



**LEBANON PEDESTRIAN AND BICYCLIST ADVISORY
COMMITTEE
JUNE 2, 2026 - 7:00 PM
COUNCIL CHAMBERS, CITY HALL OR
REMOTE VIA VIRTUAL PLATFORM
LEBANONNH.GOV/LIVE**

1. Call to Order

- A. To participate in this meeting, please [join live via Microsoft Teams](#) or call 929-229-5356 (access code: 814 049 381#). If you have trouble accessing this meeting, please [email Catheryn Hembree](#).

2. Approval of Minutes

- A. May 5, 2026

3. Open to the Public

4. Study Items

- A. Review of Planning Board application:

Stewart's Shops Corp (applicant and property owner) and EB Realty II, LLC (property owner), 97 N Main Street (Tax Map 72, Lot 30) and 99 N Main Street (Tax Map 72, Lot 31), zoned CB: Request for Site Plan Review per Section 3.1.D of the Site Plan Review Regulations to demolish the existing structures on the subject properties and construct a +/-4,500 sq. ft. retail/convenience store and a vehicular refueling station with four (4) fuel dispenser islands with an overhead canopy, together with associated site improvements. **PB2026-29-SPR**

- B. Review and Discussion of Site Plan Review Regulations with Councilor Kellen Appleton

- C. Police Report Presentation with Alan Schnur

5. Other Business

- A. Updates from Other Boards

- Planning and Development
- Planning Board
- City Council
- Police Reports
- Mascoma River Greenway Coalition
- Class VI Roads
- Communications Plan

6. Future Agenda Items

7. Adjournment

The order of agenda items is subject to change.

Meetings are open for in-person and remote attendance. Members of the public who wish to attend remotely may do so by going to LebanonNH.gov/Live where you will find instructions on how to enter the meeting. Members of the public will be able to participate and ask questions through the City's virtual platform or by phone. Please note: Should technical difficulties occur during the meeting that disrupt virtual or phone connection(s), the meeting will continue without remote access capabilities.

Any person with a disability who wishes to attend this public meeting and needs additional accommodation, please contact the ADA coordinator at City Hall by calling 603-448-4220 at least 72 hours in advance so that the City can make any necessary arrangements.

1 **DRAFT**

2 Lebanon Pedestrian-Bicyclist Advisory Committee
3 Remote Via Microsoft Teams
4 Lebanonnh.gov/Live
5 Tuesday, May 5, 2026
6 7:00 PM

7
8 Members Present: Colin Smith (Chair), Sean Dittrich (Vice Chair), Erling Heistad, Marie
9 McCormick, Tim Gilbert, Trenton Meckenstock, Kellen Appleton,
10 Lynnette Madsen, Alan Schnur (Alt), and Ben Swanson (Alt).
11 Members Absent: Jared Toon (Alt)
12 Staff Present: Catheryn Hembree (Associate Planner)

- 13
14 **1) CALL TO ORDER**
15 **2) APPROVAL OF MINUTES**

16
17 *A MOTION to approve the minutes of April 7, 2026 as amended was made by*
18 *Councilor Appleton. Seconded by Ms. McCormick.*
19 **The vote on the Motion was passed unanimously.*

- 20
21 **3) OPEN TO THE PUBLIC**

22
23 None at this time.

- 24
25 **4) STUDY ITEMS**

26 Chair Smith arrived at the meeting at 7:40PM

27 **A) Discussion Re Planning Board Application: DEW Properties, LLC (applicant),**
28 **City of Lebanon (property owner), 14, 28 and 30 Main Street (Tax Map 72, Lots**
29 **83, 84 and 88), zoned CBD: Applicant request a conceptual review per Section**
30 **4.3.B of the Site Plan Review regulations of a proposed 32-unit residential**
31 **development and possible commercial space on the first floor. PB2026-26-CON**

32
33 Ms. Hembree gave a summary of the project and what the Pedestrian Bicyclist
34 Advisory Committees role was when reviewing a conceptual design. Mr.
35 Meckenstock shared with the Committee some alternative designs he created that
36 would create an entrance from Church Street W. and maximize the storefronts along
37 Main Street. The Committee agreed there needed to be a dedicated pedestrian path
38 from Main Street to Church Street. Ms. Hembree asked about increased traffic
39 through residential streets if the access to the parking lot is from Church Street. After
40 discussions, the Committee felt the commercial parking would be on Main Street

41 since the revitalization efforts created more on street parking. Mostly residents would
42 be parking in the rear lot. The Committee agreed that this is a great project, especially
43 with the West Lebanon revitalization efforts that have been in the works. Ms.
44 McCormick brought up there was not defined pedestrian access to the playground and
45 kids would be running through the parking lot to access it. A walkway should be
46 added. The next site plan needs to show the required bicycle parking, and the
47 Committee highly encourages covered parking. It would be nice to have E-Bike
48 charging stations for residents. Mr. Schnur recommended a dedicated pedestrian
49 crossing through the parking lot. Councilor Appleton explained the Site Plan Review
50 Regulations and what elements would be shown on a formal application, such as bike
51 parking. Mr. Meckenstock agreed to write the Pedestrian-Bicyclist Advisory
52 Committee recommendations to the Planning Board.

53

54 **B) Site Plan Review Regulations**

55

56 Councilor Appleton shared a presentation with the Committee about the Site Plan
57 Review Regulations, the Planning Board's efforts to revise them, and the Pedestrian
58 Bicyclist Advisory Committee role in the effort. The Committee should look at
59 relevant sections and make recommendations on improvements. Vice-Chair Dittrich
60 stated this effort would take more than one meeting and should be added to the next
61 month's agenda. The Committee agreed. Chair Smith asked about the timeline to get
62 comments to the Planning Board. Councilor Appleton stated it was a continuous
63 effort. Mr. Swanson asked about the revision process. Councilor Appleton explained
64 the Site Plan Review Regulation Subcommittee would make recommendations to the
65 Planning Board. The Planning Board would make appropriate edits then hold a public
66 hearing. After the Public Hearing the Planning Board would vote to formally adopt
67 them.

68

69 **C) Ways to Go Update**

70

71 Ms. Hembree stated the Bike to School/Curb Your Car Day event has been postponed
72 due to potential rain. The event was supposed to be Wednesday, May 6th but was
73 moved to Friday, May 8th. If any Committee member wished to volunteer, they would
74 be meeting at Colburn Park at 6:30AM Friday morning to set up and give snacks to
75 the students from HSS and LMS participating in the Bike to School Event. Ms.
76 McCormick stated there would be coffee and breakfast starting around 7am for adults
77 participating in Curb Your Car Day.

78

79 **5) OTHER BUSINESS**

80

81 Councilor Appleton stated the sale of the Main Street parcels mentioned in the Concept
82 Review was an agenda item at the next City Council meeting on May 6th. Council had
83 also approved the grant match for the sidewalk construction on Mechanic Street.

84
85 Mr. Schnur noted that, for the month of March, there were zero crashes involving either a
86 pedestrian or a bicyclist. This leads to a total of one for the year to date, compared to
87 three from the beginning of 2025 to March of 2025. He stated he was working on a crash
88 data presentation. Ms. Hembree stated dedicated agenda time would be given next month
89 to his presentation.

90

91 **6) FUTURE AGENDA ITEMS**

92

93 Ms. Hembree stated that she wished to have an update on the Complete Streets Policy to
94 share with Committee.

95

96 **7) ADJOURNMENT**

97

98 *A MOTION was made by Mr. Meckenstock to adjourn the meeting. Seconded by Mr.*
99 *Gilbert.*

100 **The vote on the Motion was approved unanimously.*

101

102 **The meeting was adjourned at 8:30PM.**

**CITY OF LEBANON
APPLICATION FOR**

SPECIAL EXCEPTION	<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN REVIEW
VARIANCE	<input type="checkbox"/>	<input type="checkbox"/>	SUBDIVISION
MOTION FOR REHEARING	<input type="checkbox"/>	<input type="checkbox"/>	LOT LINE ADJUSTMENT
APPEAL OF AN ADMIN. DECISION	<input type="checkbox"/>	<input type="checkbox"/>	CONDITIONAL USE PERMIT

OTHER _____

PROPERTY OWNER (APPLICANT):

NAME: Stewart's Shops Corp. TEL.#: [REDACTED]

MAILING ADDRESS: [REDACTED]

E-MAIL ADDRESS: [REDACTED]

CO-APPLICANT, AGENT, OR LESSEE:

NAME: Stewart's Shops Corp. TEL.#: [REDACTED]

MAILING ADDRESS: [REDACTED]

E-MAIL ADDRESS: [REDACTED]

PROJECT LOCATION:

TAX MAP #: 05120 LOT#: 72 PLOT #: 30 ZONE: CBD

STREET ADDRESS OF PROJECT: 97 North Main St

IS THIS PROPERTY LOCATED IN THE: WETLANDS YES NO HISTORIC DISTRICT YES NO
 FLOOD PLAIN YES NO

SCOPE OF PROJECT:

Stewart's will purchase the property at 99 North Main St and will raze that property. After which it will construct a new building. When the building is complete the existing store razed for new gas installation

TYPE OF OCCUPANCY:

EXISTING VACANT ONE FAMILY TWO FAMILY MULTI-FAMILY COMMERCIAL INDUSTRIAL
 PROPOSED VACANT ONE FAMILY TWO FAMILY MULTI-FAMILY COMMERCIAL INDUSTRIAL
 IF USE IS COMMERCIAL OR INDUSTRIAL, PLEASE NOTE SPECIFIC
 USE: Convenience store with gasoline filling

SIGNATURE BLOCK:

FOR PLANNING BOARD APPLICATIONS ONLY: I, the undersigned, hereby submit this application on the date noted below with the knowledge and understanding that the Planning Board shall determine if the submitted application is complete according to its regulations at its next regularly scheduled meeting on May 11, 2026, unless I personally request, in writing, that the Board delay its determination of completeness to a later date.

PROPERTY OWNER: Chris Mall DATE: 4/7/26

NOTE: IF, AS OWNER, YOU WISH TO DESIGNATE AN AGENT TO ACT ON YOUR BEHALF, PLEASE READ THE FOLLOWING AND SIGN BELOW: I hereby designate the person listed above as my agent for the purpose of procuring the necessary local permits for the proposed work as described herein. Representations made by my agent may be accepted as though made by me personally, and I understand that I am bound by any official decision made on the basis of such representation.

PROPERTY OWNER: _____ DATE: _____

DATE RECEIVED	FILE # (MAP/LOT)	APPLICATION #	
2026-05-11	72-30 and 72-31 PB	2026-29-SPR	[REDACTED]

**CITY OF LEBANON
APPLICATION FOR**

SPECIAL EXCEPTION	<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN REVIEW
VARIANCE	<input type="checkbox"/>	<input type="checkbox"/>	SUBDIVISION
MOTION FOR REHEARING	<input type="checkbox"/>	<input type="checkbox"/>	LOT LINE ADJUSTMENT
APPEAL OF AN ADMIN. DECISION	<input type="checkbox"/>	<input type="checkbox"/>	CONDITIONAL USE PERMIT

OTHER _____

PROPERTY OWNER (APPLICANT):

NAME: EB Realty II [REDACTED]

MAILING ADDRESS: [REDACTED]

E-MAIL ADDRESS: [REDACTED]

CO-APPLICANT, AGENT, OR LESSEE:

NAME: Stewart's Shops Corp. TEL.#: [REDACTED]

MAILING ADDRESS: [REDACTED]

E-MAIL ADDRESS: [REDACTED]

PROJECT LOCATION:

TAX MAP #: 05120 LOT#: 72 PLOT #: 31 ZONE: CBD

STREET ADDRESS OF PROJECT: 99 Main St

IS THIS PROPERTY LOCATED IN THE: **WETLANDS** YES NO **HISTORIC DISTRICT** YES NO
FLOOD PLAIN YES NO

SCOPE OF PROJECT:

Stewart's will purchase the property at 99 North Main St and will raze that property. After which it will construct a new building. When the building is complete the existing store razed for new gas installation

TYPE OF OCCUPANCY:

EXISTING VACANT ONE FAMILY TWO FAMILY MULTI-FAMILY COMMERCIAL INDUSTRIAL
 PROPOSED VACANT ONE FAMILY TWO FAMILY MULTI-FAMILY COMMERCIAL INDUSTRIAL
 IF USE IS **COMMERCIAL** OR **INDUSTRIAL**, PLEASE NOTE **SPECIFIC**
 USE: Convenience store with gasoline filling

SIGNATURE BLOCK:

FOR PLANNING BOARD APPLICATIONS ONLY: I, the undersigned, hereby submit this application on the date noted below with the knowledge and understanding that the Planning Board shall determine if the submitted application is complete according to its regulations at its next regularly scheduled meeting on _____, 20____, unless I personally request, in writing, that the Board delay its determination of completeness to a later date.

PROPERTY OWNER: [Signature] DATE: 4/7/2026

NOTE: IF, AS OWNER, YOU WISH TO DESIGNATE AN AGENT TO ACT ON YOUR BEHALF, PLEASE READ THE FOLLOWING AND SIGN BELOW: I hereby designate the person listed above as my agent for the purpose of procuring the necessary local permits for the proposed work as described herein. Representations made by my agent may be accepted as though made by me personally, and I understand that I am bound by any official decision made on the basis of such representation.

PROPERTY OWNER: _____ DATE: _____

DATE RECEIVED	FILE # (MAP/LOT)	APPLICATION #	FEE - \$ AMOUNT	DATE PAID	VOUCHER #



May 11, 2026

Mr. Tim Corwin, AICP
Deputy Director of Planning and Development
City of Lebanon
51 North Park St
Lebanon, NH 03766

Mr. Corwin,

Stewart's Shops is a convenience store chain based out of Saratoga Springs, New York. Our company is a family and employee owned business located in the "upstate" portion of New York. In 2024, we purchased the assets of Jolley a convenience store chain based out of St. Albans, Vermont.

Jolley operated the Mobil out of the location at 97 North Main St along with quick service food tenant. This model works in instances for Stewart's but in this instance the structure prevents the true Stewart's offerings which include our own line of dairy products and most notably our ice cream. To offer the fullest extent, Stewart's has placed 99 North Main St under Option Agreement with its owner EBII Realty. This agreement requires governmental approvals for the construction of a new Stewart's Shop before the closing will take place.

Both 97 and 99 North Main St are in the City's CBD district. This district does not allow gasoline filling but the non-conforming use isn't being expanded and we believe pushing the store to the north assists in vehicles circulation within the site. To obtain an understanding of the Board's feeling toward the project, Stewart's appeared in fall of 2025 to obtain guidance in how best to advance the site design.

After originally submitting in April, the plan was reclassified from Minor to Major and the plans revised accordingly. We are happy to provide any additional information staff or the board may have. Stewart's is the owner/applicant but has worked with MSK Engineering for design/submission where Andrew Rodriguez, P.E. is the engineer of record for the project. If you have additional questions or need subsequent information, please don't hesitate to reach me at cmarshall@stewartsshops.com or (518) 269-0664.

Respectfully requested,

A handwritten signature in black ink that reads "Charles Marshall". The signature is written in a cursive, flowing style.

Charles Marshall
Director of Real Estate
Stewart's Shops Corp.

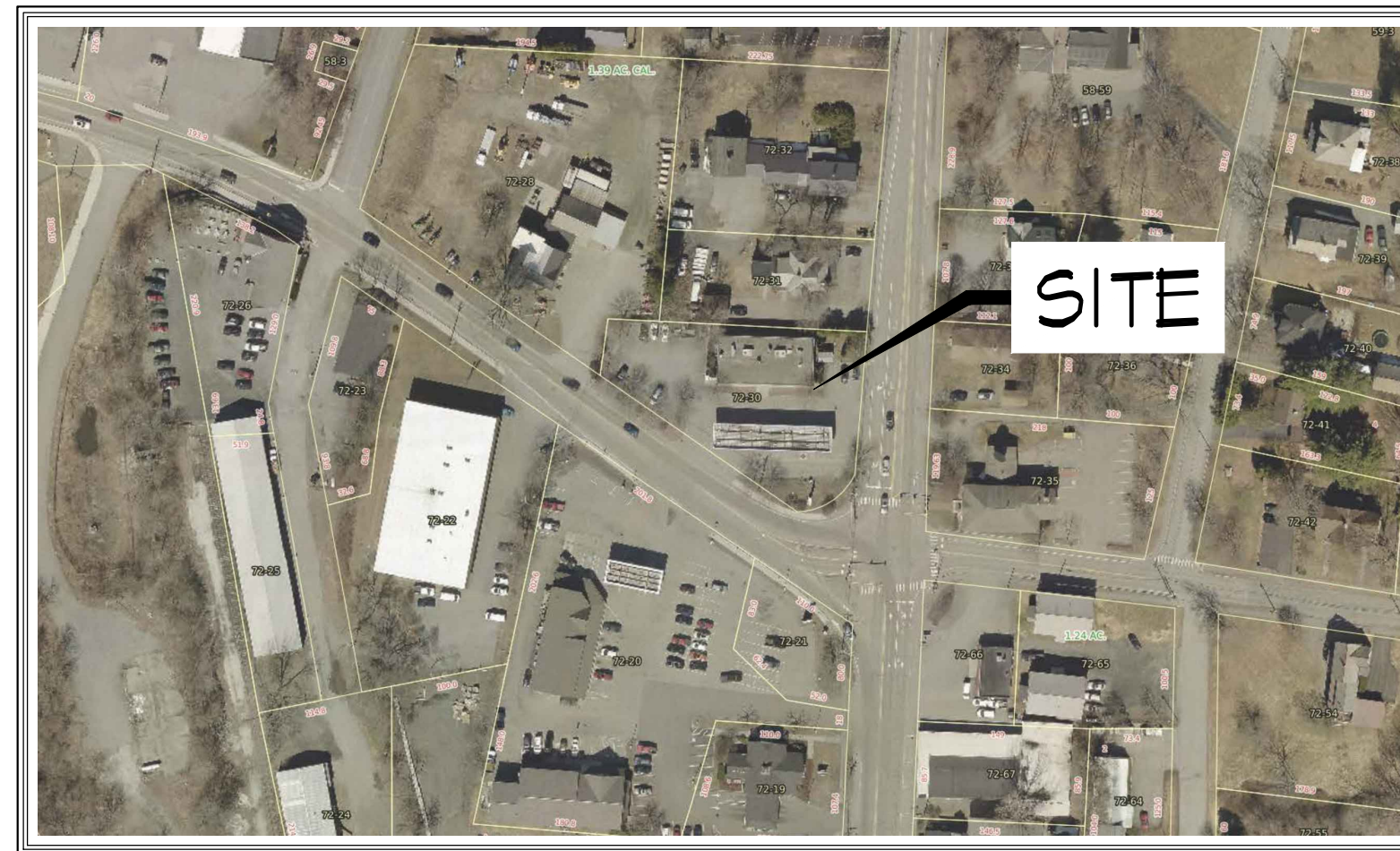
PROPOSED STEWART'S SHOP

97 MAIN STREET - WEST LEBANON, NY 03784

CITY OF LEBANON - GRAFTON COUNTY
 TAX PARCEL # 05120-0072 0030 00000
 ZONING DISTRICT - CENTRAL BUSINESS (CB)
 PROPOSED USE: CONVENIENCE STORE W/ GASOLINE

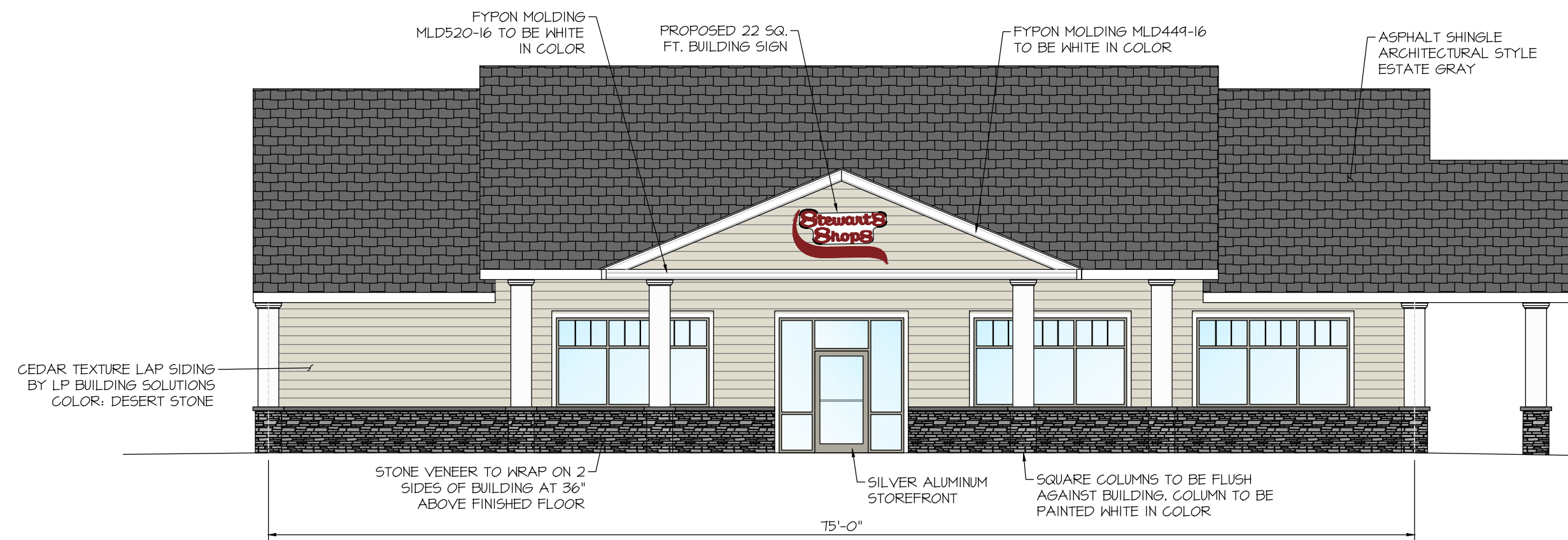
	REQUIRED	PROPOSED
MINIMUM LOT AREA	3,000 SQ. FT. (0.07 AC.)	40,444 SQ. FT. (0.93 AC.)
MINIMUM LOT FRONTAGE	40 FEET	223.9 FEET
FRONT BLDG SETBACK	NONE	1.6 FEET
SIDE BLDG SETBACK	NONE	7.5 FEET
REAR BLDG SETBACK	10 FEET	16.5 FEET
BUILDING HEIGHT	50 FEET	24 FEET
GROSS FLOOR AREA	3,354 SQ. FT. (EXISTING)	4,500 SQ. FT.
MAXIMUM LOT COVERAGE	NONE	82.1%
STEWART'S BUILDING SIGN	0.8 SQ. FT. PER FT. OF BUILDING FRONTAGE	2 @ 17 SQ. FT.
FREESTANDING SIGN	1 PER 200 SQ. FT.	1 @ 24 SQ. FT.
PARKING	4,500/200=22 SPACES	24 SPACES TOTAL
BICYCLE SPACES	1 PER 25 VEHICLE SPACES (2 MINIMUM)	2 SPACES TOTAL

* BASED ON A REVIEW OF THE CITY OF LEBANON GIS DATABASE, THE SUBJECT PARCEL DOES NOT LIE WITHIN ANY CITY OVERLAY DISTRICTS.
 * THE PROJECT SITE IS LOCATED APPROXIMATELY 1/4 MILE FROM THE NEAREST PUBLIC TRANSIT STOP. AS THE USE OF THE SUBJECT PROPERTY IS NOT CHANGING, IMPACTS TO PUBLIC TRANSPORTATION ROUTES ARE NOT ANTICIPATED.

