REMBRAND PLAN

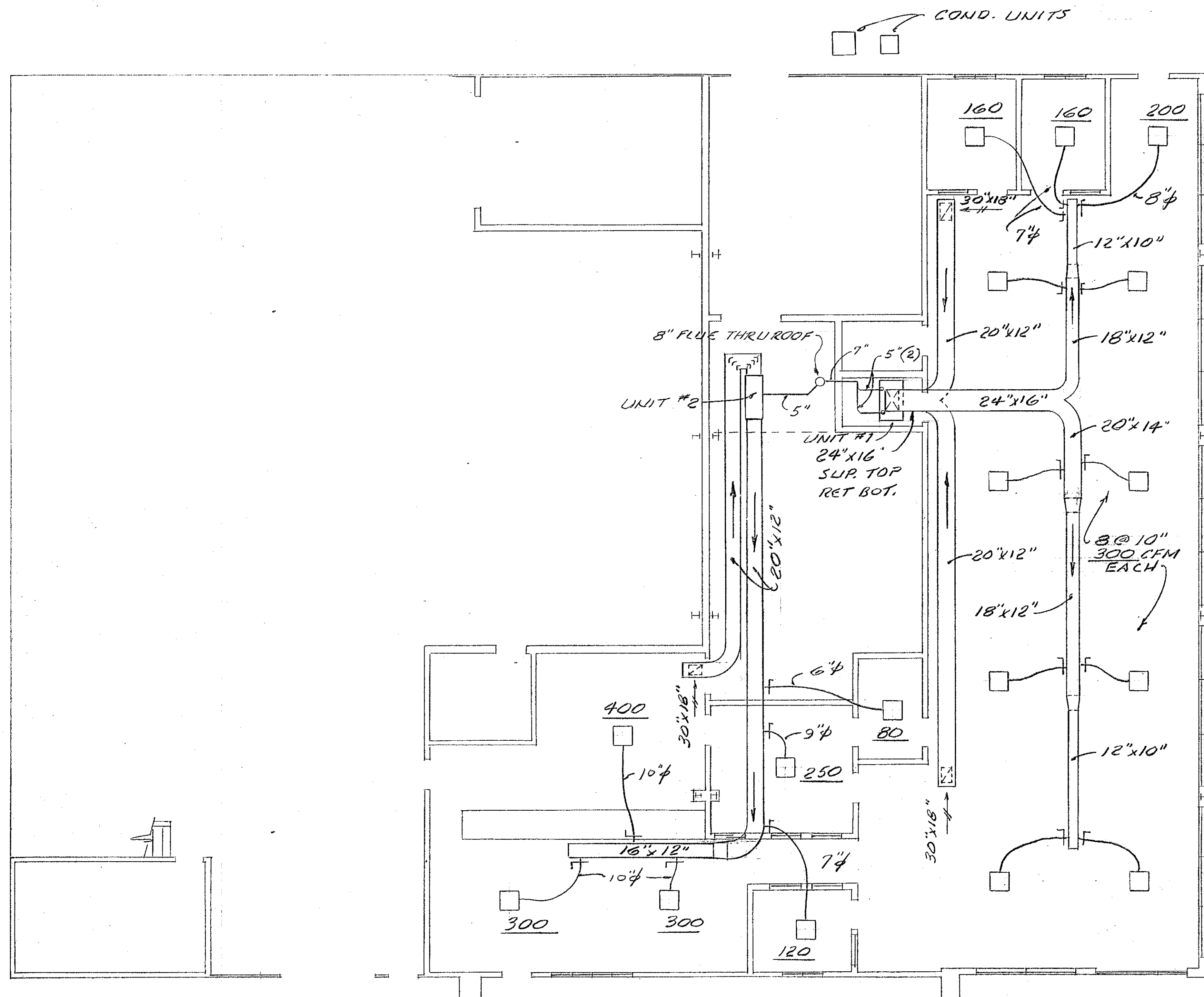
THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---|---|
| ☐ For approval | ☐ Approved as submitted | ☐ Resubmit _____ copies for approval |
| ☐ For your use | ☐ Approved as noted | ☐ Submit _____ copies for distribution |
| ☐ As requested | ☐ Returned for corrections | ☐ Return _____ corrected prints |
| ☐ For review and comment | ☐ _____ | |
| ☐ FOR BIDS DUE _____ 19 _____ ☐ PRINTS RETURNED AFTER LOAN TO US | | |