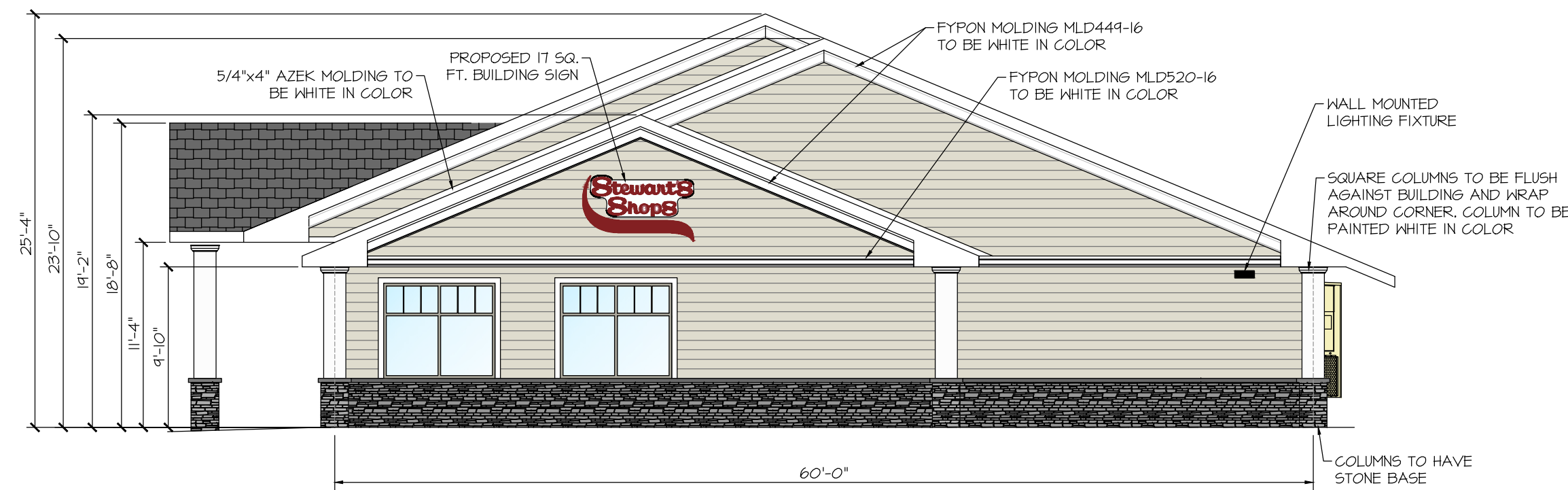


SITE LOCATION MAP

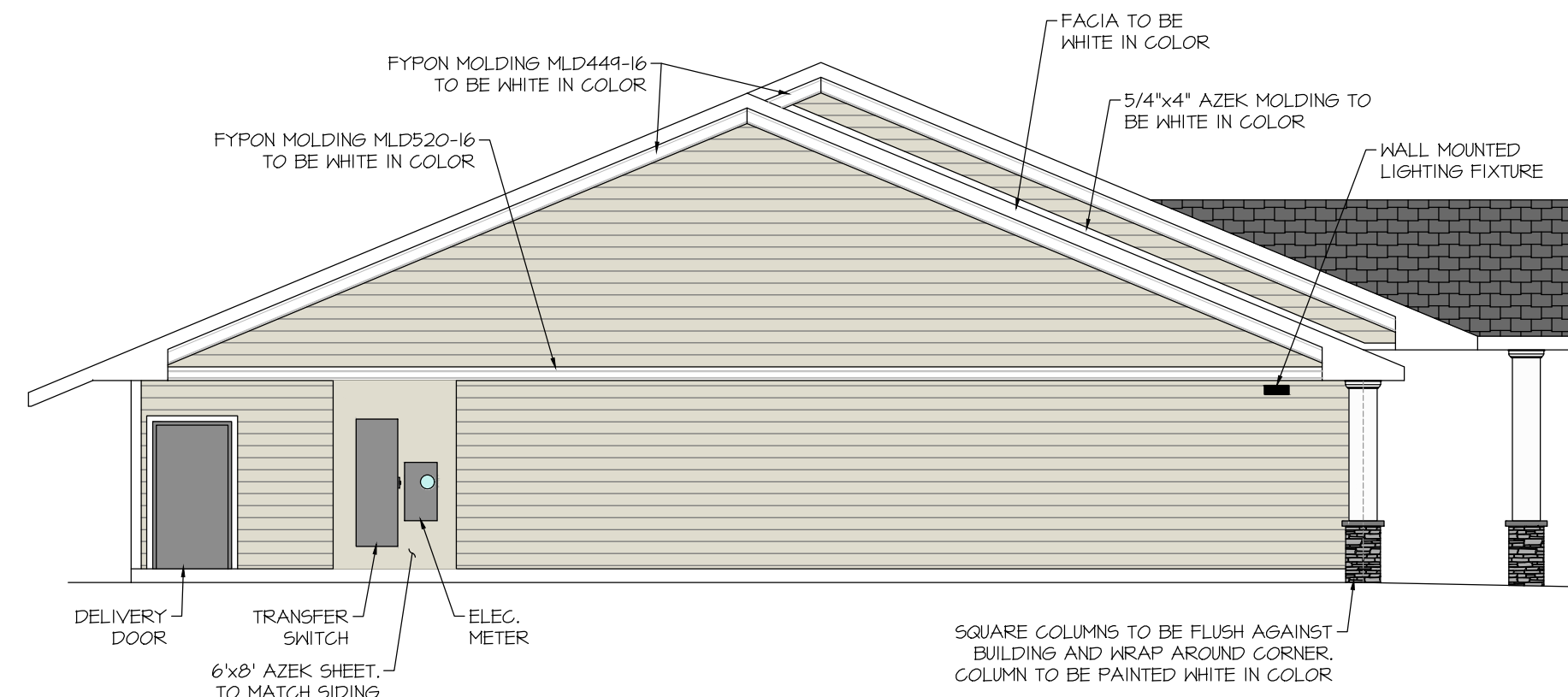
SH. NO.	DWG NO.	SHEET TITLE
1	C001	COVER SHEET AND ELEVATIONS
2	V100	EXISTING SURVEY
3	C100	EXISTING CONDITIONS
4	C102	PROPOSED SITE PLAN
5	C103	UTILITY PLAN
6	C104	GRADING PLAN
7	C105	LANDSCAPING PLAN
8	C106	PHOTOMETRICS PLAN
9	C107	TRUCK TURNING PLAN
10	C108	ABUTTING PROPERTIES PLAN
11	C109	EXISTING STORMWATER MANAGEMENT PLAN
12	C110	PROPOSED STORMWATER MANAGEMENT PLAN
13	C111	EROSION CONTROL PLAN
14	C200	STORM SEWER PROFILES
15	C201	STORM SEWER PROFILES
16	C202	STORM SEWER PROFILES
17	C500	MISCELLANEOUS DETAILS
18	C501	UTILITY DETAILS
19	C502	SIDEWALK DETAILS
20	C503	LIGHTING DETAILS
21	C504	STORMWATER & EROSION CONTROL DETAILS
22	C505	STORMWATER CHAMBER SYSTEM DETAILS
23	C506	STORMWATER CHAMBER SYSTEM DETAILS
24	C507	STORMWATER CHAMBER SYSTEM DETAILS
25	C508	STORMWATER CHAMBER SYSTEM DETAILS
26	C509	STORMWATER CHAMBER SYSTEM DETAILS



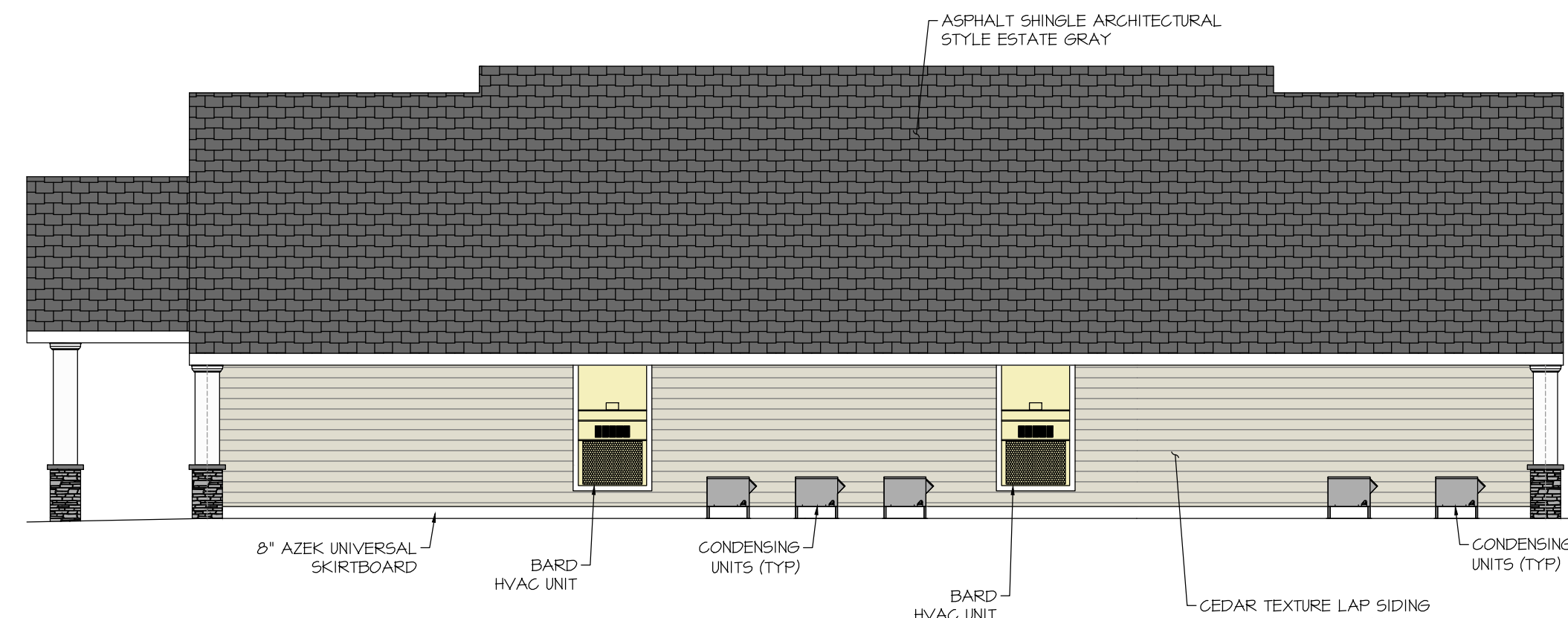
SOUTH ELEVATION



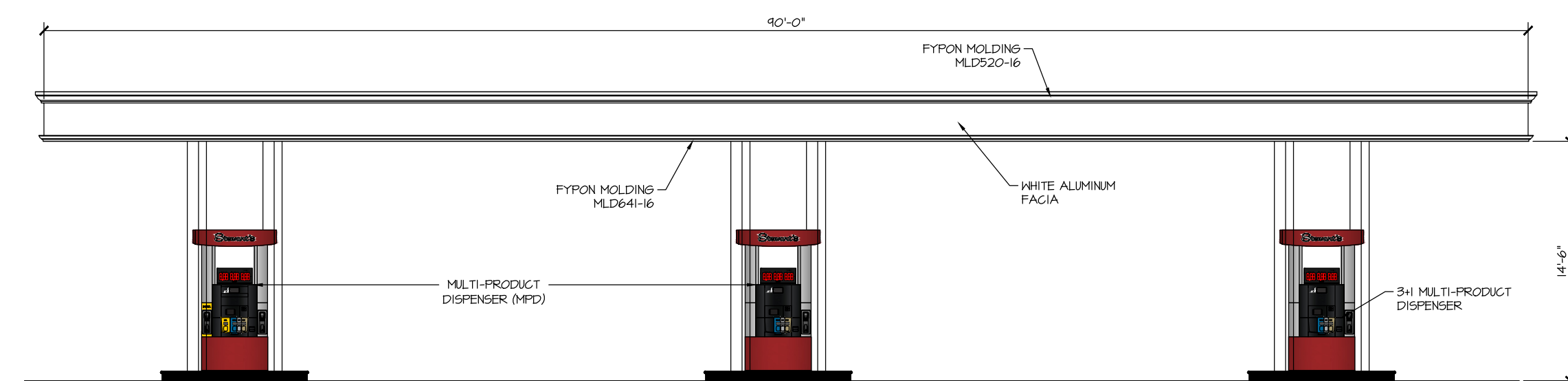
EAST ELEVATION



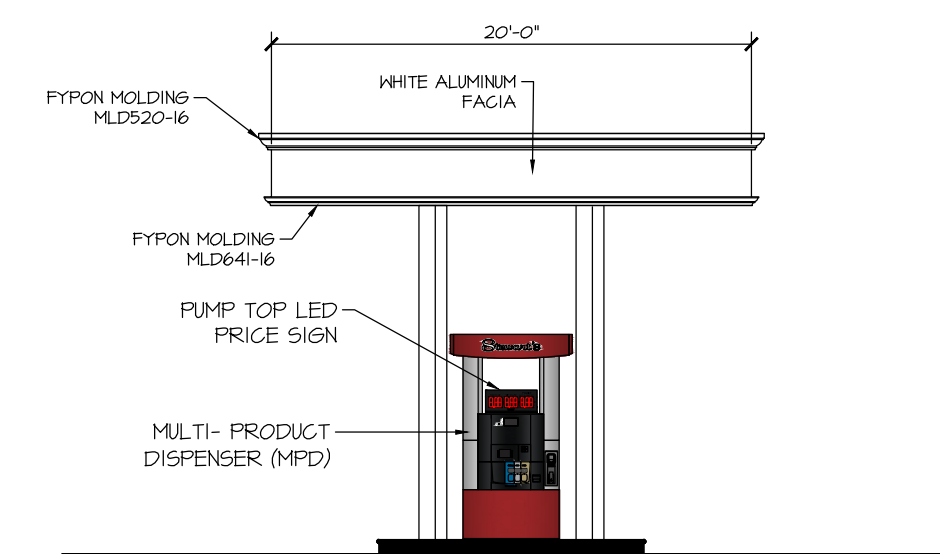
WEST ELEVATION



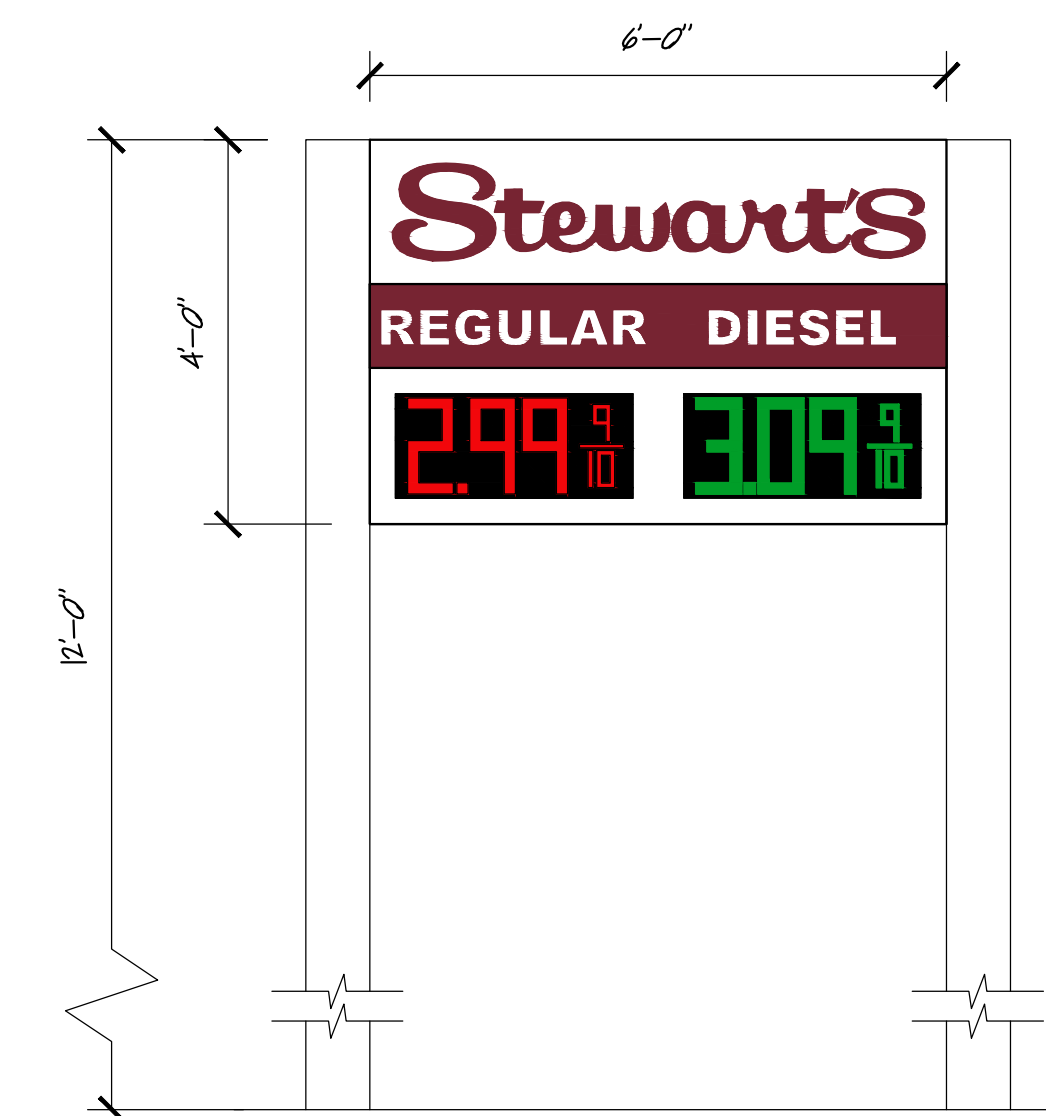
NORTH ELEVATION



GAS CANOPY NORTH/SOUTH ELEVATION



GAS CANOPY EAST/WEST ELEVATION



FREESTANDING SIGN

SIZE: 4'x6'-24 SQ. FT.
 LETTERS: 1/8" PLEXIGLASS FACE ON 4-1/2" THICK CAN
 ILLUMINATION: INTERNALLY ILLUMINATED WITH LED LIGHTING
 -BURGUNDY LETTERS
 -WHITE COLOR BACKGROUND
 -12" RED LED GAS PRICE NUMBERS
 -12" GREEN LED DIESEL PRICE NUMBERS
 -BACKGROUND OPACITY: 50-60%



TYPICAL BUILDING SIGN

SIZE: - 17 SQ. FT.
 LETTERS: - 1/8" PLEXIGLASS FACE ON 4-1/2" THICK CAN
 ILLUMINATION: INTERNALLY ILLUMINATED WITH LED LIGHTING
 -BURGUNDY LETTERS
 -WHITE COLOR BACKGROUND
 -BACKGROUND OPACITY: 50-60%



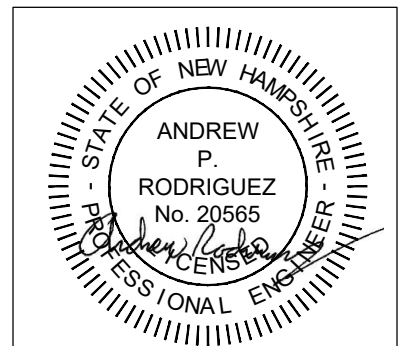
NO.	DATE	DESCRIPTION

STEWART'S SHOPS
 CONVENIENCE STORE
 97 MAIN STREET
 WEST LEBANON, NH 03784

DRAWINGS THIS SHEET
 COVER SHEET AND
 ELEVATIONS

NUMBER	DATE
1	5/11/26

SHEET NUMBER
 COOL



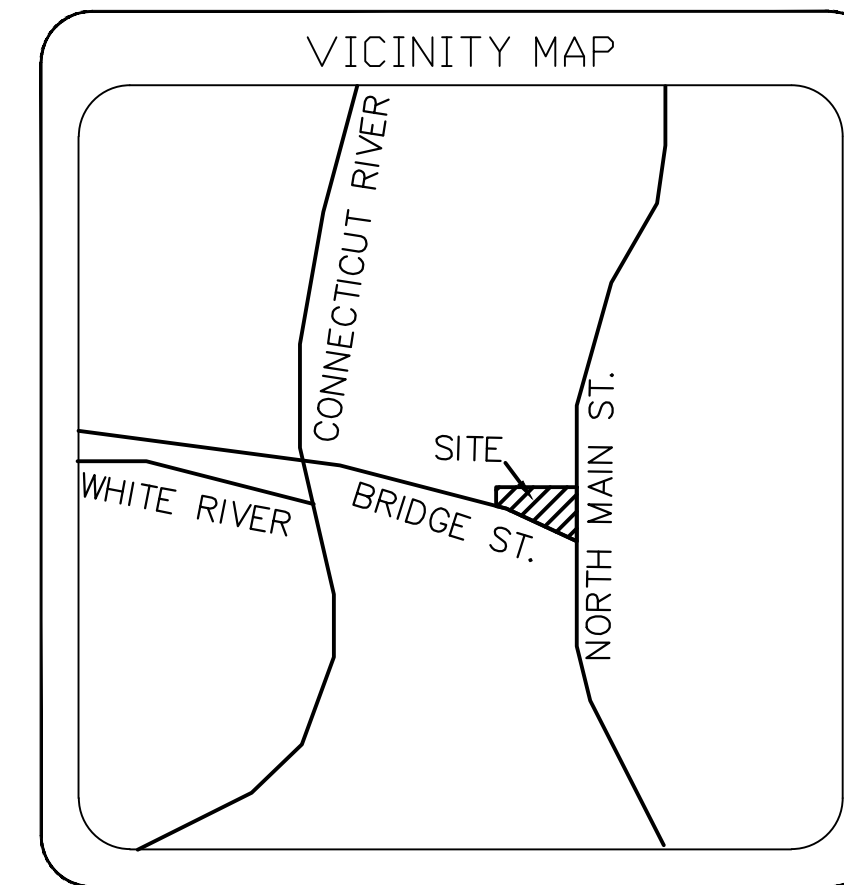
GENERAL NOTES

- The bearing base for this survey originated from shown along Bridge Street on the Southern line of the Subject Property derived per State Plane Coordinates NAD83(2011) New Hampshire Zone as being $N 56^{\circ}35'47'' W$.
- This property has an area of 25,793 square feet or 0.59± acres of land.
- This property is designated by GRAFTON County, as Tax Map Parcel #05120-0072 0030 00000.
- There was no observable evidence of cemeteries found at the time of this survey.
- In response to Table A Items 16 and 17 there was no observable evidence of earth moving work, building construction or additions and no known proposed changes in right of way lines, recent street or sidewalk construction or repairs.
- The property has access via Bridge St. and 97 Main St., which are paved public rights of way.
- Interior roadways appear to be private, variable in width and unnamed, unless otherwise shown.
- The address of 97 NORTH MAIN STREET was physically observed, posted on site of the Subject Property.
- This plan is the result of an on-the-ground survey performed by Ponderosa Professional CO-OP on July 11, 2024. This plan has been prepared for title purposes only and not to be used for design or site planning. Survey by Leica TS16 P3 R500 Serial: 3871455.

SYMBOL LEGEND		LIST OF ABBREVIATIONS
⊗ A.C. PAD	⊙ GROUND LIGHT	⊗ RCP HEADWALL
⊗ AIR VALVE	⊙ GROUND ROD	⊗ ROAD SIGN
⊗ AUTO-SPRINKLER	⊙ GUARD POST	⊗ SANITARY SEWER MH
⊗ BENCHMARK	⊙ GUY ANCHOR	⊗ STORM SEWER MH
⊗ BORE HOLE	⊙ HANDICAPPED PARKING ACCESS	⊗ UNDERGROUND BANK ACCESS
⊗ BRUSH	⊙ IRON GRATE	⊗ TELE. MH
⊗ CLEAN OUT	⊙ LIGHT POLE	⊗ TELE. PED.
⊗ ELEC. METER	⊙ METER BOX	⊗ TRAFFIC SIGNAL LIGHT
⊗ ELEC. PED.	⊙ METER RACK	⊗ TRAFFIC CONTROL BOX
⊗ ELEC. TRANS.	⊙ MONITOR WELL	⊗ TREE
⊗ FIRE HYDRANT	⊙ MON. FOUND AS DESCRIBED	⊗ T.V. PED.
⊗ FIRE RISER	⊙ MON. SET AS DESCRIBED	⊗ UNDR. TELE. MARKER
⊗ FLAG POLE	⊙ PIPELINE MARKER	⊗ UTILITY CABINET
⊗ GAS METER	⊙ POWER MH	⊗ UTILITY POLE
⊗ GAS VALVE	⊙ PROPANE TANK	⊗ WATER METER
⊗ GATE	⊙ POWER POLE	⊗ WATER MH
⊗ GENERATOR	⊙ PULL BOX	⊗ WATER VALVE
⊗ BARBED WIRE	⊙ CHAINLINK FENCE	⊗ ADJ./PLAT LINE
⊗ ROAD CENTERLINE	⊙ OVERHEAD ELECTRIC LINE	⊗ EASEMENT LINE
⊗ STOCKADE FENCE	⊙ SUBJECT BOUNDARY LINE	⊗ SECTION LINE
⊗ UNDERGROUND COMMUNICATIONS	⊙ UNDERGROUND ELECTRIC	⊗ TRAIN TRACKS
⊗ UNDERGROUND SANITARY SEWER	⊙ UNDERGROUND STORM SEWER	⊗ TRANS. - TRANSFORMER
		⊗ TR - TOP OF RM
		⊗ TYP. - TYPICAL
		⊗ U/C - UTILITY CABINET
		⊗ U/G - UNDERGROUND
		⊗ W/D/S - WITH UNDERGROUND SERVICE
		⊗ R.O.W. - RIGHT-OF-WAY
		⊗ RD - ROOF DRAIN
		⊗ RET. - RETAINING
		⊗ SAN. - SANITARY
		⊗ STAT. - STATUTORY
		⊗ TR - TRANSFORMER
		⊗ TYP. - TYPICAL
		⊗ U/C - UTILITY CABINET
		⊗ U/G - UNDERGROUND
		⊗ W/D/S - WITH UNDERGROUND SERVICE

SIGNIFICANT OBSERVATIONS

- Concrete and canopy appears to encroach onto right-of-way of Bridge Street on the southwest by up to 1.3'.