REMARKS

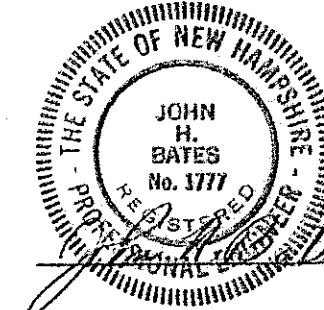
Form - PLEASE REVIEW THESE DRAWINGS I
THINK YOU WILL FIND THEM IN ORDER. I HAVE
NOTED THAT ALL WOOD FRAMING WILL BE FIRE
RETARDANT TREATED & PROVIDED WITH U.L. LABELS
ALSO ANY RECOMMENDATIONS OF THE FIRE DEPT
HAVE BEEN INCLUDED. PLEASE FORWARD 1 COPY TO
(A WALTER) TO CONFIRM ALL REASONS.
I AM SORRY IF THE SPEED THAT THIS JOB
DEVELOPED CAUSED YOU ANY INCONVENIENCE. I WILL
PROVIDE YOU WITH MORE THOROUGHLY RESEARCHED DATA IN
COPY TO the future

SIGNED: Tom Brown

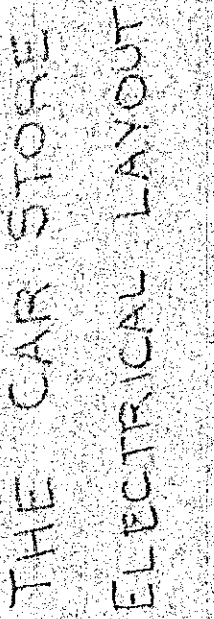


NOTES:

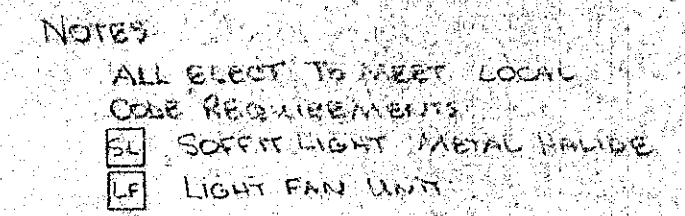
1. UNIT #1 - LENNOX G81-220 7/8 TON SPLIT SYSTEM
2. UNIT #2 - " GS11Q3-80 7/3 TON SPLIT SYSTEM
3. SUPPLY DIFFS - H&C HVS.
4. FUEL TO BE LPG.