LOCATION MAP NOT TO SCALE

LEGAL DESCRIPTION

LEGAL DESCRIPTION:
 A certain tract or parcel of land with the improvements thereon, located in West Lebanon, City of Lebanon, County of Grafton, and State of New Hampshire described as:
 Beginning at a point on the westerly line of Maine Street, which point marks the southeasterly corner of land now or formerly of Eugene Boisvert, Sr. QTIP Trust; thence
 Running along the westerly line of Main Street, South $03^{\circ}16'00''$ West, 138.80 feet to a point; thence in a southeasterly direction along the arc of a curve to the right having a central angle of $41^{\circ}18'30''$, a radius of 62.00 feet, an arc length of 44.70 feet and a chord of South $60^{\circ}44'00''$ West, 43.70 feet to a point on the northerly line of Bridge Street; thence along the aforesaid northerly line of Bridge Street the following two (2) courses and distances;
 1. North $56^{\circ}56'00''$ West, 127.40 feet to a point; thence
 2. North $56^{\circ}30'00''$ West, 96.50 feet to a point;
 Thence along land now or formerly of Joseph B. Allard Revocable Trust and the aforesaid lands of Eugene Boisvert, Sr. QTIP Trust the following three (3) courses and distances;
 1. North $04^{\circ}54'00''$ East, 46.50 feet to a point; thence
 2. South $87^{\circ}10'00''$ East, 51.00 feet to a point; thence
 3. South $87^{\circ}51'00''$ East, 178.50 feet to the point or place of beginning.
 Being the same tract of land described in a Title Report prepared by Fidelity National Title Company Commitment No. NH240062FNT dated May 28, 2024 at 04:00 PM.

SCHEDULE B - TITLE EXCEPTION NOTES

Being the same tract of land described in a Title Report prepared by Fidelity National Title Company Commitment No. NH240062FNT, dated May 28, 2024 at 04:00 PM.

Items not listed below are standard title exceptions and/or are not matters or issues that pertain to this survey.

- 7.) Sewer Line rights and easements in deed recorded in Volume 659, Page 362. **DOES NOT AFFECT.**
- 8.) Voluntary Lot Merger recorded in Volume 2246, Page 413. **AFFECTS THE SUBJECT PROPERTY. SUBJECT TO THE TERMS.**
- 9.) All matters depicted on survey recorded in Plan Book 918, Page 57. **AFFECTS THE SUBJECT PROPERTY. NO ADDITIONAL PLOTTABLE MATTERS.**

ZONING NOTES

Zoned: Light Industrial District (CB)
Permitted Use Classification: A gas station is not permitted in the Center Business District (CB).
 Zoning Regulations are subject to change and interpretation, for further information contact: MKA Zoning (phone: 540-428-3550)
 Contact's Name: Aaron Davis (email: adavis@mkassociates.com)

Observed Use(s): Gas Station

Site Restrictions:

- Minimum building setbacks:
 Front: None
 Side: None
 Rear: 10'.
- Measured building tie distances:
 North: 10.7'
 South: 49.5'
 West: 105.3'
 East: 42.9'
- Minimum lot size: 3,000 Sq. Ft.
- Minimum lot frontage: 40'
- Maximum building height: 55'
- Maximum density: max. lot coverage None
- Maximum floor area ratio: N/A

Parking Tabulation:

1 space per 200 sq. ft.
 3,362.78 sq. ft. / 200 = 17 x 1 = 17 parking spaces required

Total regular spaces provided: 0
 Total handicap spaces provided: 0
 Total combined spaces provided: 0
 *There are unstriped parking areas as shown.

Site Conformance:
 Legal Nonconforming

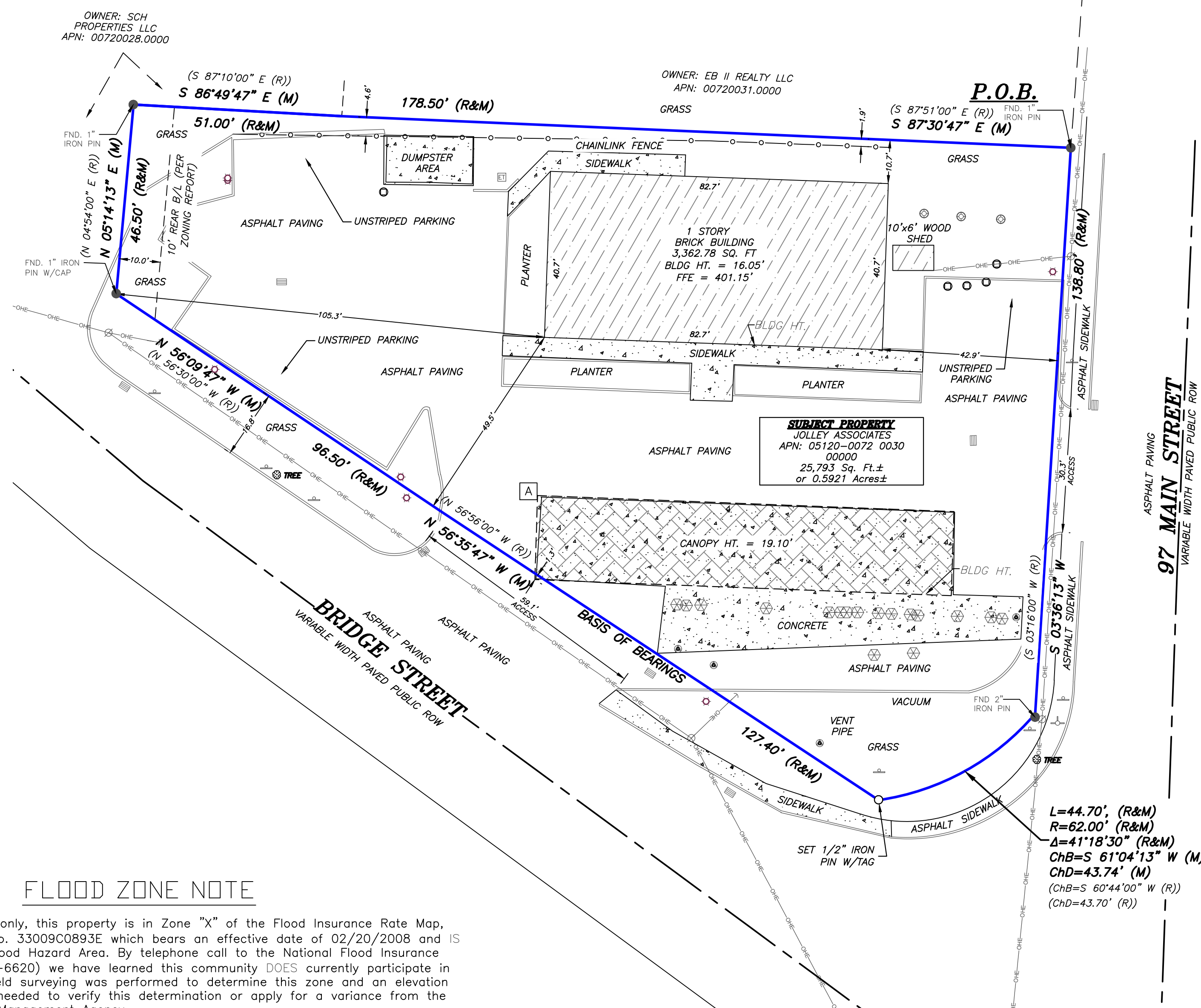
Survey Coordinated By:

PONDEROSA PROFESSIONAL CO-OP
 5830 EAST 2ND ST.
 CASPER, WY
 307-247-6215



Surveyor's Drawing No. 24-112-45A
 Surveyor's Site Ref:
 Checked by: JBP Drawn by: LWL
 GRAPHIC SCALE: 1" = 20'

FLOOD ZONE NOTE
 By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 33009C089E which bears an effective date of 02/20/2008 and is NOT in a Special Flood Hazard Area. By telephone call to the National Flood Insurance Program (800-638-6620) we have learned this community DOES currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.



V100

ALTA/NSPS LAND TITLE SURVEY

WEST LEBANON JOLLEY
 97 NORTH MAIN STREET
 WEST LEBANON, NH

Surveyor's Certification

To: Fidelity National Title Company; Stewart's Shops Corp.; Jolley Associates LLC; and MKAssociates, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 6A, 6B, 7A, 7B1, 7C, 8, 9, 13, 14, 16, 17, 19 of Table A thereof. The field work was completed on 7/11/24.

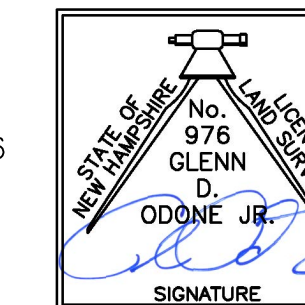
Date of Plat or Map: 07/23/2025

I CERTIFY THAT THE BOUNDARY LINES AND ALL LOT LINES WITHIN AND BORDERING THE SUBJECT PARCEL, SHOWN HEREON ARE A RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND, CONDUCTED ON 07/07/2024 USING A Leica TS16 P 3" R500 Serial: 3871455 TOTAL STATION, AND THE UNADJUSTED LINEAR ERROR OF CLOSURE EXCEEDS BOTH THE MINIMUM OF THE 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE NEW HAMPSHIRE LAND SURVEYORS ASSOCIATION ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO CATEGORY 1 CONDITION 1 AS DEFINED IN SECTION 4.3.1.1 OF THE NEW HAMPSHIRE LAND SURVEYORS ASSOCIATION ETHICS AND STANDARDS.

I CERTIFY THAT THIS PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:18 PAR. III)

GLENN D. O'DONE JR.
 LICENSED LAND SURVEYOR NO. 976
 STATE OF NEW HAMPSHIRE



THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

PROJECT NAME: JOLLEY PORTFOLIO MKA PROJECT No.: 4885-24-9613:045
 ADDRESS: 97 NORTH MAIN STREET CITY: WEST LEBANON STATE: NH

For Inquiries Contact MKA
 North American Due Diligence Services
 6593 Commerce Court - Warrenton, Virginia 20187
 Phone: (540) 428-3550
 Email: comments@mkassociates.com www.mkassociates.com

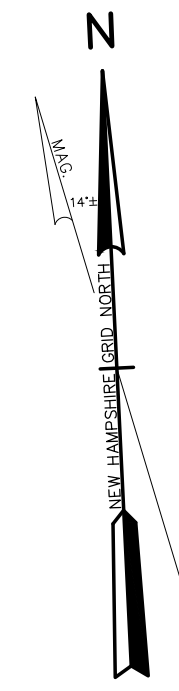
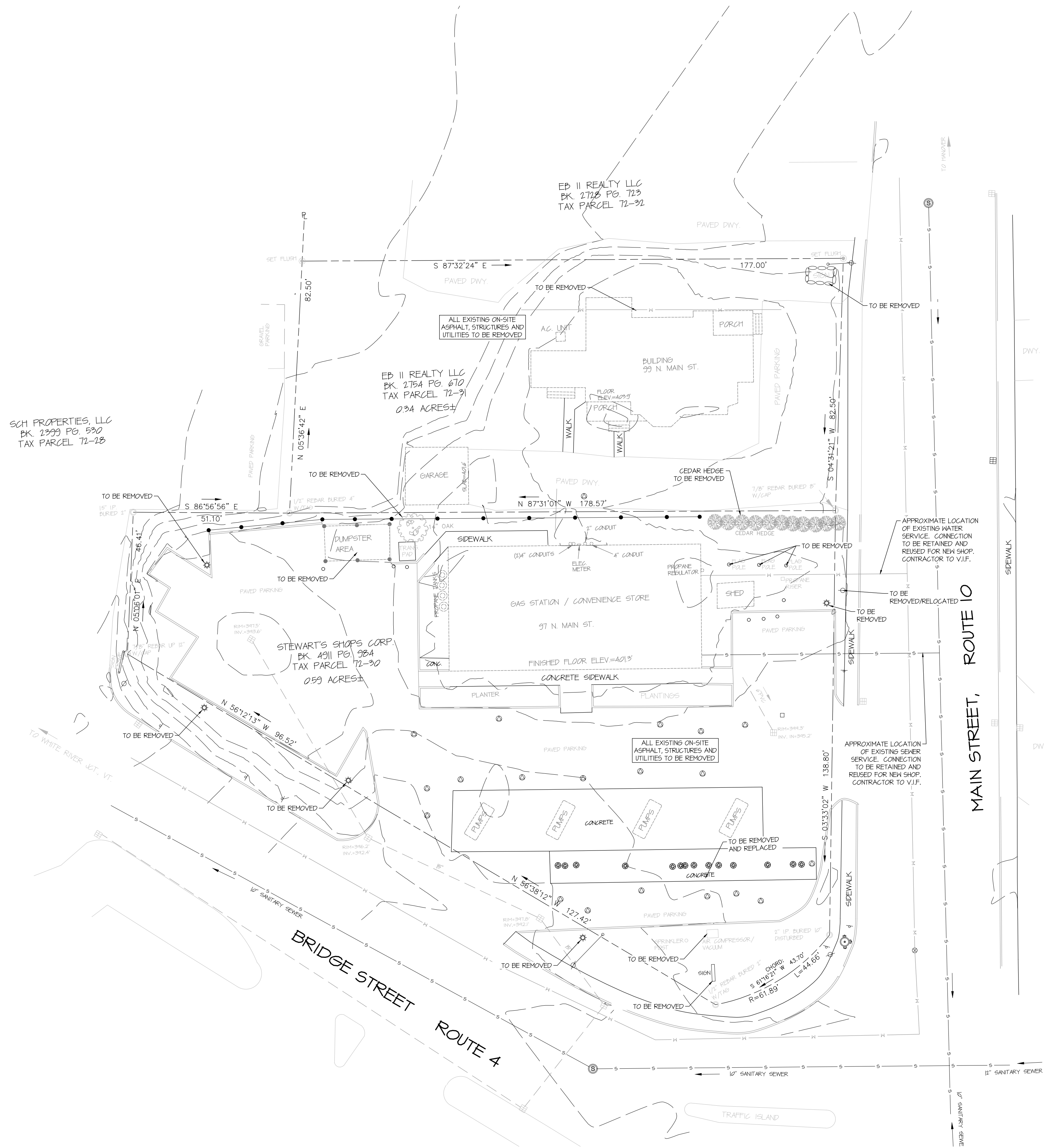




SITE LOCATION MAP

LEGEND	
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
MONITORING WELL	
BOLLARD	
IRRIGATION SLEEVE	
OVERHEAD UTILITIES	
W/G SERVICE, 1" TYPE 'K' COPPER	
SEWER SERVICE, 4" SDR 26	
STORM PIPE, PROPOSED, HDPE	
STORM PIPE, EXISTING	
STOCKADE FENCE	
CHAINLINK FENCE	
SPLITRAIL FENCE	
W/G ELECTRICAL/TELE SERVICE	
W/G ELECTRICAL CONDUIT	
W/G GAS LINE	
W/G CAMERAL CONDUIT	
DIESEL PRODUCT LINE	
SUPER PRODUCT LINE	
UNLEADED PRODUCT LINE	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
PROPOSED SPOT ELEVATION	
EXISTING UNCHANGED SPOT ELEVATION	

NOTES:
 1. SOME FEATURES IN LEGEND MAY NOT HAVE BEEN USED.
 2. DARKER LINES INDICATE NEW ITEMS.
 3. DOTTED LINES INDICATE REMOVED ITEMS.



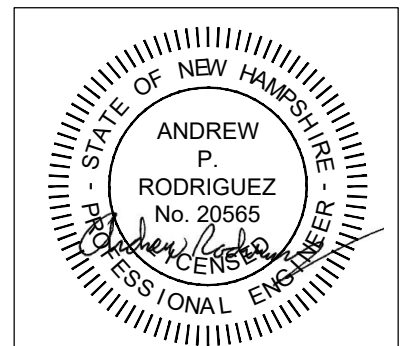
NO.	DATE	DESCRIPTION

STEWART'S SHOPS CONVENIENCE STORE
 47 MAIN STREET
 WEST LEBANON, NH 03784

DRAWINGS THIS SHEET
 EXISTING CONDITIONS PLAN

NUMBER	DATE
1	5/11/26

SHEET NUMBER
 C100



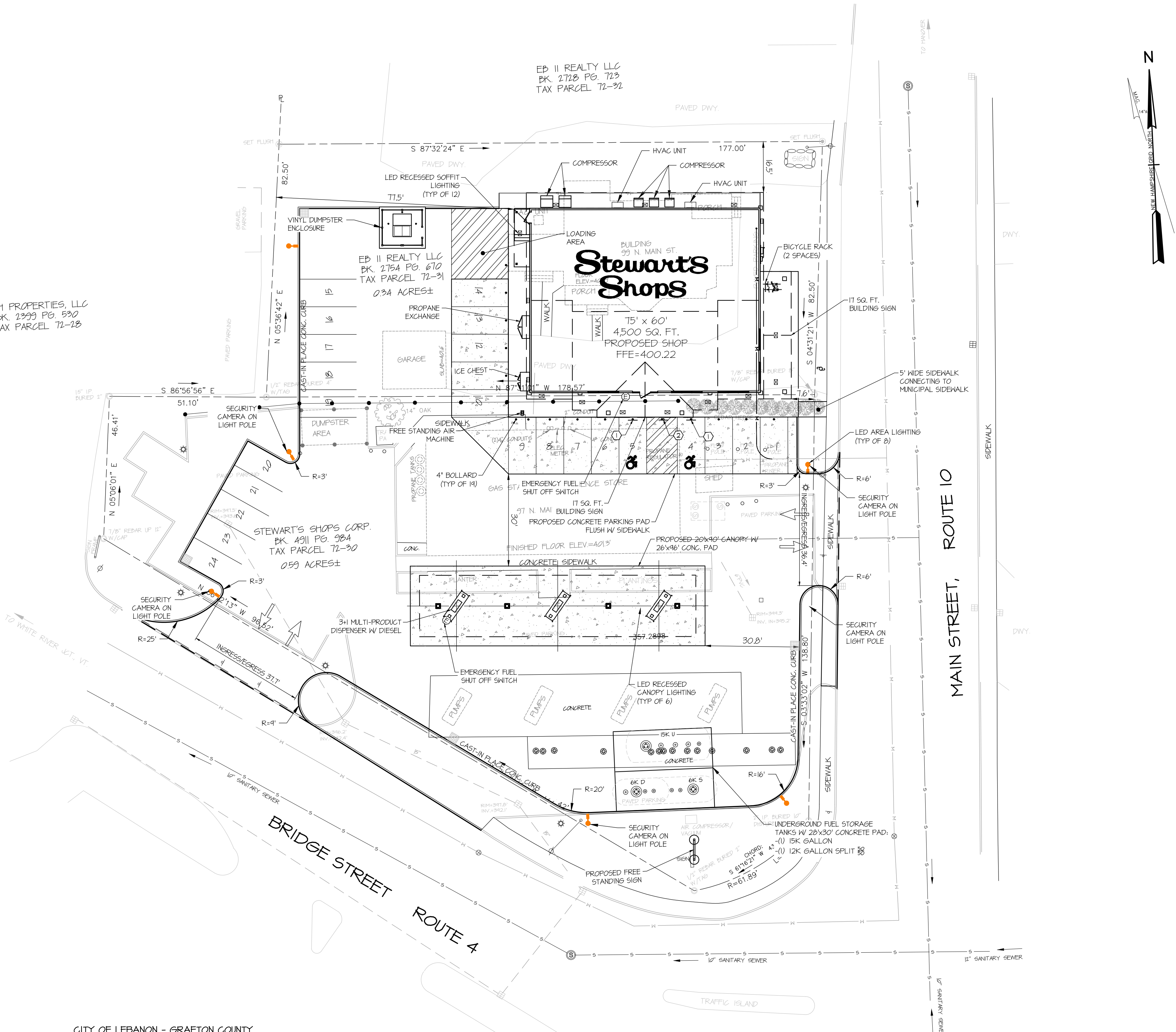


SITE LOCATION MAP

LEGEND	
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
MONITORING WELL	
BOLLARD	
IRRIGATION SLEEVE	
OVERHEAD UTILITIES	
WATER SERVICE, 1" TYPE 1" COPPER	
SEWER SERVICE, 4" SDR-26	
STORM PIPE, PROPOSED, HDPE	
STORM PIPE, EXISTING	
STOCKADE FENCE	
CHAINLINK FENCE	
SPLITRAIL FENCE	
W/G ELECTRICAL/TELE SERVICE	
W/G ELECTRICAL CONDUIT	
W/G GAS LINE	
W/G CAMERAL CONDUIT	
DIESEL PRODUCT LINE	
SUPER PRODUCT LINE	
UNLEADED PRODUCT LINE	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
PROPOSED SPOT ELEVATION	
EXISTING UNCHANGED SPOT ELEVATION	

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 2. DARKER LINES INDICATE NEW WORK.
 3. DOTTED LINES INDICATE REMOVED ITEMS.

SCH PROPERTIES, LLC
 BK 1299 PG 592
 TAX PARCEL 72-2B



CITY OF LEBANON - GRAFTON COUNTY
 TAX PARCEL # 05120-0072 0030 00000
 ZONING DISTRICT - CENTRAL BUSINESS (CB)
 PROPOSED USE: CONVENIENCE STORE W/ GASOLINE

	REQUIRED	PROPOSED
MINIMUM LOT AREA	3,000 SQ. FT. (0.07 AC.)	40,444 SQ. FT. (0.93 AC.)
MINIMUM LOT FRONTAGE	40 FEET	223.4 FEET
FRONT BLDG SETBACK	NONE	7.6 FEET
SIDE BLDG SETBACK	NONE	11.5 FEET
REAR BLDG SETBACK	10 FEET	16.5 FEET
BUILDING HEIGHT	50 FEET	24 FEET
GROSS FLOOR AREA	3,394 SQ. FT. (EXISTING)	4,500 SQ. FT.
MAXIMUM LOT COVERAGE	NONE	82.1%
STEWART'S BUILDING SIGN	0.8 SQ. FT. PER FT. OF BUILDING FRONTAGE	2 @ 17 SQ. FT.
FREE-STANDING SIGN	32 SQ. FT.	1 @ 24 SQ. FT.
PARKING	1 PER 200 SQ. FT.	24 SPACES TOTAL
BICYCLE SPACES	4,500/200+23 SPACES	2 SPACES TOTAL

* BASED ON A REVIEW OF THE CITY OF LEBANON GIS DATABASE, THE SUBJECT PARCEL DOES NOT LIE WITHIN ANY CITY OVERLAY DISTRICTS.
 * THE PROJECT SITE IS LOCATED APPROXIMATELY 1/4 MILE FROM THE NEAREST PUBLIC TRANSIT STOP. AS THE USE OF THE SUBJECT PROPERTY IS NOT CHANGING, IMPACTS TO PUBLIC TRANSPORTATION ROUTES ARE NOT ANTICIPATED.