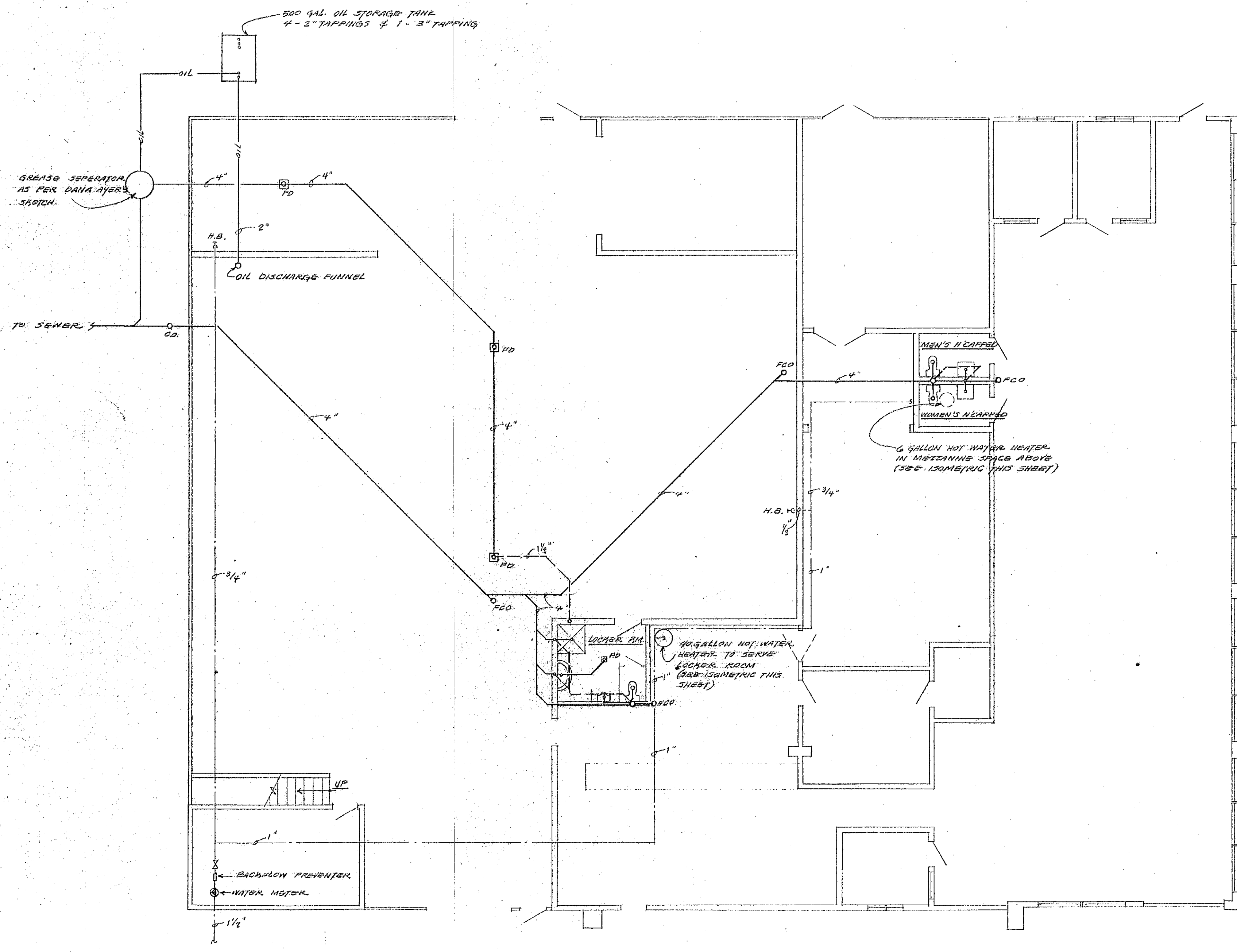


SHEET TITLE		PROJECT NO.
HVAC PLAN		8515
SALES - OFFICES - SHOWROOM		SCALE
		1/8" = 1'-0"
DATE		5-23-85
PROJECT		DRAWN BY
THE CAR STORE		J.H.B.
LEBANON, N.H.		CHECKED BY
		J.C.
DRAWING NO.		
JOHN H. BATES & ASSOCIATES		
Consulting Engineers		
Lane Road		
CHICHESTER, NEW HAMPSHIRE 03263		
(603) 798-5431		
		M-1
		1 OF 1 SHTS