Stewart's Shops
 P.O. BOX 435
 SARATOGA SPRINGS NY 12866
 (518) 581-1201 X2130

MSK ENGINEERS
 P.O. BOX 139, 150 DEPOT STREET
 BENNINGTON, VERMONT 05201
 PH: (802) 447-1402 FAX: (802) 445-1291

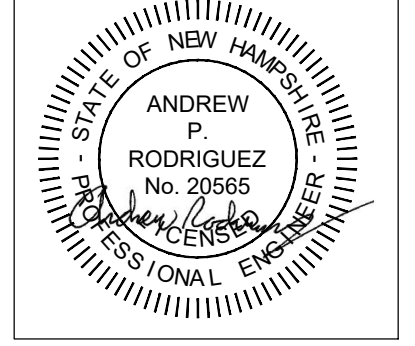
NO.	DATE	DESCRIPTION

STEWART'S SHOPS
 CONVENIENCE STORE
 97 MAIN STREET
 WEST LEBANON, NH 03784

DRAWINGS THIS SHEET
 PROPOSED SITE
 PLAN

NUMBER	DATE
1	5/11/26

SHEET NUMBER
 C102



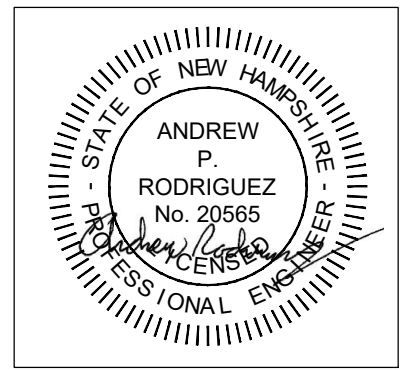
NO.	DATE	DESCRIPTION

STEWART'S SHOPS
CONVENIENCE STORE
47 MAIN STREET
WEST LEBANON, NH 03784

DRAWINGS THIS SHEET
PROPOSED UTILITY
PLAN

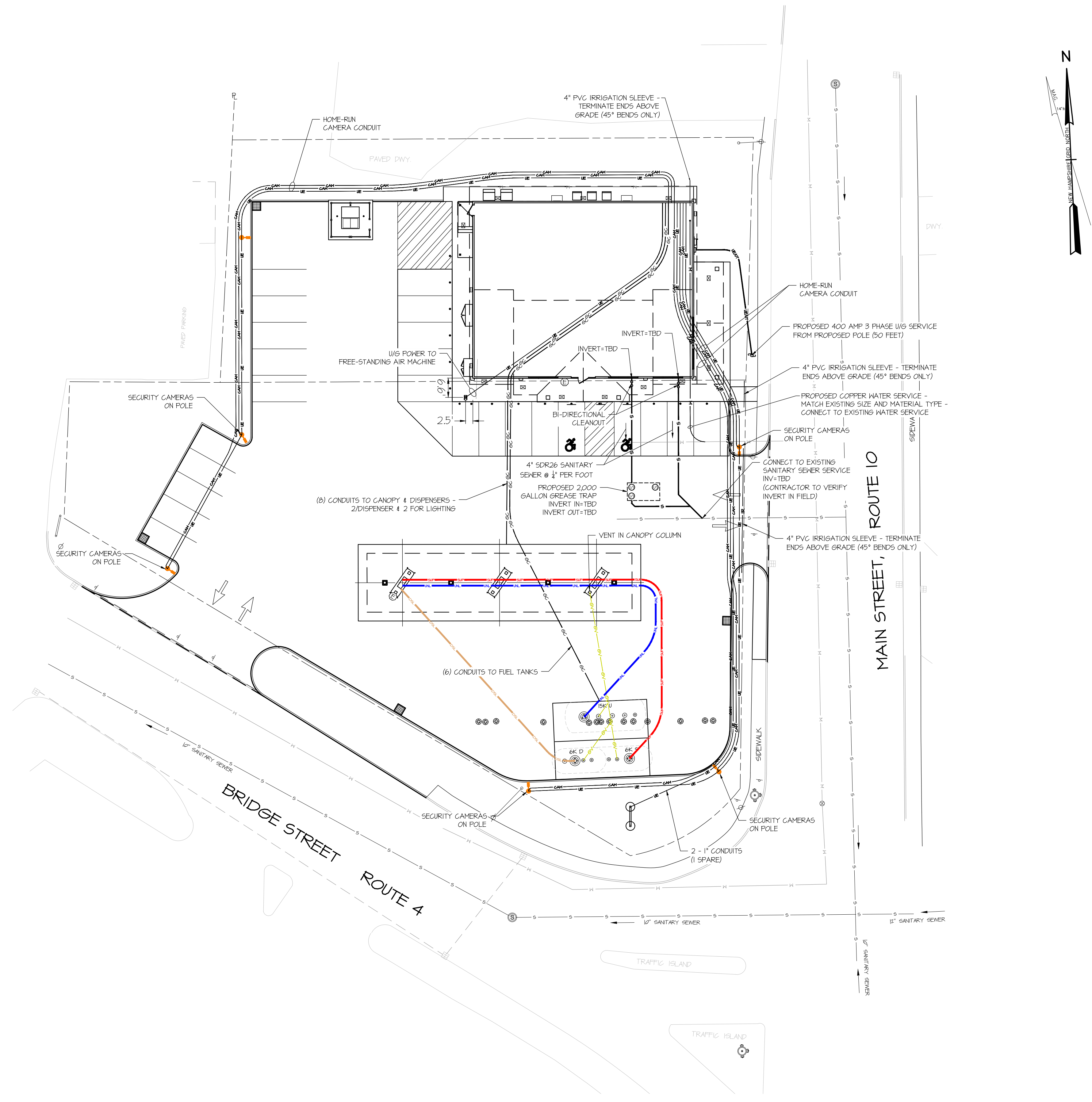
NUMBER	DATE
1	5/11/26

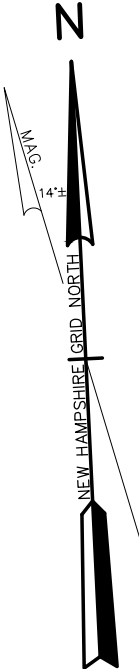
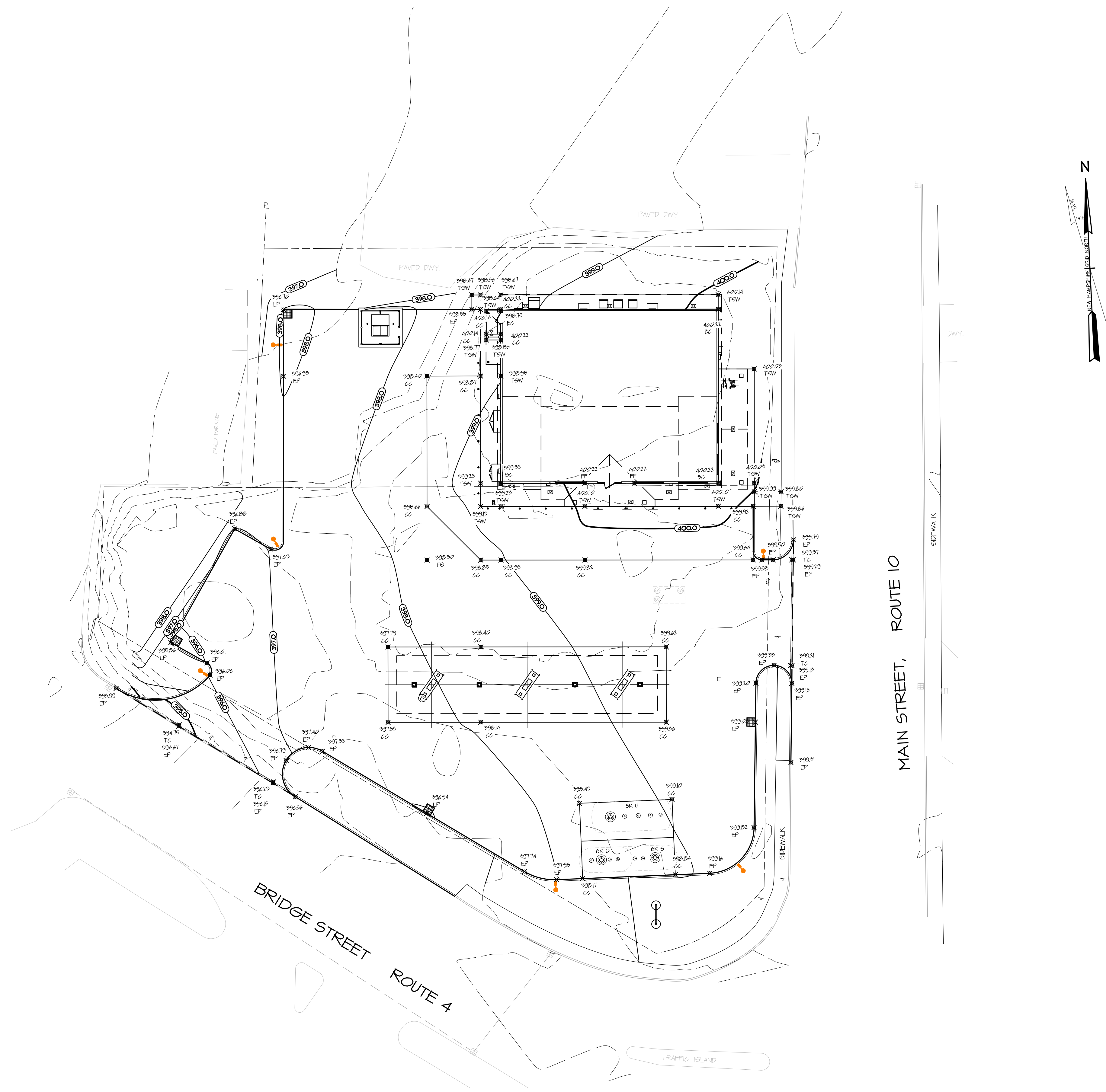
SHEET NUMBER
C103



LEGEND	
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
MONITORING WELL	
BOLLARD	
IRRIGATION SLEEVE	
OVERHEAD UTILITIES	
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STORM PIPE, EXISTING	
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PROPOSED MINOR CONTOUR	
PROPOSED SPOT ELEVATION	
EXISTING UNCHANGED SPOT ELEVATION	

NOTES:
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2. DASHED LINES INDICATE NEW WORK.
3. DOTTED LINES INDICATE REMOVED ITEMS.





MAIN STREET, ROUTE 10

BRIDGE STREET ROUTE 4

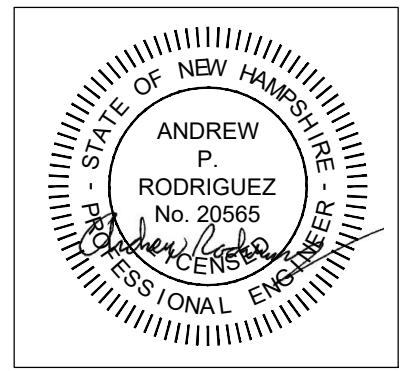
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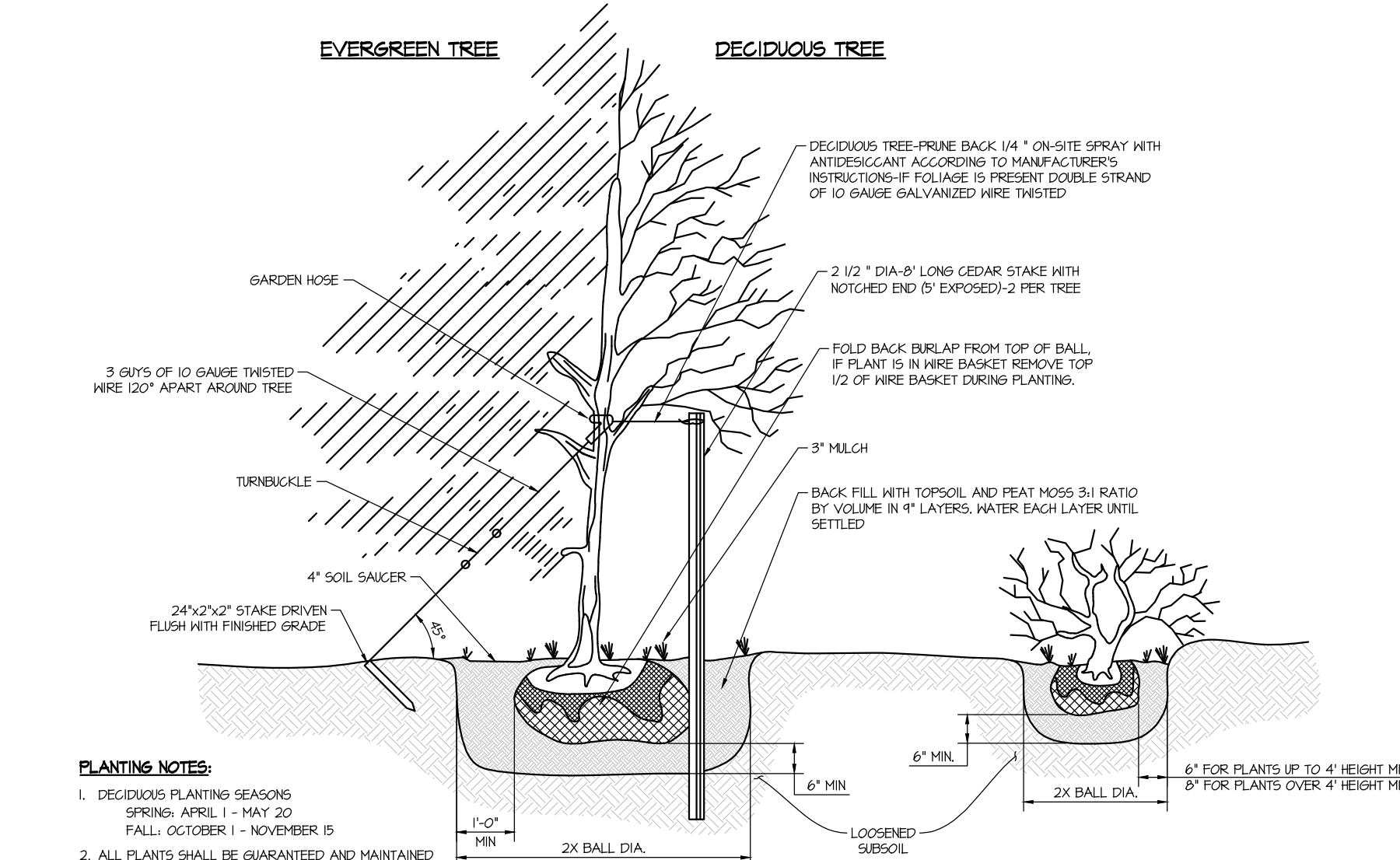
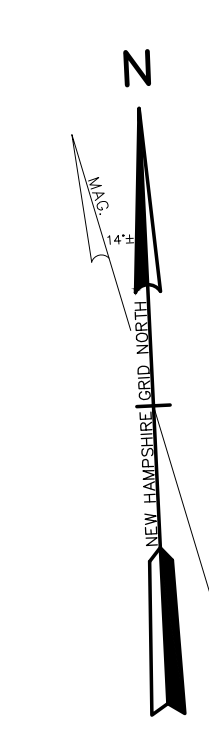
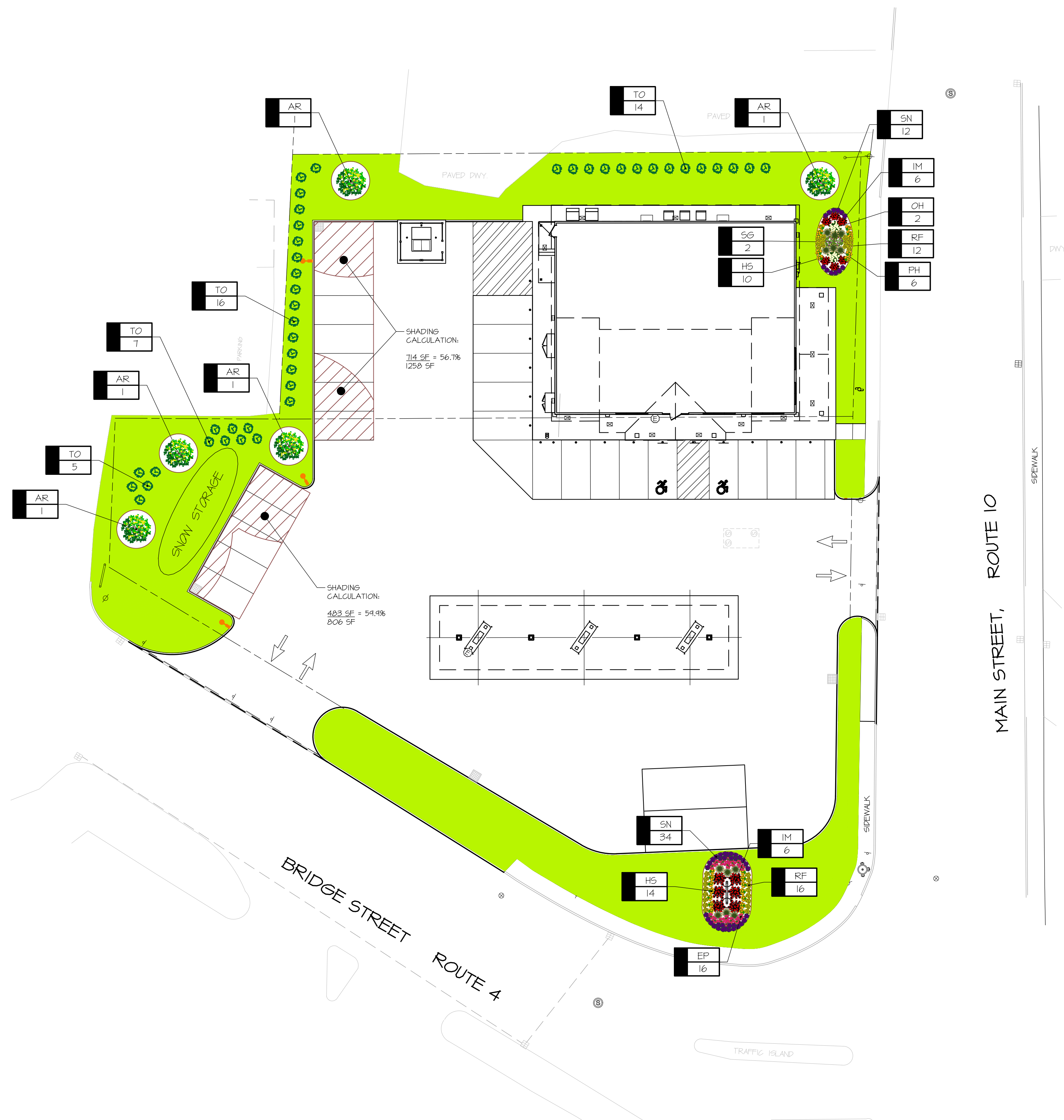
STEWART'S SHOPS
 CONVENIENCE STORE
 47 MAIN STREET
 WEST LEBANON, NH 03784

DRAWINGS THIS SHEET
 PROPOSED GRADING
 PLAN

NUMBER	DATE
1	5/11/26

SHEET NUMBER
 C104





PLANTING NOTES:

- DECIDUOUS PLANTING SEASONS: SPRING: APRIL 1 - MAY 20; FALL: OCTOBER 1 - NOVEMBER 15
- ALL PLANTS SHALL BE GUARANTEED AND MAINTAINED FOR A PERIOD OF 1 YEAR AFTER BEING PROPERLY PLANTED
- REPLACEMENT PLANTS SHALL BE PLANTED IN CONFORMANCE WITH THE SAME SPECIFICATIONS AS THE ORIGINAL PLANTS
- WRAP DECIDUOUS TREES OVER 1\"/>

PLANT LIST

	ABRV	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
PERENNIALS	H5	HEMEROCALLIS 'STELLA DE ORO'	DAYLILY - STELLA DE ORO	24	2 GAL.	AS SHOWN
	RF	RUDBECKIA FULGIDA	BLACK-EYED SUSAN	28	2 GAL.	AS SHOWN
	EP	ECHINACEA PURPUREA 'RUBY STAR'	CONEFLOWER - PURPLE	16	2 GAL.	AS SHOWN
	SN	SALVIA NEMOROSA 'MAYNIGHT'	SALVIA - MAY NIGHT	46	2 GAL.	AS SHOWN
	PH	PENNISETUM 'HAEMELIN'	HAEMELIN FOUNTAIN GRASS	6	3 GAL.	AS SHOWN
TOTAL PERENNIALS PROPOSED:				120		
SHRUBS	IM	ILEX x MESSEYVEAE 'BLUE MAID'	BLUE MAID HOLLY	12	3 GAL.	AS SHOWN
	TO	THUJA OCCIDENTALIS 'EMERALD'	ARBORVITAE - EMERALD GREEN	42	6\"/>	

* THERE ARE ONLY 5 TREES PROPOSED RATHER THAN THE CALCULATED 11 REQUIRED DUE TO SITE CONSTRAINTS SUCH AS NARROW GREENSPACE STRIPS, PROXIMITY TO THE PROPOSED BUILDING, SIGHT TRIANGLES, SNOW STORAGE AREAS, ETC.

PERIMETER LANDSCAPING CALCULATION:
 AREA OF 15' BUFFER NOT OCCUPIED BY PAVEMENT OR BUILDING = 6,740± SF
 6,740 SF / 600 SF = 11
 THEREFORE, THERE SHOULD BE 11 TREES AND 55 SHRUBS WITHIN THE 6,740 SF

SHADING CALCULATION:
 AREA OF PERIMETER PAVEMENT CONSIDERED
 AREA COVERED BY 30' CROWN DIAMETER

NOTE:
 VERY LITTLE SNOW STORAGE SPACE IS AVAILABLE ON-SITE. ACCUMULATED SNOWFALL WILL TYPICALLY BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROPRIATE LOCATION BY A LOCALLY RETAINED CONTRACTOR.

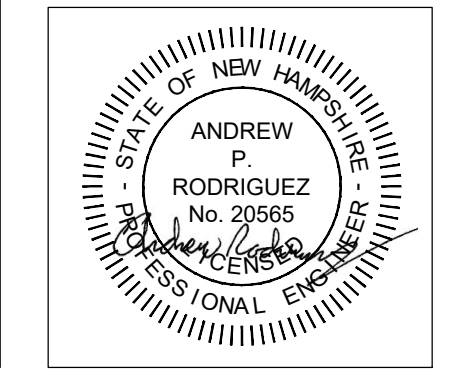
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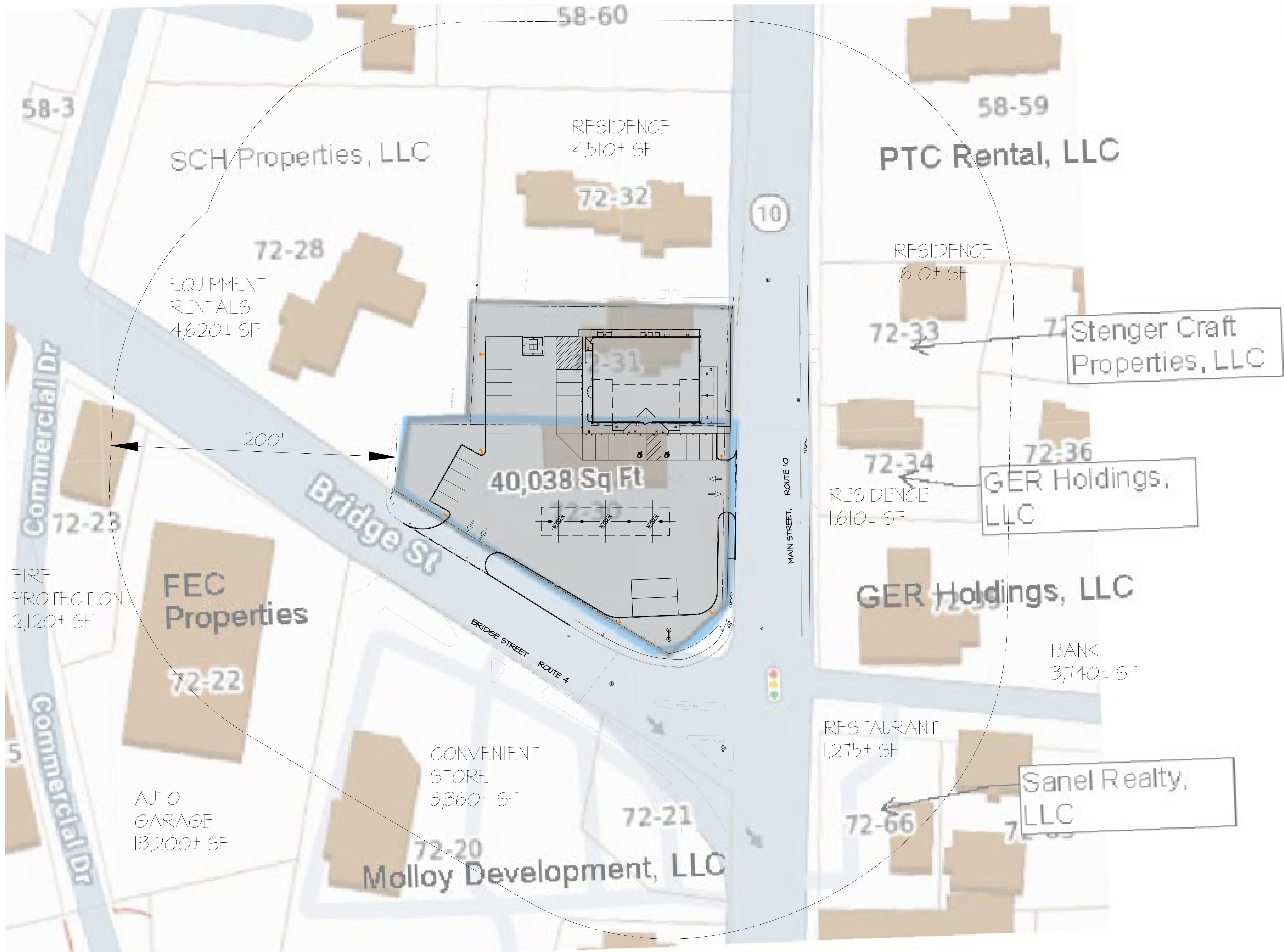
STEWART'S SHOPS
 CONVENIENCE STORE
 97 MAIN STREET
 WEST LEBANON, NH 03784

DRAWINGS THIS SHEET
 LANDSCAPING
 PLAN

NUMBER	DATE
1	5/11/26

SHEET NUMBER
 C105





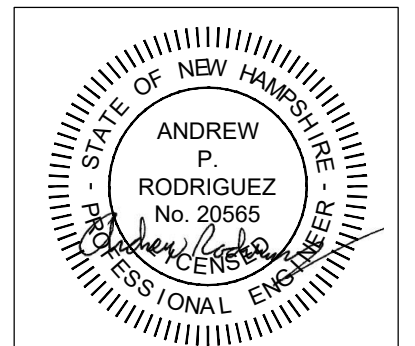
NO.	DATE	DESCRIPTION

STEWART'S SHOPS
 CONVENIENCE STORE
 97 MAIN STREET
 WEST LEBANON, NH 03784

DRAWINGS THIS SHEET
 ABUTTING PROPERTY
 PLAN

NUMBER	DATE
1	5/11/26

SHEET NUMBER
 C108



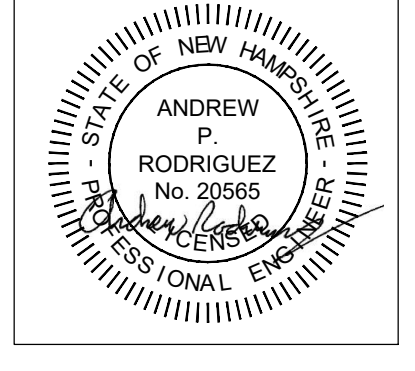
NO.	DATE	DESCRIPTION

STEWART'S SHOPS
 CONVENIENCE STORE
 97 MAIN STREET
 WEST LEBANON, NH 03784

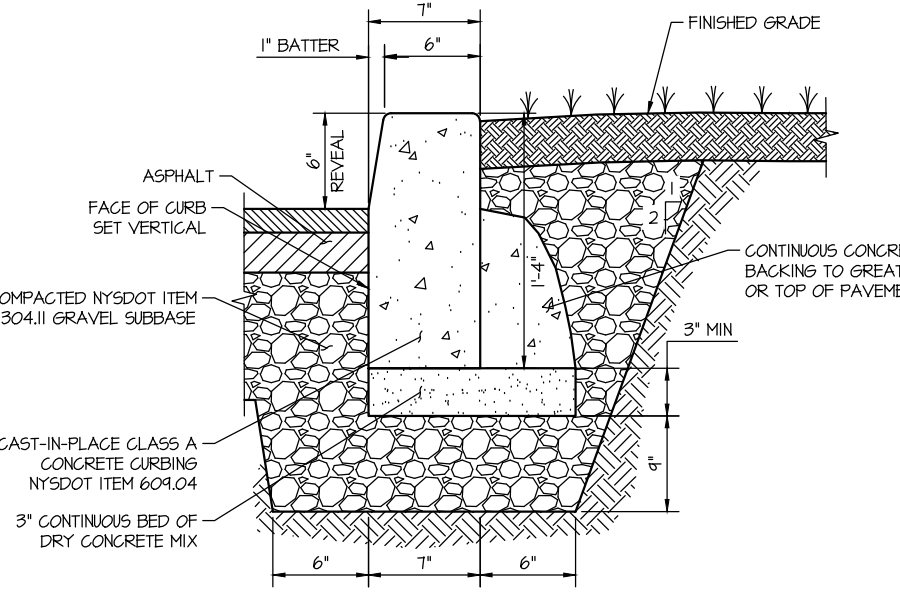
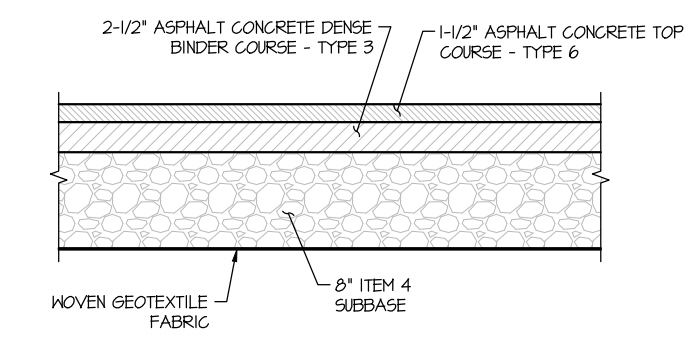
DRAWINGS THIS SHEET
 MISCELLANEOUS
 DETAILS

NUMBER	DATE
1	5/11/26

SHEET NUMBER
 C500

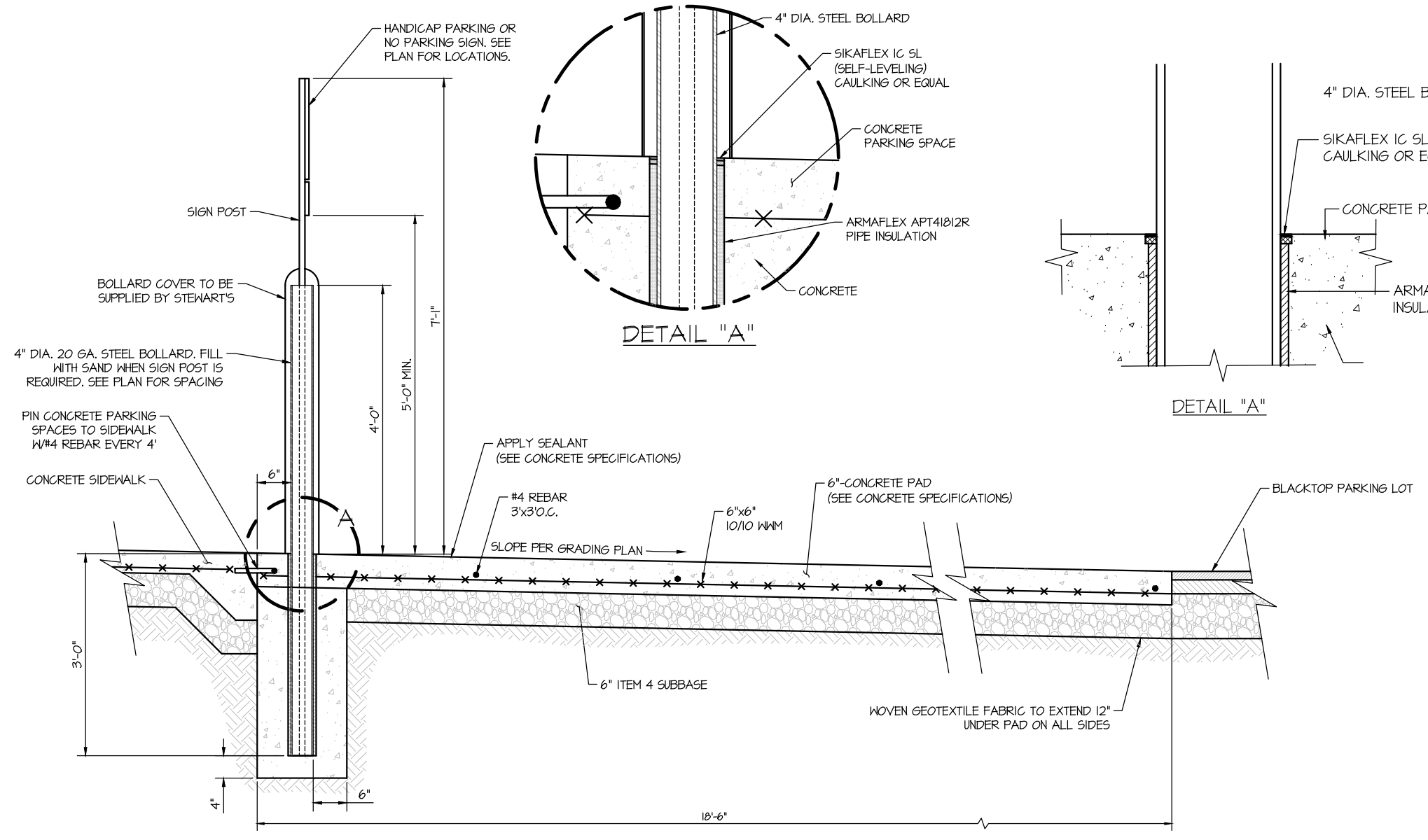


PARKING LOT PAVING SCHEDULE

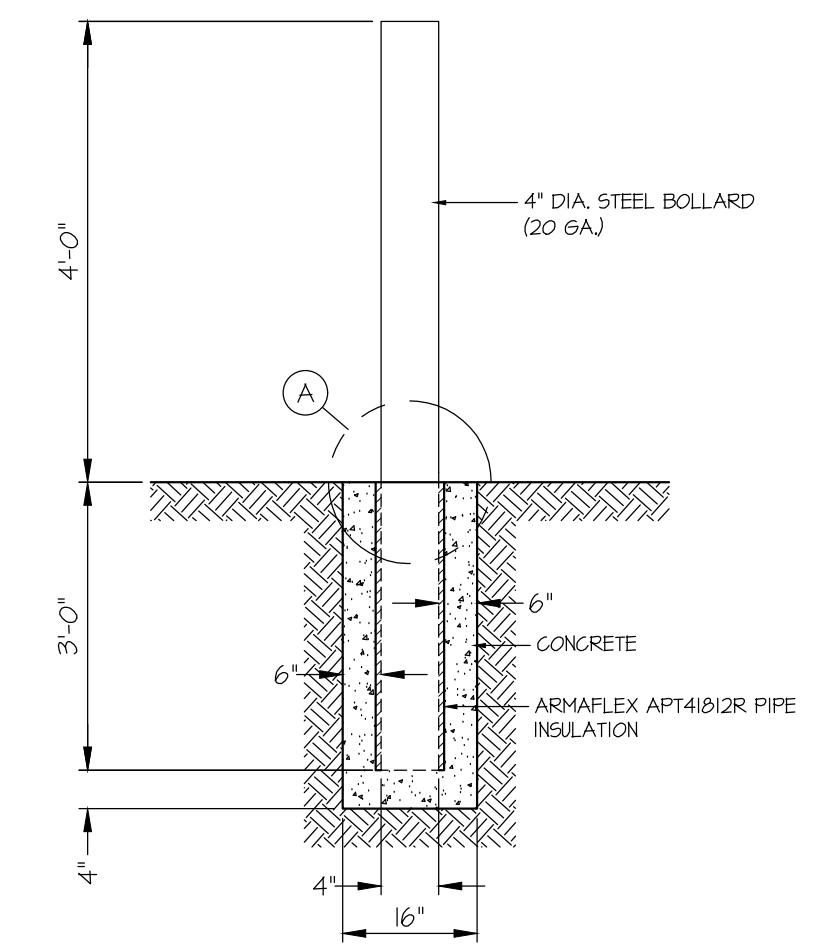


CAST-IN-PLACE CONCRETE CURBING

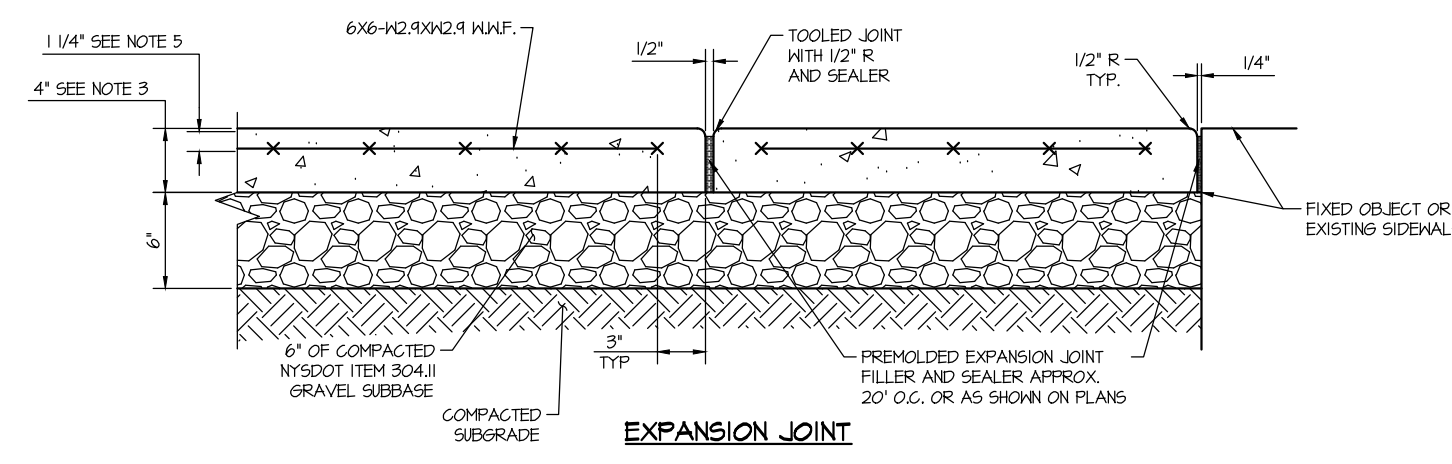
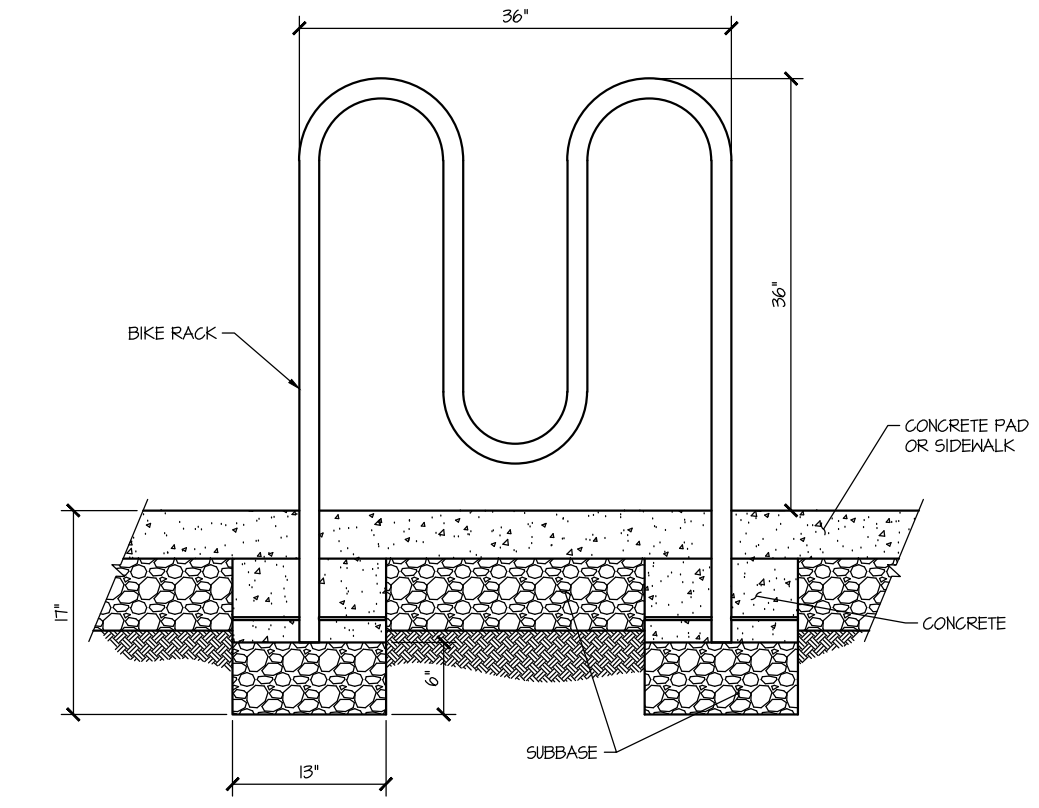
CONCRETE PAD UNDER PARKING SPACES



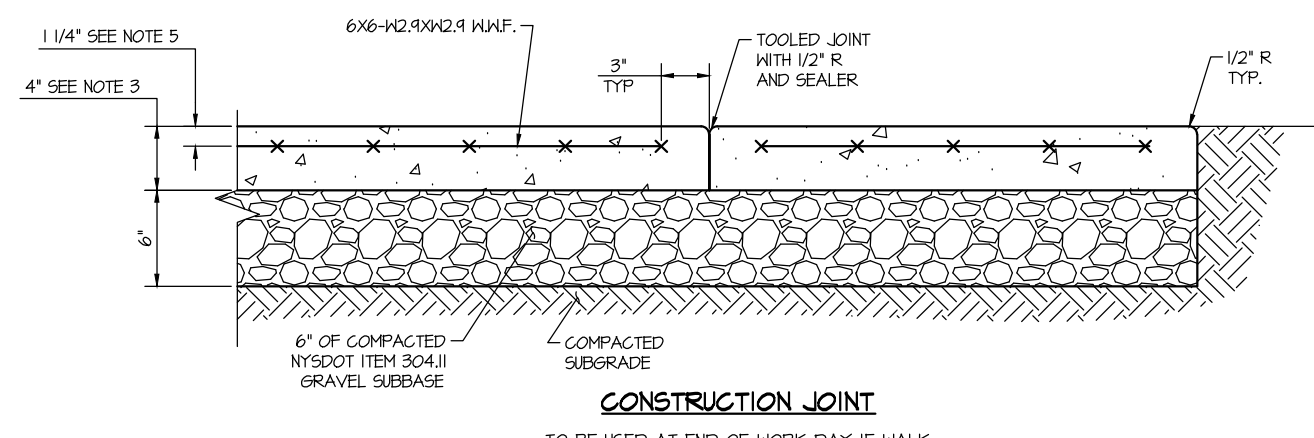
BOLLARD DETAIL



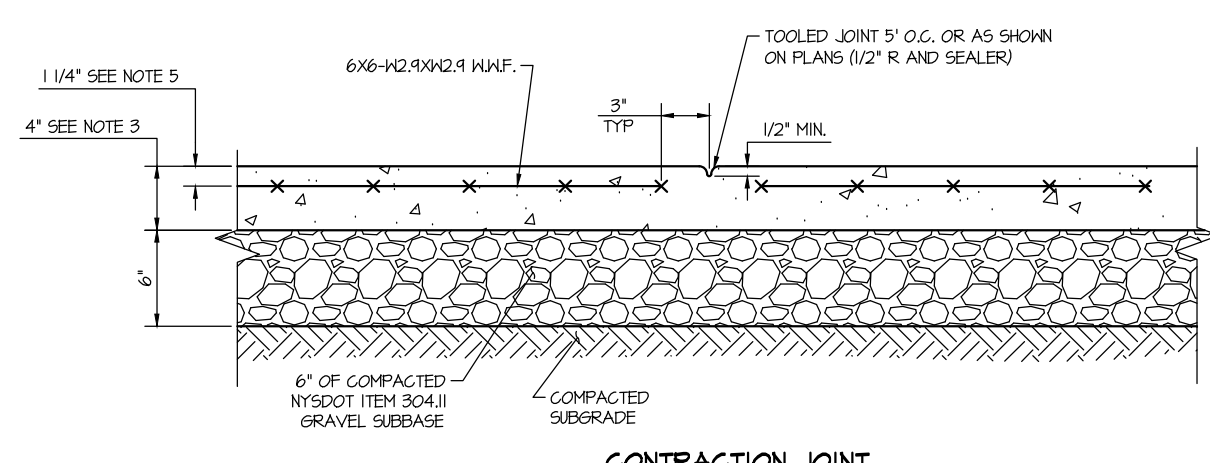
BIKE RACK DETAIL



EXPANSION JOINT



CONSTRUCTION JOINT

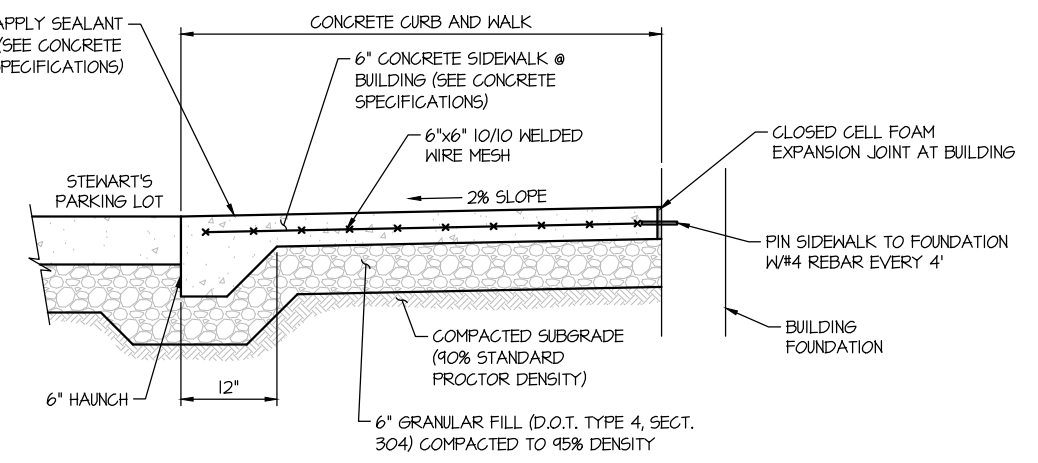


CONTRACTION JOINT

NOTES

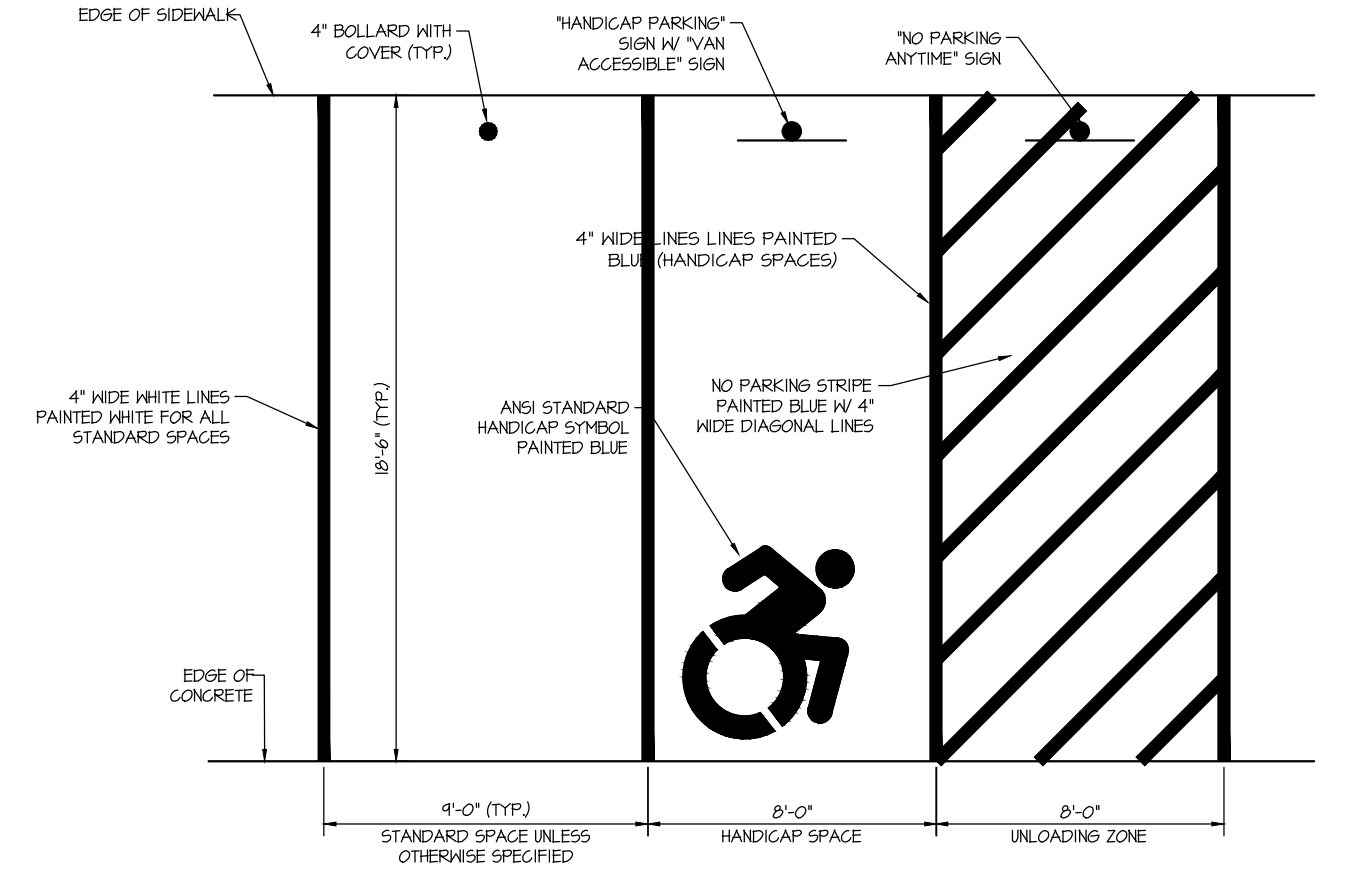
1. ALL EXPOSED SURFACES TO HAVE BROOMED TEXTURE.
2. WHERE IT IS ANTICIPATED THAT A CONCRETE SURFACE WILL HAVE SALT OR CALCIUM CHLORIDE APPLIED, THAT SURFACE SHALL BE TREATED WITH AN APPROVED WATER PROOFING MATERIAL.
3. THICKNESS OF SIDEWALK (D) TO BE 6\"/>