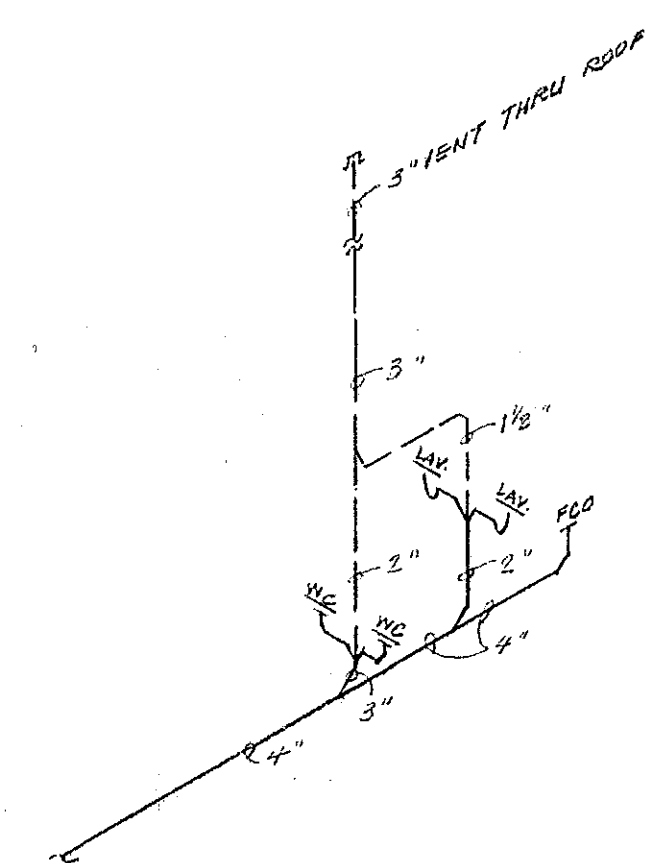


E1

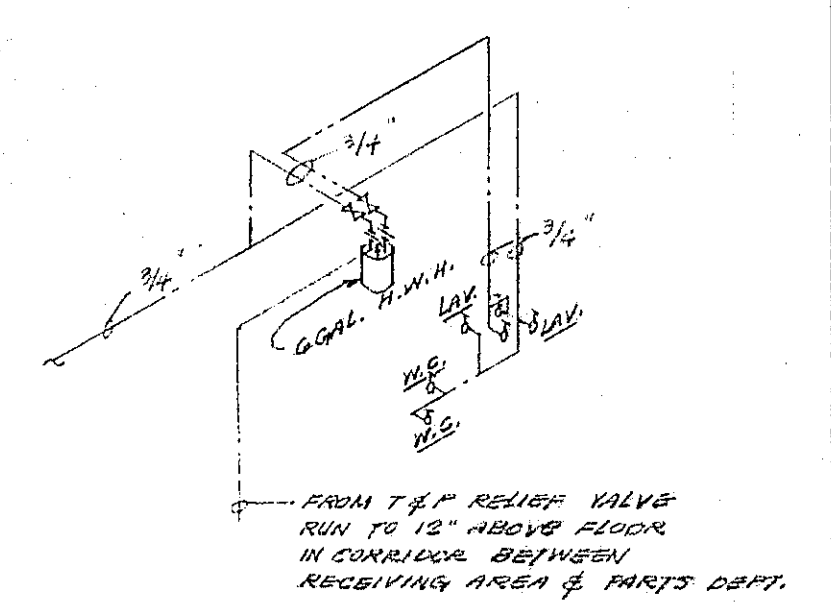




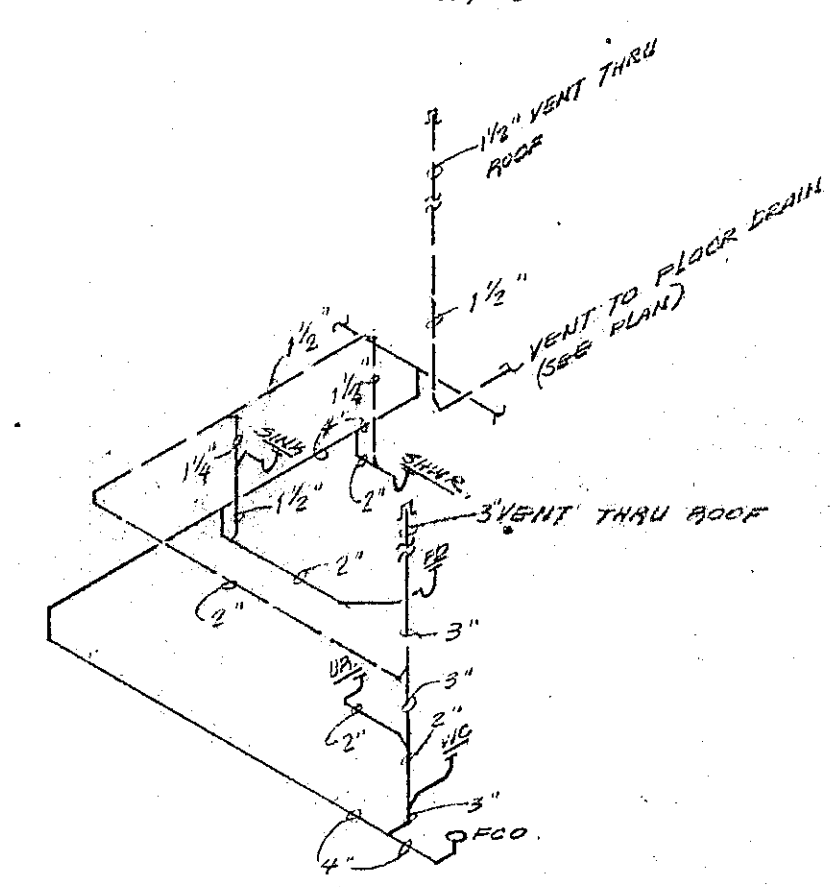
FIRST FLOOR PLAN
1/8" = 1'-0"



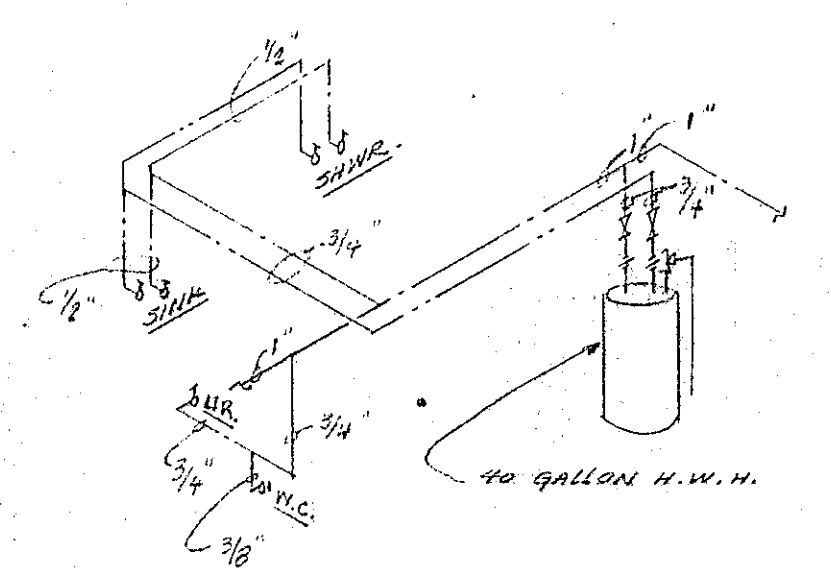
DWV HANDICAPPED RESTROOMS ISOMETRIC
N.T.S.



DOM. WATER HANDICAPPED RESTROOMS
N.T.S.



DWV LOCKER ROOM ISOMETRIC
N.T.S.



DOM. WATER LOCKER ROOM ISOMETRIC
N.T.S.

- LEGEND**
- SANITARY WASTE PIPE
 - OIL- OIL WASTE PIPE
 - COLD WATER PIPE
 - HOT WATER PIPE
 - FD FLOOR DRAIN
 - OFCD FLOOR CLEANOUT
 - CO CLEANOUT
 - H.B. HYDRANT W/ BACKFLOW PREVENTER
 - VENT PIPE

THE CAR STORE
LEBANON, NEW HAMPSHIRE

REVISIONS:

DATE:
APRIL 13, 1985

SCALE:
AS INDICATED

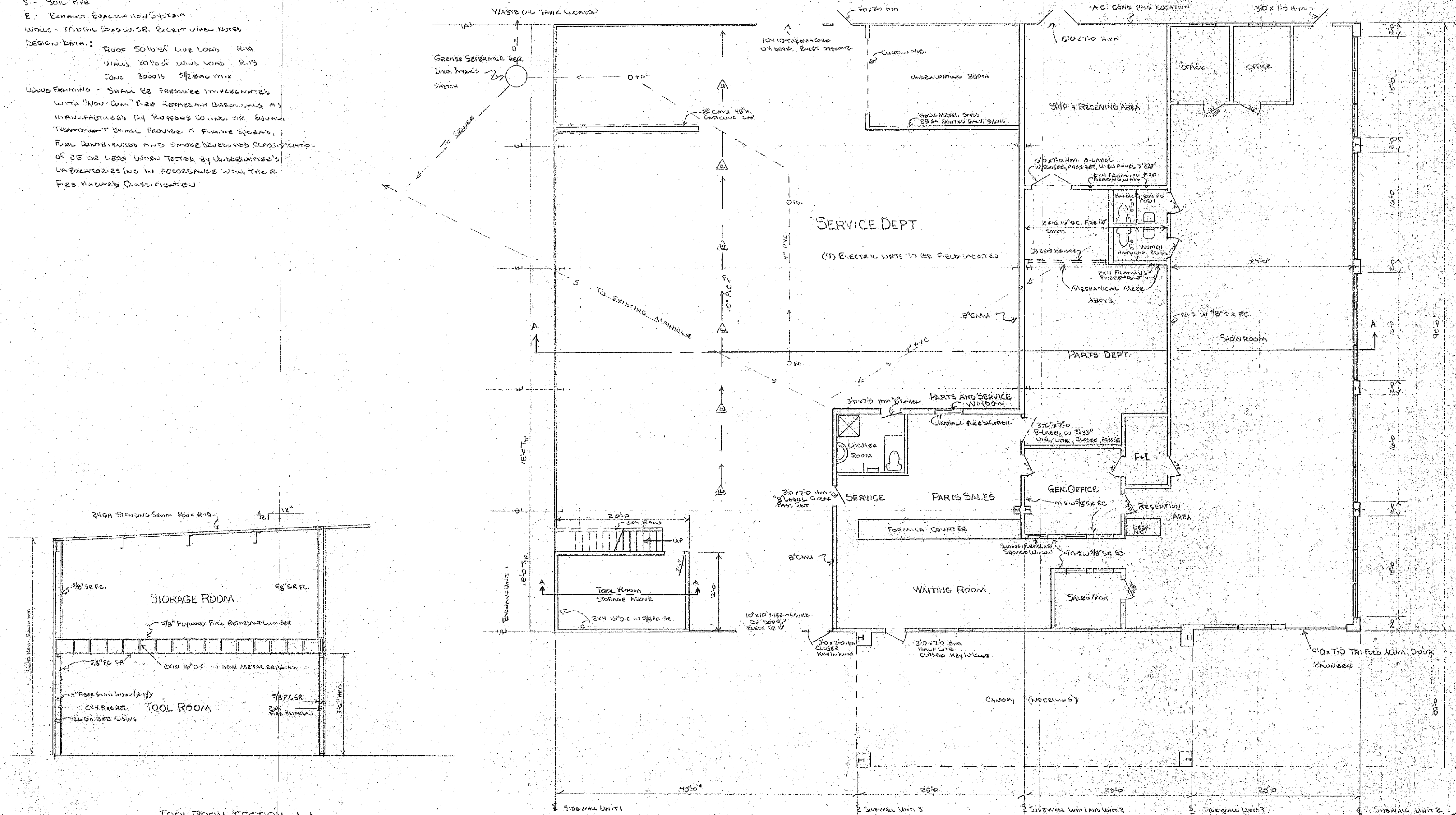
DRAWN BY:
- LDP

SHEET NO.