CONCRETE SIDEWALK DETAIL



CURB AND SIDEWALK DETAIL

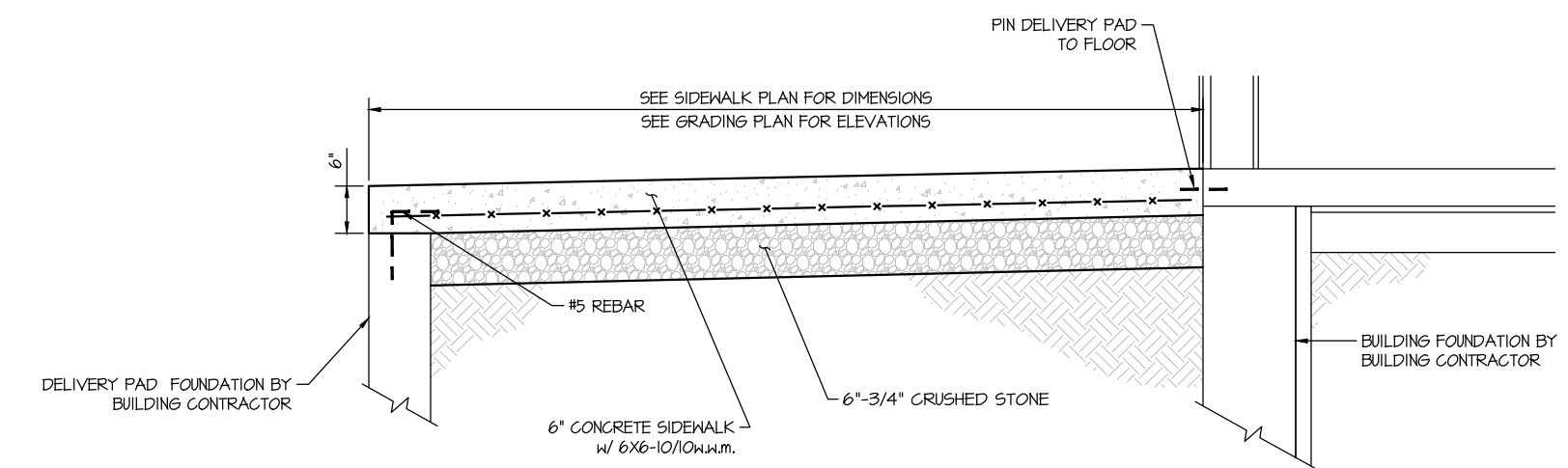
TYPICAL PARKING SPACE LAYOUT



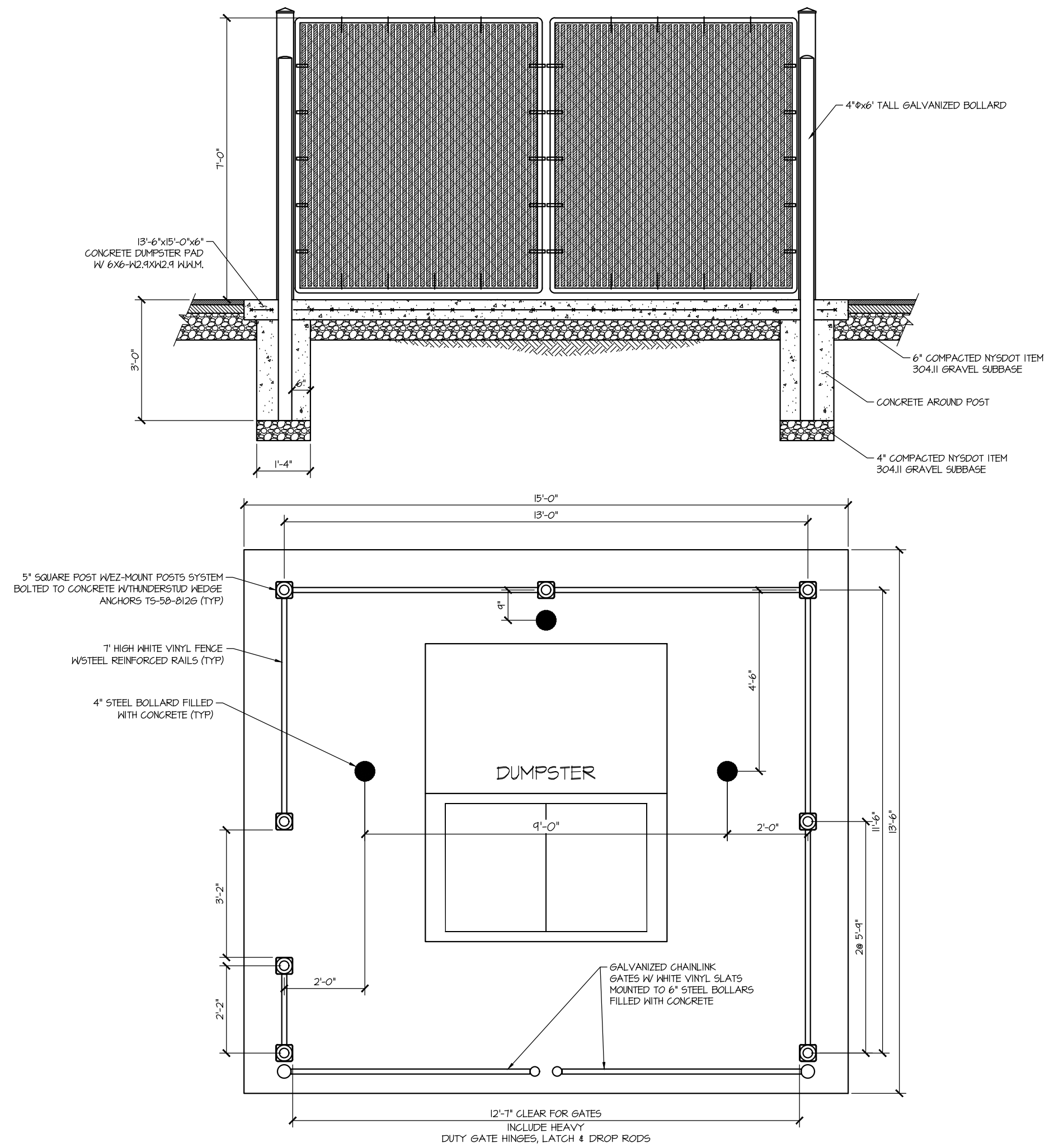
NOTE: MAXIMUM SLOPE WITHIN HANDICAPPED PARKING SPACE AND/OR STRIPED ASILE SHALL NOT EXCEED 1:50 (2%)

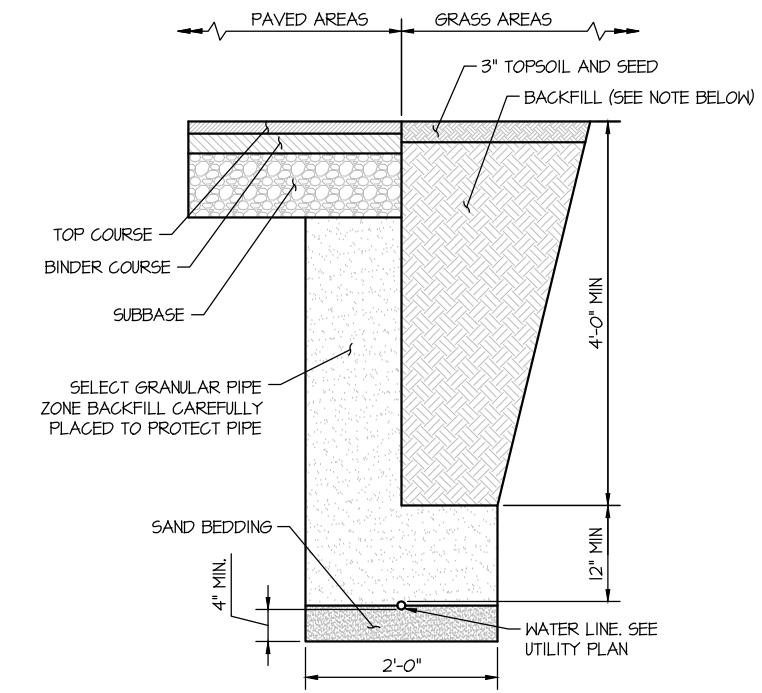
DELIVERY PAD SECTION

SCALE: 1/2\"/>



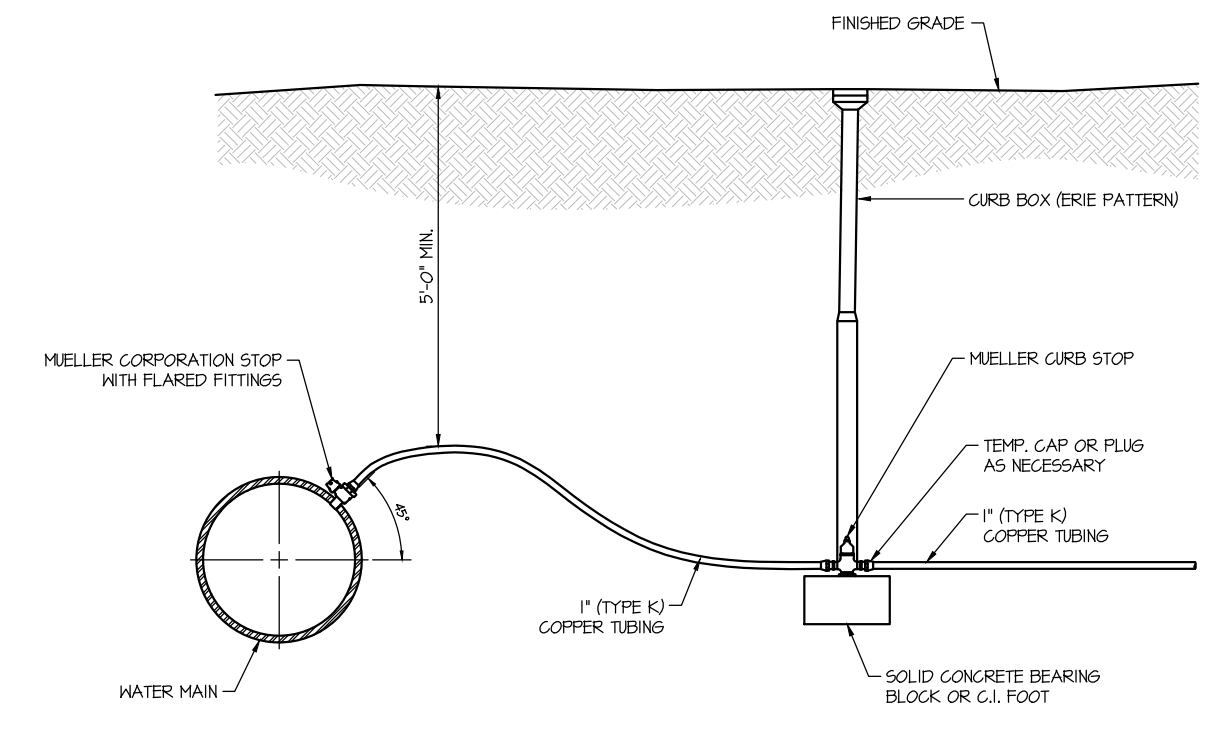
WHITE VINYL DUMPSTER ENCLOSURE



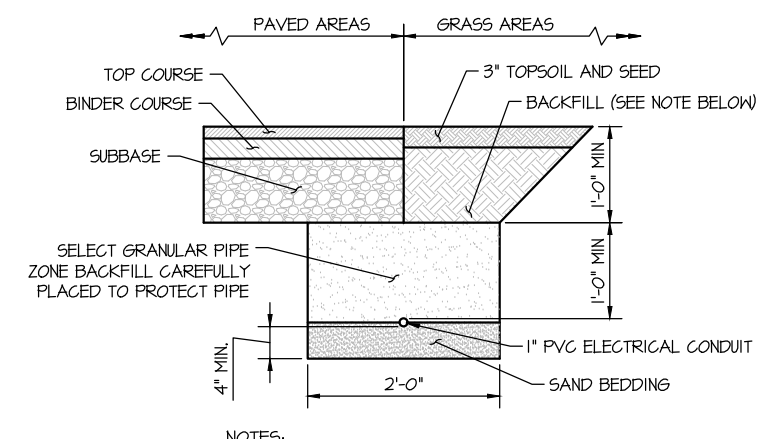


- NOTES:
1. ALL CULVERT BACKFILL SHALL CONFORM TO SECTION 200 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS, COMPACT 6\"/>
 - 2. ALL EXCAVATION AND TRENCHING SHALL MEET OSHA REQUIREMENTS AND ALL STATE AND LOCAL SAFETY REGULATIONS.

WATER LINE TRENCH AND BEDDING DETAIL

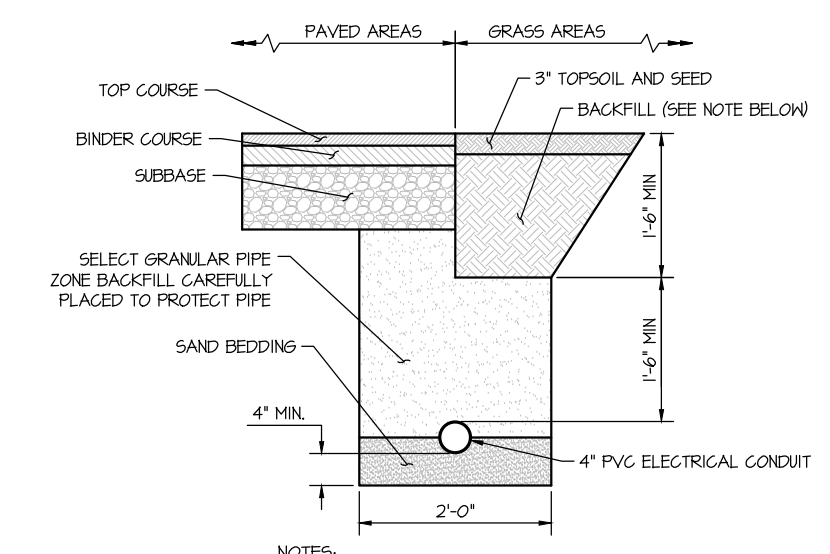


WATER SERVICE DETAIL



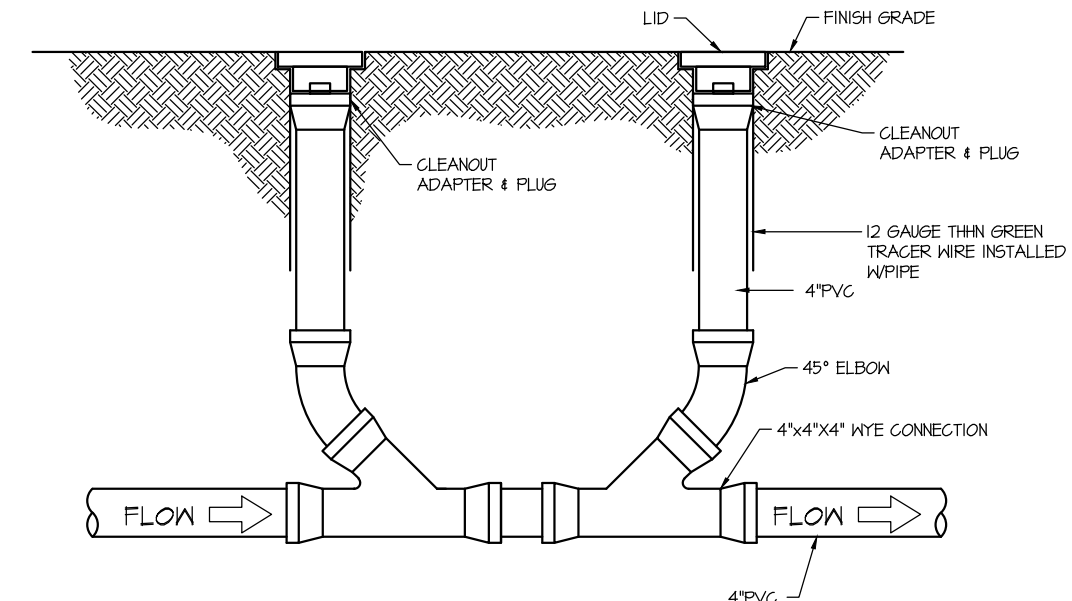
- NOTES:
1. ALL CULVERT BACKFILL SHALL CONFORM TO SECTION 200 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS, COMPACT 6\"/>
 - 2. ALL EXCAVATION AND TRENCHING SHALL MEET OSHA REQUIREMENTS AND ALL STATE AND LOCAL SAFETY REGULATIONS.

ELECTRIC & CAMERA CONDUIT TRENCH AND BEDDING DETAIL

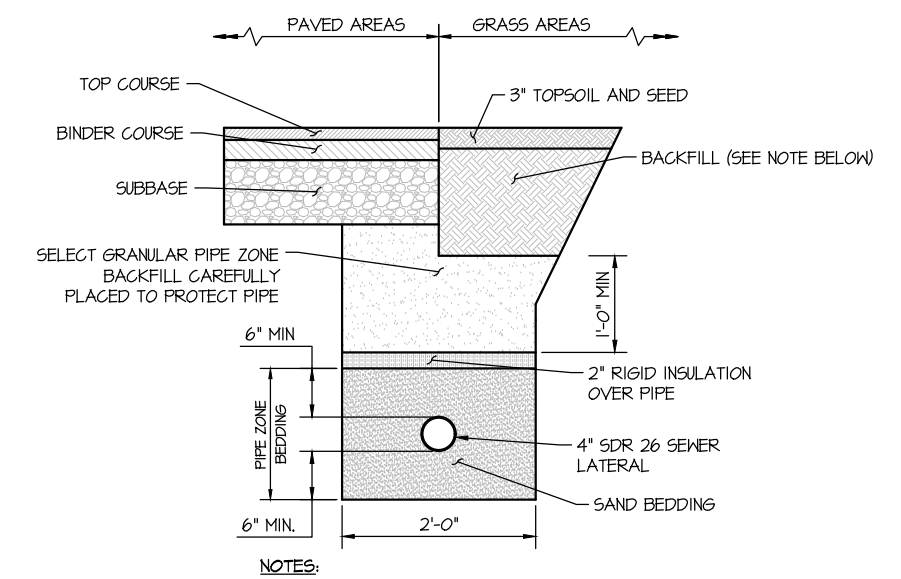


- NOTES:
1. ALL CULVERT BACKFILL SHALL CONFORM TO SECTION 200 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS, COMPACT 6\"/>
 - 2. ALL EXCAVATION AND TRENCHING SHALL MEET OSHA REQUIREMENTS AND ALL STATE AND LOCAL SAFETY REGULATIONS.

ELECTRICAL SERVICE TRENCH AND BEDDING DETAIL

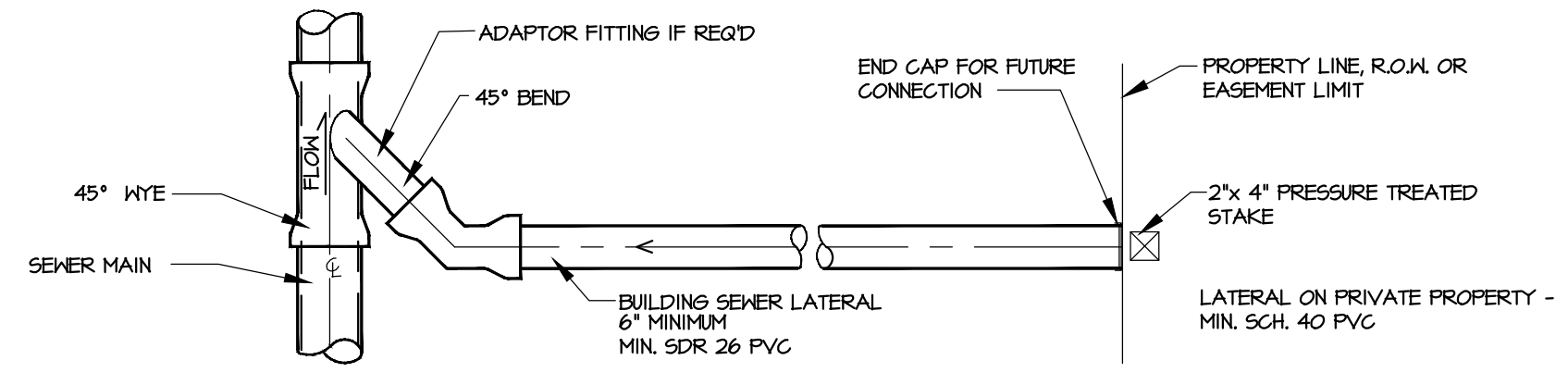


DOUBLE CLEANOUT DETAIL

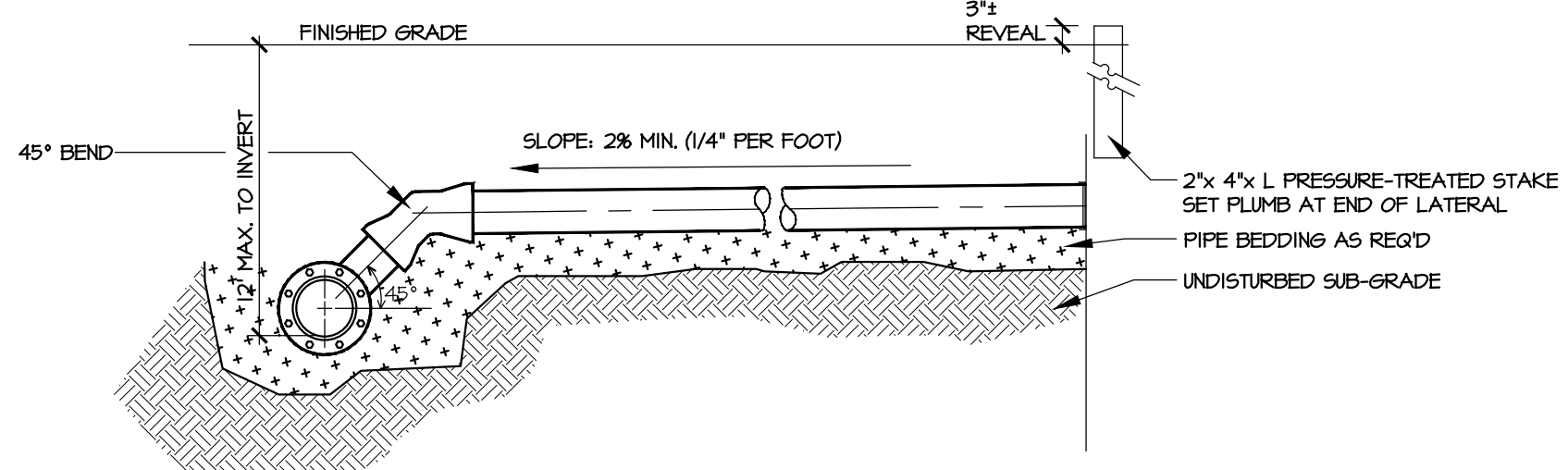


- NOTES:
1. ALL CULVERT BACKFILL SHALL CONFORM TO SECTION 200 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS, COMPACT 6\"/>
 - 2. ALL EXCAVATION AND TRENCHING SHALL MEET OSHA REQUIREMENTS AND ALL STATE AND LOCAL SAFETY REGULATIONS.