P-1

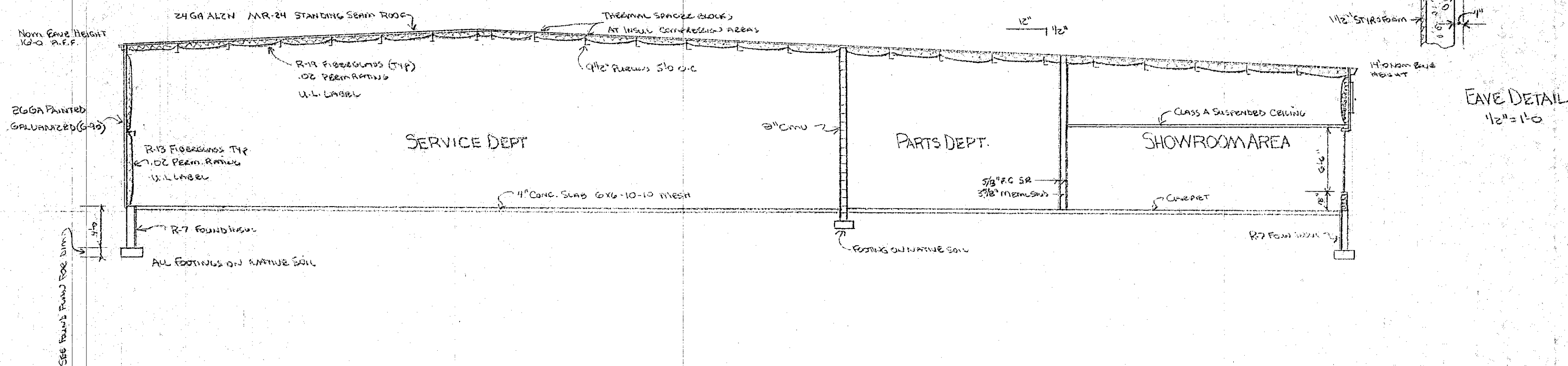
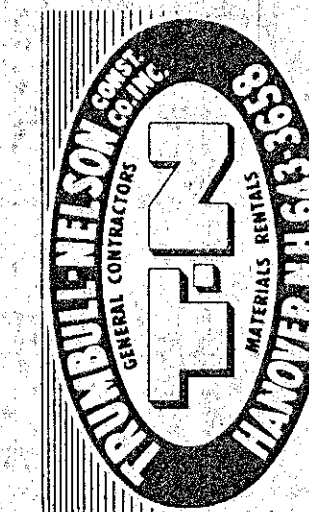
NOTES

Type - Non-Combustible Class 3
 Edge Height - Service 14'0" Min. Standard 14'0" Min.
 FD - Floor Drain
 S - Soil Pipe
 E - Exhaust Evacuation System
 Walls - Interior Stud 2x4 SR. Except where noted
 Design Data:
 Roof 50 lbs/sf live load R-14
 Walls 20 lbs/sf wind load R-13
 Cans 3000 lb 5/8" mix
 Wood Framing - Shall be pressure impregnated
 with "Non-Com" Preservative according to
 manufacturers by Koppers Company or equal.
 Treatment shall provide a flame spread
 fuel contribution and smoke developed classification
 of 25 or less when tested by Underwriters
 Laboratories Inc. in accordance with their
 fire hazard classification.



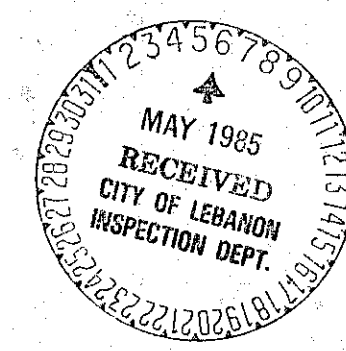
TOOL ROOM SECTION A-A
 1/4" = 1'-0"





SECTION A-A 1/8"=1'-0"

EAVE DETAIL
1/2"=1'-0"



REVISIONS

DATE

5/3/85

SCALE

AS SHOWN

DRAWN BY:

RAB

SHEET NUMBER:

A4