PVC SEWER LATERAL TRENCH AND BEDDING DETAIL



SEWER SERVICE CONNECTION - PLAN



SEWER SERVICE CONNECTION - SECTION

GRAVITY SEWER SERVICE DETAIL

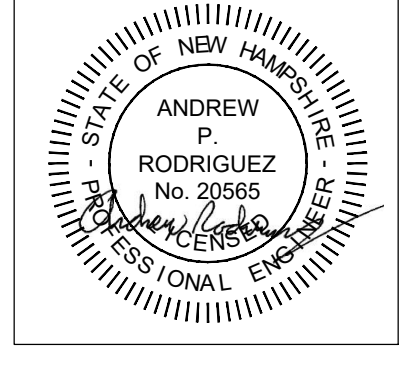
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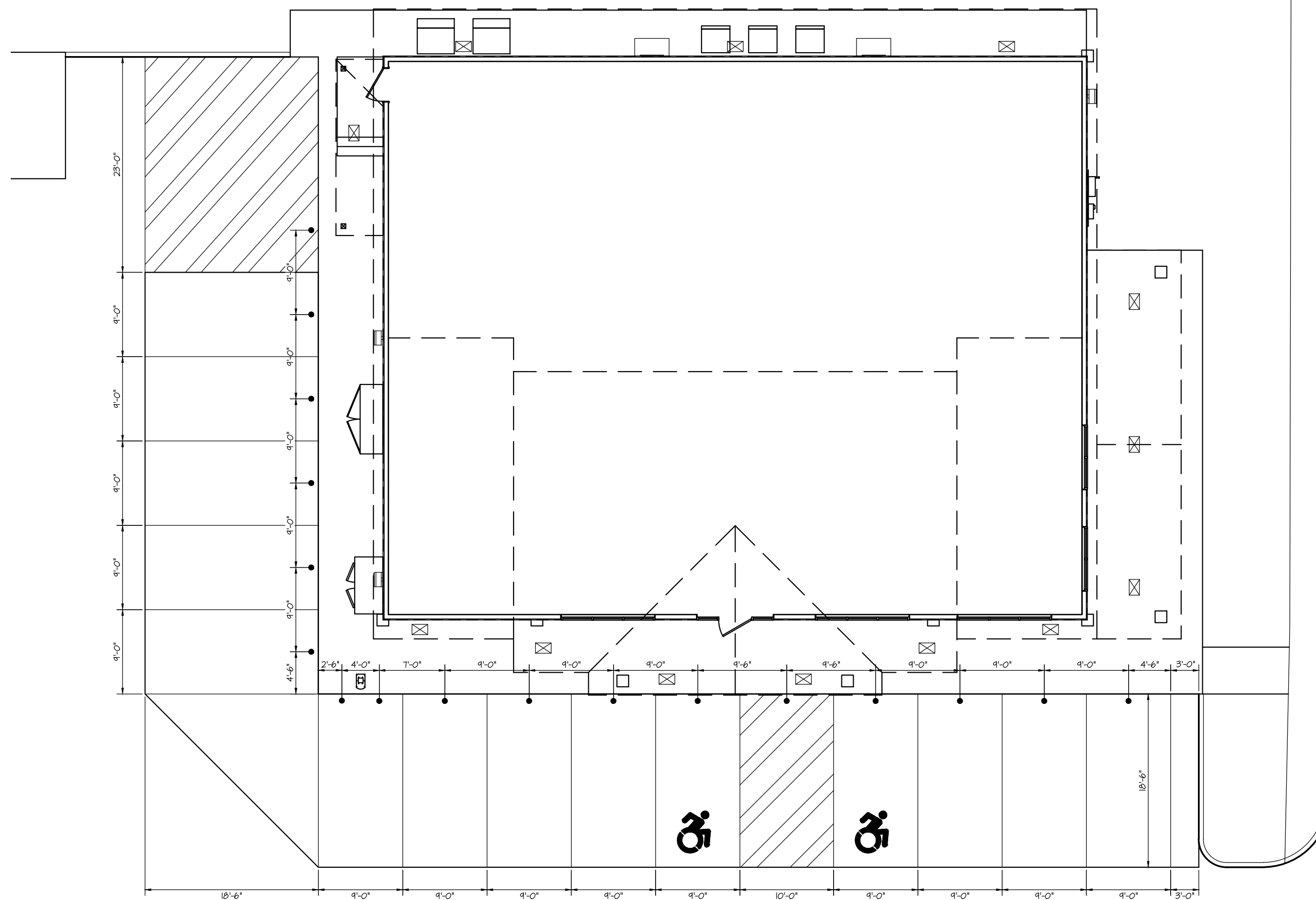
STEWART'S SHOPS
 CONVENIENCE STORE
 97 MAIN STREET
 WEST LEBANON, NH 03784

DRAWINGS THIS SHEET
 UTILITY
 DETAILS

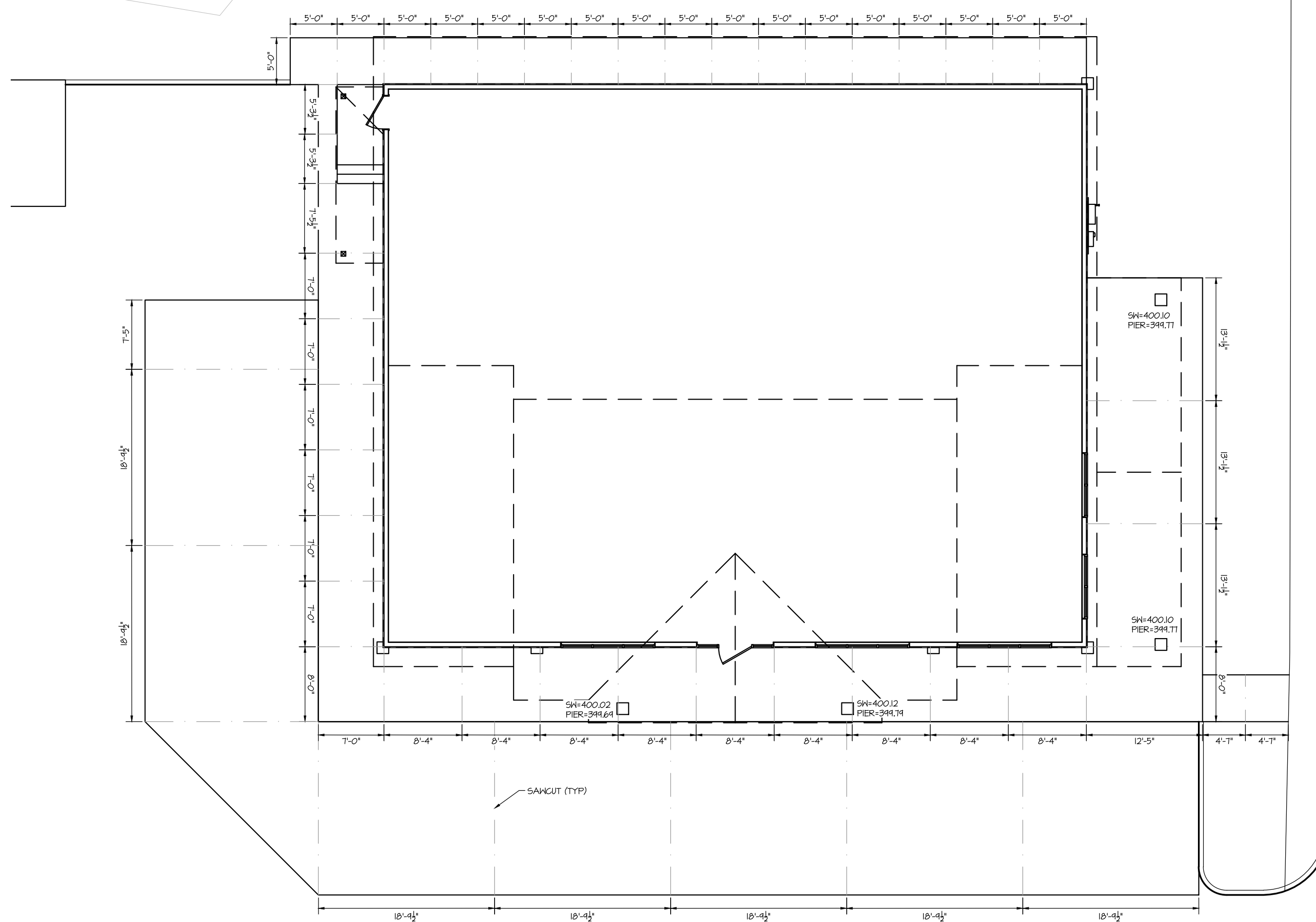
NUMBER	DATE
1	5/11/26

SHEET NUMBER
 C501





PARKING LAYOUT



SIDEWALK & PARKING PAD LAYOUT

SPECIFICATIONS - EXTERIOR CONCRETE FLATWORK (PARKING SPACES, SIDEWALKS, TANK MAT & DRIVE APRONS)

CONCRETE MATERIALS

- A. PORTLAND CEMENT: ASTM C 50, TYPE I OR TYPE II ONLY.
- B. FLY ASH: ASTM C 618, TYPE F.
- C. GROUND-GRANULATED, BLAST-FURNACE SLAG: ASTM C 491, GRADE 100 OR 120.
- D. WATER: ASTM C 94, CLEAN, FRESH, POTABLE.
- E. AGGREGATE: FROM NYSDOT-APPROVED SOURCES IF INDICATED AS REACTIVE FOR ALKALI-SILICA REACTIVITY (ASR) BY NYSDOT. THESE AGGREGATES MUST BE USED IN CONJUNCTION WITH LOW ALKALI CEMENT (LOWER EQUIVALENT ALKALI) OR CLASS F FLY ASH, SUBSTITUTED FOR PORTLAND CEMENT AT A RATE OF 10-20% BY MASS.

ADMITTIVES

- A. AIR-ENTRAINING: ASTM C 260.
- B. SET-RETARDING ADMITTIVES: ADMITTIVE SHALL CONFORM TO ASTM C 494, TYPE B OR D. USE AS NEEDED, WITH PRIOR APPROVAL ONLY.
- C. ACCELERATING ADMITTIVES: ADMITTIVE SHALL CONFORM TO ASTM C 494, TYPE C OR E. USE AS NEEDED, WITH PRIOR APPROVAL ONLY.
- D. CALCIUM CHLORIDE: NOT PERMITTED.
- E. HIGH-RANGE, WATER-REDUCING ADMITTIVE (SUPERPLASTICIZER): ADMITTIVE SHALL CONFORM TO ASTM C 494, TYPE F OR G.
- F. WATER-REDUCING ADMITTIVE (NORMAL): ADMITTIVE SHALL CONFORM TO ASTM C 494, TYPE A.
- G. MID-RANGE, WATER REDUCER: ADMITTIVE SHALL CONFORM TO ASTM C 494, TYPE A OR F.

CONCRETE MIX DESIGN

- A. MINIMUM COMPRESSIVE STRENGTH: 4000 PSI
- B. MAXIMUM WATER/CEMENTitious MATERIALS RATIO (W/C): 0.45
- C. AIR CONTENT: 5.0% +/- 0.3% AT POINT OF PLACEMENT
- D. SLUMP LIMIT: 5 TO 5 INCHES WHEN NORMAL OR MID-RANGE WATER REDUCERS ARE UTILIZED
- E. SLUMP LIMIT: UP TO 6 INCHES WHEN HIGH-RANGE WATER REDUCERS ARE UTILIZED

PRIOR TO CONCRETE PLACEMENT

- A. PRIOR TO CONCRETE PLACEMENT, SUBMIT A COPY OF THE PROPOSED MIX DESIGN FOR REVIEW AND APPROVAL.
- B. SUBGRADE AND/OR SUBBASE SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT DOCUMENTS PRIOR TO CONCRETE PLACEMENT.
- C. DO NOT PLACE CONCRETE ON FROZEN SUBGRADE OR SUBBASE.

CONCRETE PLACEMENT

- A. DO NOT ADD WATER TO THE CONCRETE MIX DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT (UNLESS APPROVED BY OWNER'S REPRESENTATIVE, AND ONLY WHEN MIX WATER IS DOCUMENTED ON A COMPUTER GENERATED BATCH TICKET AS BEING WITHHELD AT THE BATCH PLANT. DO NOT EXCEED THE TOTAL AMOUNT OF WATER IN THE APPROVED MIX DESIGN.
- B. DEPOSIT AND CONSOLIDATE CONCRETE IN CONTINUOUS OPERATION WITHIN LIMITS OF CONSTRUCTION JOINTS UNTIL PLACING OF PANEL OR SECTION IS COMPLETE.
- C. BRING SLAB SURFACES TO CORRECT LEVEL AND STRIKE-OFF.
- D. IF USING A VIBRATORY SCREED IT SHOULD BE MOVED RAPIDLY, ENSURING CONSOLIDATION BUT AVOIDING WORKING UP EXCESSIVE MORTAR AND MOISTURE TO THE CONCRETE SURFACE.
- E. BEFORE BLEED WATER STARTS TO APPEAR, LEVEL AND SMOOTH THE CONCRETE SURFACE FURTHER USING A BULL FLOAT OR DAINRY. KEEP THE BULL FLOAT AS FLAT AS POSSIBLE TO AVOID PREMATURE SEALING OF THE SURFACE. CARE SHOULD BE TAKEN TO NOT COVER FLOAT THE SURFACE.
- F. DO NOT FURTHER DISTURB THE CONCRETE SURFACE BEFORE STARTING THE FINISHING OPERATIONS.

FINISHING

- A. WHILE THE CONCRETE IS STILL PLASTIC, AND AFTER THE CONCRETE HAS STOPPED BLEEDING (THE WATER SHEEN HAS LEFT THE SURFACE), A FINAL FLOAT FINISH MAY BE APPLIED IF NEEDED.
- B. IMMEDIATELY AFTER THE FINAL FLOAT FINISH, APPLY A NON-SLIP, LITE BROOM FINISH WITH A FIBER BRISTLE BROOM, PERPENDICULAR TO THE MAIN TRAFFIC ROUTE.
- C. FINISHING SHOULD BE DELAYED AS LONG AS POSSIBLE.
- D. AT NO TIME DURING THE FINISHING PROCESS SHOULD WATER OR CEMENT BE ADDED TO THE CONCRETE SURFACE.
- E. CONCRETE IS NOT TO BE STEEL TROTTLED EITHER BY HAND OR MACHINE PRIOR TO THE BROOM FINISHING. ONE PASS OF A MACHINE TO POWER FLOAT WILL BE PERMITTED WITH FLOAT BLACKS FLAT.
- F. HIG SHANKGRIP SLIP RESISTANT ADDITIVE FOLLOW IAC SPEC'S FOR PREP AND INSTALL.

JOINTS

- A. SAW CUT CONTRACTION JOINTS AS SOON AS POSSIBLE AFTER FINISHING, GENERALLY WITHIN 4 TO 6 HOURS. MAKE SAMPLE CUT TO DETERMINE IF CONCRETE SURFACE IS FIRM ENOUGH SO IT IS NOT TORN OR DAMAGED BY BLADE.
- B. DEPTH OF CUT SHOULD BE ONE-FOURTH OF THE SLAB THICKNESS, WITH A MINIMUM DEPTH OF 1-INCH.

CURING

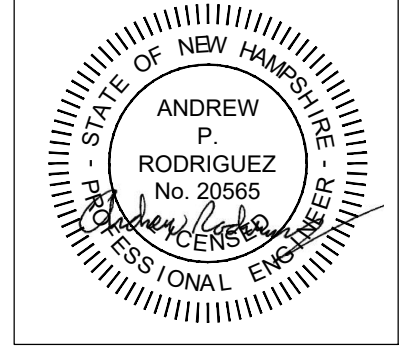
- A. WITHIN 2 HOURS OF THE FINAL FINISH, APPLY CHEMMASTER® SILENCURE™ A OR SPECIEN CURESHIELD EX CURING AND SEALING COMPOUND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND AT LOCATIONS INDICATED ON THE DRAWINGS.
- B. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COOLD OR HOT TEMPERATURES FOR AT LEAST 5 DAYS.

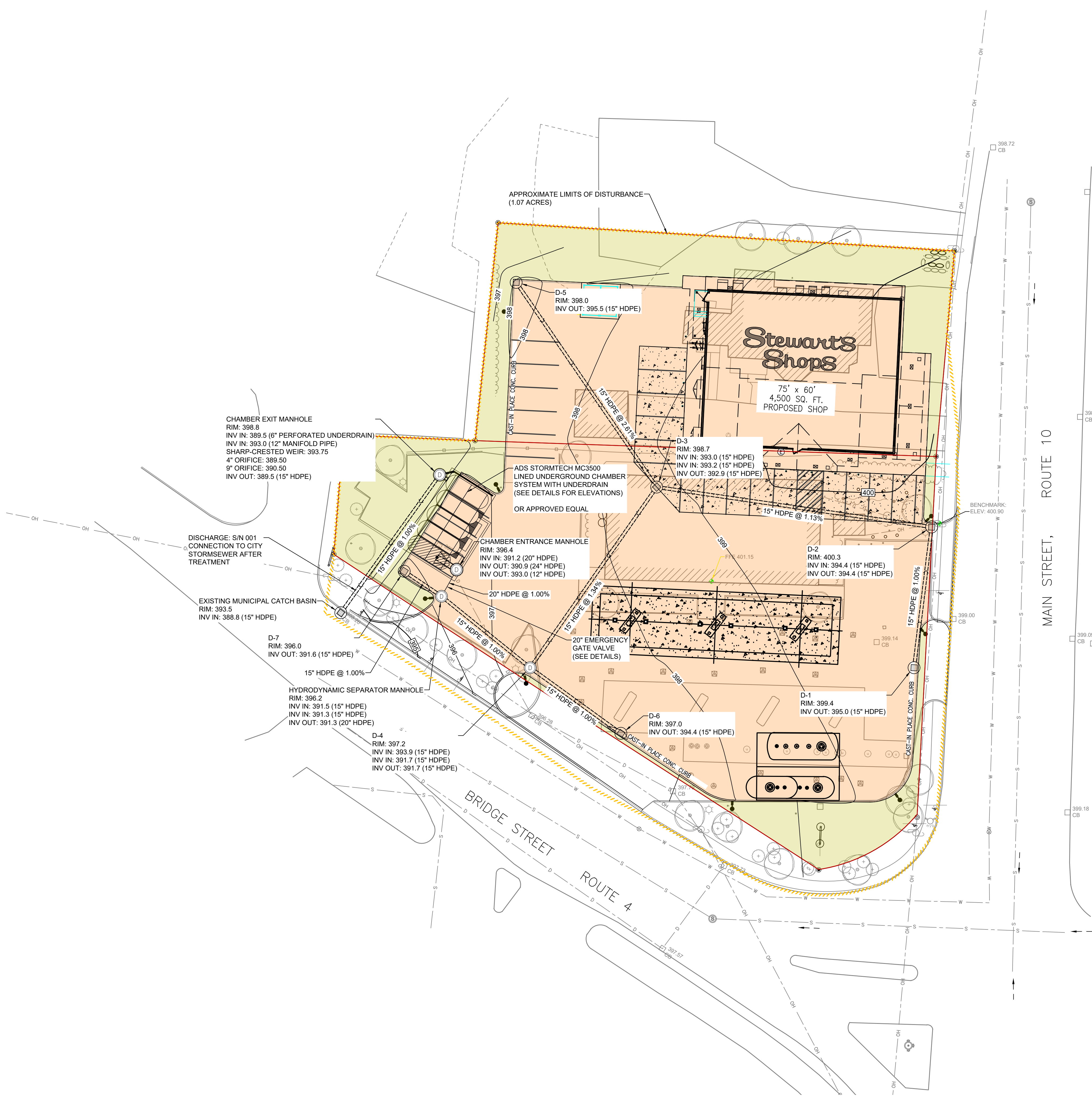
QUALITY CONTROL/QUALITY ASSURANCE

- A. THE OWNER WILL ENGAGE A QUALIFIED INDEPENDENT TESTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS TO MEET THE LOCAL CODE REQUIREMENTS AND PREPARE TEST REPORTS.
- B. CONCRETE TESTS - TESTING OF COMPOSITE SAMPLES OF FRESH CONCRETE SHALL BE PERFORMED ACCORDING TO THE FOLLOWING REQUIREMENTS:
 1. TESTING FREQUENCY: OBTAIN ONE COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE EXCEEDING 5 CU. YD., BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF.
 2. SLUMP: ASTM C 143, MIN. ONE TEST AT POINT OF TRUCK DISCHARGE, FOR EACH TRUCK DELIVERY TO THE SITE, AND FOR EACH COMPOSITE SAMPLE. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE. SLUMP SHALL BE MEASURED AT THE POINT OF PLACEMENT AS WELL AS TRUCK GATE WHEN BEING PUMPED. CONCRETE WITH SLUMP IN EXCESS OF 16" SPECIFIED MAXIMUM SHALL NOT BE PLACED ON THE PROJECT.
 3. AIR CONTENT: ASTM C 203, 204, 206 PRESSURE METHOD, FOR NORMAL WEIGHT CONCRETE, ONE TEST FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE. TEST AT TRUCK DISCHARGE FOR ACCEPTANCE BASED ON SPECIFICATION. ALSO TEST AT THE END OF THE PUMP HOSE FOR PUMPED CONCRETE. CONCRETE WITH AIR CONTENT OUTSIDE OF THE SPECIFIED LIMITS SHALL NOT BE PLACED ON THE PROJECT.
 4. COMPRESSIVE-STRENGTH TESTS: ASTM C 39, C 39M TEST ONE SET OF LABORATORY-CURED SPECIMENS AT 7 DAYS AND ONE SET OF LABORATORY-CURED SPECIMENS AT 28 DAYS. RESERVE ONE SET OF SPECIMENS FOR FURTHER TESTING IF REQUIRED.
 5. ADDITIONAL TESTING AND INSPECTING, AT CONTRACTOR'S EXPENSE, WILL BE PERFORMED TO DETERMINE COMPLIANCE OF REPLACED OR ADDITIONAL WORK WITH SPECIFIED REQUIREMENTS.

NO.	DATE	DESCRIPTION

NUMBER	DATE
1	5/11/26





LEGEND

	POINT OF INTEREST AREA
	SOIL GROUP IDENTIFIER
	SOIL GROUP BOUNDARY
	APPROXIMATE LIMITS OF DISTURBANCE
	POINT OF INTEREST BOUNDARY
	EXISTING PERVIOUS AREA
	NEW PERVIOUS AREA
	EXISTING IMPERVIOUS AREA
	REDEVELOPED/NEW IMPERVIOUS AREA
	REDEVELOPED IMPERVIOUS AREA
	INFILTRATION TESTING LOCATION

NOTE: SOME SYMBOLS MAY NOT APPEAR ON ALL PLANS.

GENERAL NOTES

CATCHMENT AREA			
	Total	Impervious	Pervious
EXISTING	0.93 ac 40,421 sf	0.63 ac 27,387 sf	0.30 ac 13,034 sf
PROPOSED	0.93 ac 40,421 sf	0.73 ac 31,814 sf	0.20 ac 8,607 sf

DESIGN STORMS	
STORM EVENT	RAINFALL DEPTH (in.)
WQV Storm	1
2-Year	2.49
25-Year	4.37
50-Year	5.11
100-Year	5.97

source: <http://precip.eas.cornell.edu/>

PRE/POST DESIGN FLOW		
STORM	PRE (Q/V) (cfs/ct)	POST (Q/V) (cfs/ct)
WQV	0.45 / 887	0.35 / 1350
2-Yr	2.45 / 4617	2.45 / 5662
25-Yr	5.13 / 10367	3.87 / 11717
50-Yr	6.22 / 12720	4.47 / 14157
100-Yr	7.48 / 15507	7.30 / 17032

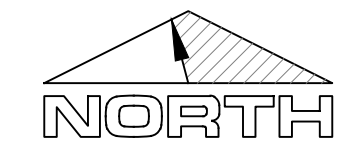
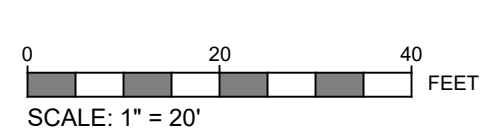
CHAMBER SYSTEM DETAILS	
TRIBUTARY AREA	0.93 AC
CHAMBER TYPE	StormTech MC-3500
NUMBER OF CHAMBERS	10
TOTAL PROVIDED STORAGE	2877 CF
WQV REQUIRED (cf)	1127 CF
PEAK STORAGE 2-Year (cf)	1436 CF
PEAK STORAGE 100-Year (cf)	2759 CF
DESIGN EXFILTRATION RATE (from underdrain)	0.6 CFS

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	BENCHMARK	
	IRON PIN	
	IRON PIPE	
	CAPPED IRON ROD	
	BOUNDARY MARKER/MONUMENT	
	STATE, COUNTY OR MUNICIPAL RIGHT-OF-WAY	
	EASEMENT	
	SETBACK	
	PROPERTY LINE	
	FENCE	
	GUARDRAIL	
	BOLLARD	
	MAILBOX	
	SIGN	
	SIGN (2-POST)	
	FLAG POLE	
	CATCH BASIN	
	STORM DRAIN MANHOLE	
	STORM DRAIN	
	SANITARY SEWER CLEAN-OUT	
	SANITARY SEWER MANHOLE	
	SANITARY SEWER	
	SANITARY FORCE MAIN	
	GATE VALVE	
	CURB STOP/WATER SHUT-OFF	
	FIRE HYDRANT	
	WATER SUPPLY MAIN OR SERVICE	
	LIGHT POLE OR FIXTURE	
	UTILITY POLE	
	OVERHEAD UTILITIES	
	UNDERGROUND ELECTRICAL SERVICE	
	UNDERGROUND GAS SERVICE	
	CONIFEROUS TREE	
	DECIDUOUS TREE	
	SHRUBS	
	BRUSH LINE	
	TREE LINE	
	STONE WALLS	
	EDGE OF WATERWAY (OHW)	
	APPROXIMATED WETLANDS BOUNDARY	

NOTE: SOME SYMBOLS MAY NOT APPEAR ON ALL DRAWINGS

1 STEWARTS LEBANON: PROPOSED STORMWATER MANAGEMENT PLAN



P.O. BOX 139, 150 DEPOT STREET
BENNINGTON, VERMONT 05201
PH: (802) 447-1402 FAX: (802) 445-1591

NO.	DATE	DESCRIPTION
1	05/06/2026	PER TOWN COMMENTS

STEWARTS LEBANON
STEWARTS SHOP CORP
LEBANON, NH

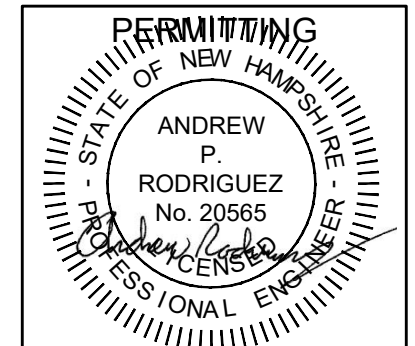
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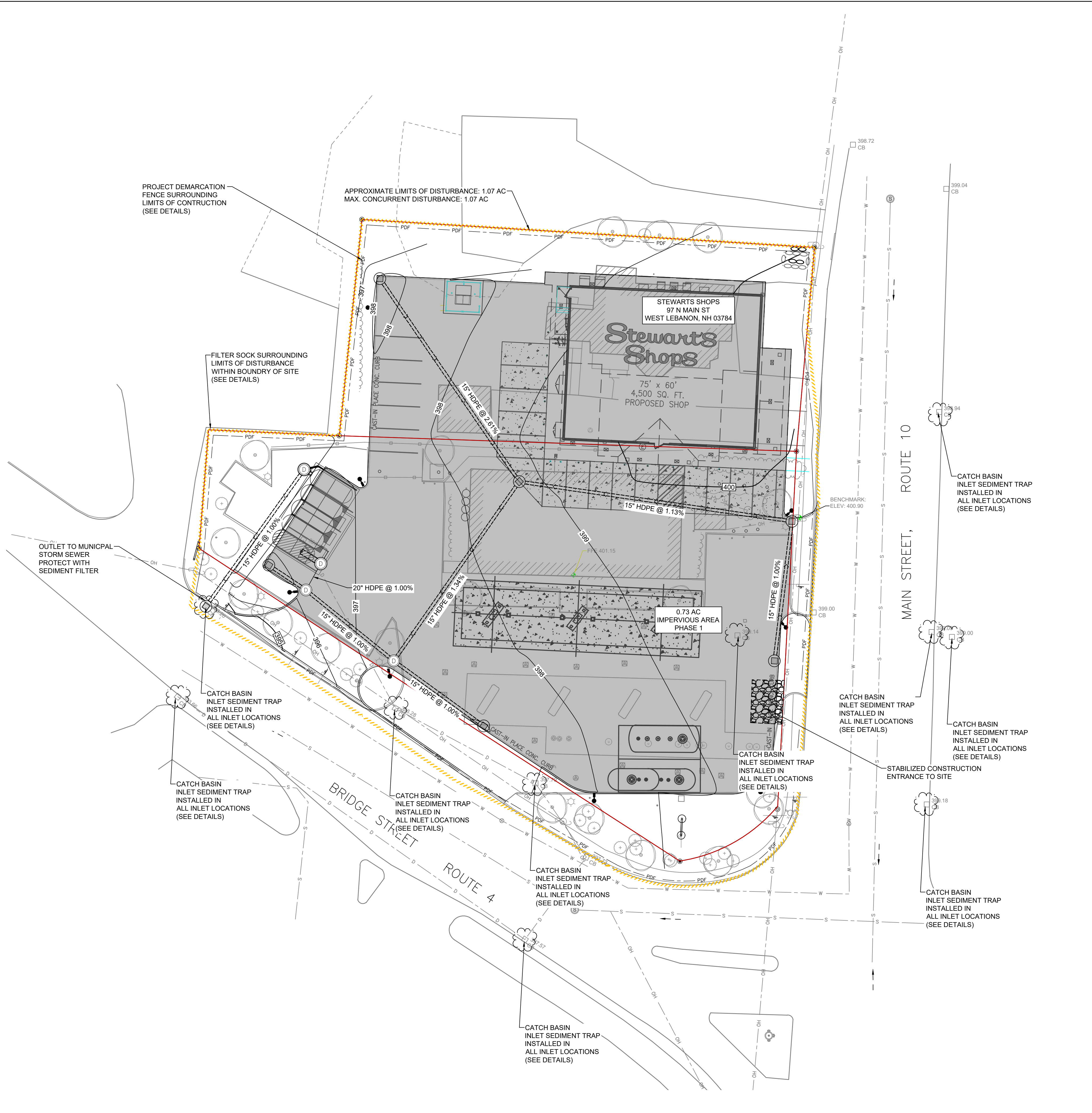
PROPOSED STORMWATER MANAGEMENT PLAN

NUMBER	DATE
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DRAWN	CHECKED
LM	JC

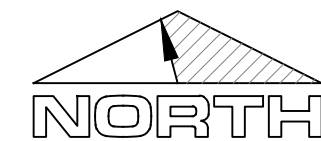
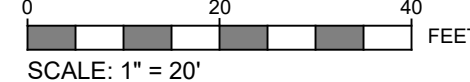
SHEET NUMBER

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1 STEWARTS LEBANON: EROSION CONTROL PLAN



EROSION PREVENTION/SEDIMENT CONTROL (EPSC) NOTES

- SEDIMENT BASINS/TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, STABILIZED CONSTRUCTION ENTRANCES, AND OTHER MEASURES CONSTRUCTED AS THE INITIAL STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, OR SLOPE DRAIN STRUCTURE.
- WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED AND SHALL CONVEY CLEAN RUNOFF IN A NON-EROSIVE MANNER TO AN OUTLET.
- BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE AND RECEIVING CHANNEL.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THESE STANDARDS AND OTHER APPLICABLE CRITERIA: NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME; EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES;
- DISTURBED AREAS BORDERING AND DRAINING TO ANY ROADWAY MUST HAVE AN APPROPRIATE SEDIMENT BARRIER SPANNING THE DISTURBANCE EDGE TO PREVENT MIGRATION OF SEDIMENT.
- ALL AREAS OF DISTURBANCE, INCLUDING STOCK PILES, MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 14 DAYS OF THE INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE TEMPORARILY OR PERMANENTLY STABILIZED IN ADVANCE OF ANY RUN OFF PRODUCING EVENT. THE FOLLOWING EXCEPTIONS APPLY:
 - STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE SAME AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
 - STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION (I.E. NO OUTLET) WITH 2 FT OR GREATER DEPTH (E.G. FOUNDATION EXCAVATION, UTILITY TRENCHES).
- MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. EXCEPT AS NOTED BELOW, ALL SITES SHALL BE SEEDED AND STABILIZED WITH EROSION CONTROL MATERIALS, SUCH AS MULCH OR ROLLED EROSION CONTROL PRODUCTS, INCLUDING AREAS WHERE CONSTRUCTION HAS BEEN SUSPENDED OR SECTIONS COMPLETED:
 - ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS (E.G. RECP), OR IF APPROPRIATE, VEGETATIVE MEASURES (SOD).
 - FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FT. OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM CONSISTING, FOR EXAMPLE, OF SILT FENCING, SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL. EXPOSED DISTURBED AREAS ADJACENT TO A CONVEYANCE THAT PROVIDES RAPID OFFSITE DISCHARGE OF SEDIMENT, SUCH AS A CUT SLOPE AT AN ENTRANCE, SHALL BE COVERED WITH PLASTIC OR GEOTEXTILE TO PREVENT SOIL LOSS UNTIL STABILIZED. STABILIZED CONSTRUCTION ENTRANCES WILL BE MAINTAINED TO CONTROL VEHICLE TRACKING MATERIAL OFF SITE.
 - PERMANENT SEEDING SHALL ONLY BE UNDERTAKEN IN THE SPRING FROM APRIL THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL UNTIL SEPTEMBER 15, EXCEPT THAT PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLOWS PROVIDE FOR ADEQUATE WATERING. DURING THE PEAK SUMMER MONTHS AND AFTER SEPTEMBER 15, IF SEEDING IS FOUND TO BE IMPRACTICABLE, AN APPROPRIATE TEMPORARY STABILIZATION IS STRAWHAY MULCH OR WOODCHIPS.
 - TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS. SIMILARLY, STABILIZATION OF CONTRIBUTORY DRAINAGE AREAS SHALL BE ESTABLISHED PRIOR TO CONVERTING SEDIMENT TRAPS/BASINS INTO PERMANENT (POST-CONSTRUCTION) STORMWATER MANAGEMENT PRACTICES.
 - STABILIZATION MEASURES, TEMPORARY OR PERMANENT, SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
 - UPON COMPLETION, ALL SLOPES STEEPER THAN 3:1 (H:V) OR 33.3%, PERIMETER DIKE/SWALES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS SHALL BE IMMEDIATELY STABILIZED WITH SOD, SEED & ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES (RECP). AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM SHALL NOT BE DISTURBED.
- IN ADVANCE OF A PREDICTED RAINFALL OR SNOWMELT EVENT, ALL MANAGEMENT PRACTICES APPROPRIATE TO CURRENT AREAS OF DISTURBANCE MUST BE INSPECTED AND REPAIRED AS NECESSARY TO ENSURE PROPER OPERATING CONDITION. IF NECESSARY TO PREVENT SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE TO WATERS OF THE STATE, THIS WILL INCLUDE TEMPORARY STABILIZATION OF ALL DISTURBED SOILS ON THE SITE IN ADVANCE OF THE ANTICIPATED RUNOFF PERIOD.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER TEMPORARY MEASURES ARE NO LONGER NEEDED.

INSPECTION REQUIREMENTS:

- GENERAL SITE INSPECTIONS SHALL BE CONDUCTED IN ACCORDANCE WITH PERMIT REQUIREMENTS FOR ALL AREAS THAT HAVE BEEN DISTURBED AND ARE NOT YET FINALLY STABILIZED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, IMMEDIATELY BEFORE ANY STORMWATER RUNOFF PRODUCING EVENT, AND DAILY DURING THE WINTER CONSTRUCTION PERIOD (OCTOBER 15 THROUGH APRIL 15). UPON INSPECTION, ANY EROSION PREVENTION AND SEDIMENT CONTROL MEASURE THAT IS NOT INSTALLED PROPERLY, IN NEED OF MAINTENANCE, OR NOT EFFECTIVELY PREVENTING SEDIMENT LADEN DISCHARGES SHALL BE CORRECTED BEFORE THE NEXT RUNOFF PRODUCING EVENT. IN ADDITION:
 - IN ACCORDANCE WITH PERMIT REQUIREMENTS, IF DEWATERING ACTIVITIES ARE OCCURRING, THE PERMITTEE SHALL DAILY DURING DEWATERING ACTIVITIES INSPECT THE DEWATERING DEVICE TO ENSURE PROPER SEDIMENT CONTROL AND IF REQUIRED, THE PERMITTEE SHALL COMPLETE DAILY SAMPLING REQUIREMENTS, USING A TURBIDITY METER, AT ALL POINTS WHERE DEWATERING WATER IS DISCHARGED.
 - IF VISIBLY DISCOLORED STORMWATER RUNS OFF THE CONSTRUCTION SITE OR DISCHARGES TO WATERS OF THE STATE, THE PERMITTEE SHALL TAKE IMMEDIATE CORRECTIVE ACTION TO INSPECT AND MAINTAIN EXISTING BEST MANAGEMENT PRACTICES (BMPs), AND TO INSTALL SUPPLEMENTAL BMPs NECESSARY TO MINIMIZE AND PREVENT THE DISCHARGE.
 - AFTER COMPLETION OF THE CORRECTIVE ACTION, THERE CONTINUES TO BE A DISCHARGE OF DISCOLORED STORMWATER FROM THE CONSTRUCTION SITE TO WATERS OF THE STATE, THE PERMITTEE SHALL NOTIFY DEC BY SUBMITTING A DISCHARGE REPORT IN ACCORDANCE WITH SUBPART 2.2.2 OF THE CGP WITHIN 24 HOURS OF DISCOVERING THE DISCHARGE.
- THE PERMITTEE IS REQUIRED TO CONTINUE PERFORMING ALL GENERAL AND DISCHARGE INSPECTIONS UNTIL COVERAGE UNDER THIS PERMIT IS TERMINATED.

REQUIREMENTS FOR WINTER SHUTDOWN

- FOR PROJECTS COMPLETING EARTH DISTURBANCE ACTIVITIES PRIOR TO THE BEGINNING OF THE WINTER PERIOD (OCTOBER 15), THE FOLLOWING ARE REQUIREMENTS OF THE EPSC PLAN:
- FOR AREAS TO BE STABILIZED BY VEGETATION, SEEDING TO BE COMPLETED NO LATER THAN SEPTEMBER 15TH TO ENSURE ADEQUATE GROWTH AND COVER PRIOR TO THE WINTER PERIOD.
 - LIMIT OF DISTURBANCE MOVED/REPLACED TO REFLECT BOUNDARY OF ANTICIPATED WINTER WORK.
 - A SNOW MANAGEMENT PLAN INCLUDING ADEQUATE STORAGE LOCATIONS AND CONTROL OF SNOWMELT, REQUIRING CLEARED SNOW TO BE STORED DOWN GRADIENT OF ALL AREAS OF EARTH DISTURBANCE AND PROHIBITING STORAGE OF SNOW WITHIN STORMWATER TREATMENT STRUCTURES.
 - A MINIMUM 25 FOOT BUFFER TO BE MAINTAINED FROM PERIMETER CONTROLS SUCH AS SILT FENCE, TEMPORARY SWALES OR PERIMETER DIKES OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
 - IN AREAS OF DISTURBANCE WITHIN 100 FT OF A RECEIVING WATER, SILT FENCE TO BE REINFORCED OR USED WITH PERIMETER DIKES OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
 - DRAINAGE STRUCTURES TO BE MONITORED TO REMAIN OPEN AND FREE OF SNOW AND ICE DAMS.
 - INSTALL SILT FENCE SECTIONS, HAY BALE DIKES, PERIMETER DIKE/SWALES, WATERBARS, AND OTHER PRACTICES REQUIRING AN ASSOCIATED EARTH DISTURBANCE PRIOR TO GROUND FREEZING.
 - MULCH STABILIZATION MEASURES TO BE USE OF DOUBLE THE STANDARD RATE OF COVERAGE.
 - ALL MULCH MUST BE ANCHORED WITH AN APPROVED METHOD TO PREVENT REMOVAL BY WIND.
 - TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
 - IF NO PRECIPITATION, RAIN OR SNOW, WITHIN 24 HOURS IS FORECASTED AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
 - IF THE DISTURBED AREAS WILL COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN
 - UTILITY TRENCHES, DAILY STABILIZATION IS NOT NECESSARY UNTIL EXCAVATION BACKFILLING OCCURS.
 - PRIOR TO STABILIZATION, REMOVE SNOW OR ICE TO LESS THAN 1" THICKNESS ABOVE THE SOIL.
 - STONE STABILIZATION (8" THICK) AT ACCESS POINTS FOR CONSTRUCTION VEHICLE TRAFFIC, I.E. FROM THE PAVEMENT TO THE BUILDING PUT A 15' WIDE PATH ON TOP OF THE PROPOSED DRIVEWAY.

REQUIREMENTS FOR WINTER CONSTRUCTION

- FOR PROJECTS INVOLVING EARTH DISTURBANCE WITHIN THE WINTER PERIOD (AFTER OCTOBER 15 AND BEFORE APRIL 15), THE FOLLOWING ARE REQUIREMENTS OF THE EPSC PLAN:
- ENLARGE ACCESS ROUTES TO ACCOMMODATE SNOW REMOVAL ACTIVITY, STABILIZE WITH STONE.
 - LIMIT OF DISTURBANCE MOVED/REPLACED TO REFLECT BOUNDARY OF ANTICIPATED WINTER WORK.
 - A SNOW MANAGEMENT PLAN INCLUDING ADEQUATE STORAGE LOCATIONS AND CONTROL OF SNOWMELT, REQUIRING CLEARED SNOW TO BE STORED DOWN GRADIENT OF ALL AREAS OF EARTH DISTURBANCE AND PROHIBITING STORAGE OF SNOW WITHIN STORMWATER TREATMENT STRUCTURES.
 - A MINIMUM 25 FOOT BUFFER TO BE MAINTAINED FROM PERIMETER CONTROLS SUCH AS SILT FENCE, TEMPORARY SWALES OR PERIMETER DIKES OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
 - IN AREAS OF DISTURBANCE WITHIN 100 FT OF A RECEIVING WATER, SILT FENCE TO BE REINFORCED OR USED WITH PERIMETER DIKES OR OTHER PRACTICES RESISTANT TO THE FORCES OF SNOW LOADS.
 - DRAINAGE STRUCTURES TO BE MONITORED TO REMAIN OPEN AND FREE OF SNOW AND ICE DAMS.
 - INSTALL SILT FENCE SECTIONS, HAY BALE DIKES, PERIMETER DIKE/SWALES, WATERBARS, AND OTHER PRACTICES REQUIRING AN ASSOCIATED EARTH DISTURBANCE PRIOR TO GROUND FREEZING.
 - MULCH STABILIZATION MEASURES TO BE USE OF DOUBLE THE STANDARD RATE OF COVERAGE.
 - ALL MULCH MUST BE ANCHORED WITH AN APPROVED METHOD TO PREVENT REMOVAL BY WIND.
 - TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
 - IF NO PRECIPITATION, RAIN OR SNOW, WITHIN 24 HOURS IS FORECASTED AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
 - IF THE DISTURBED AREAS WILL COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN
 - UTILITY TRENCHES, DAILY STABILIZATION IS NOT NECESSARY UNTIL EXCAVATION BACKFILLING OCCURS.
 - PRIOR TO STABILIZATION, REMOVE SNOW OR ICE TO LESS THAN 1" THICKNESS ABOVE THE SOIL.
 - STONE STABILIZATION (8" THICK) AT ACCESS POINTS FOR CONSTRUCTION VEHICLE TRAFFIC, I.E. FROM THE PAVEMENT TO THE BUILDING PUT A 15' WIDE PATH ON TOP OF THE PROPOSED DRIVEWAY.

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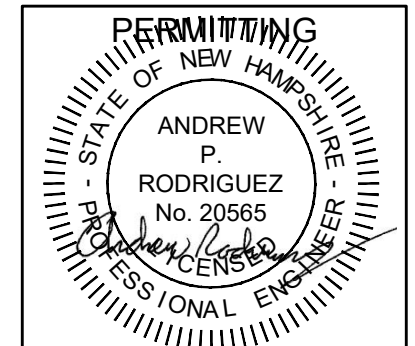
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STEWARTS LEBANON
STEWARTS SHOP CORP
LEBANON, NH

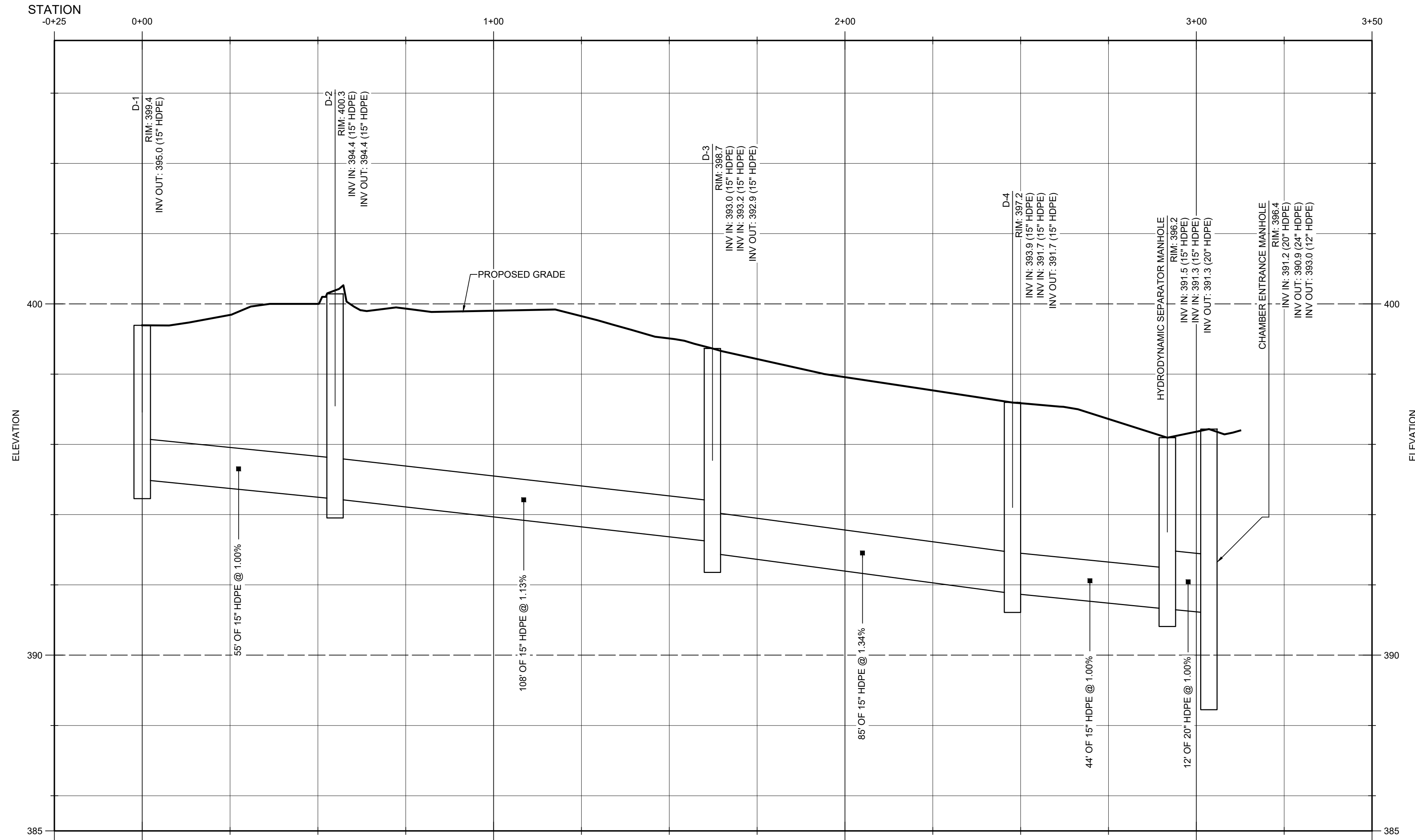
EROSION CONTROL
PLAN

NUMBER	DATE
1814-001	05-07-2026
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LM	JC

SHEET NUMBER
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1 STEWARTS LEBANON: STORM SEWER PROFILES



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LEBANON, NH

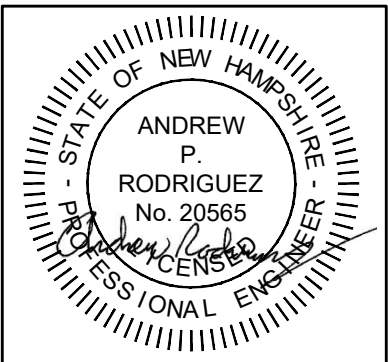
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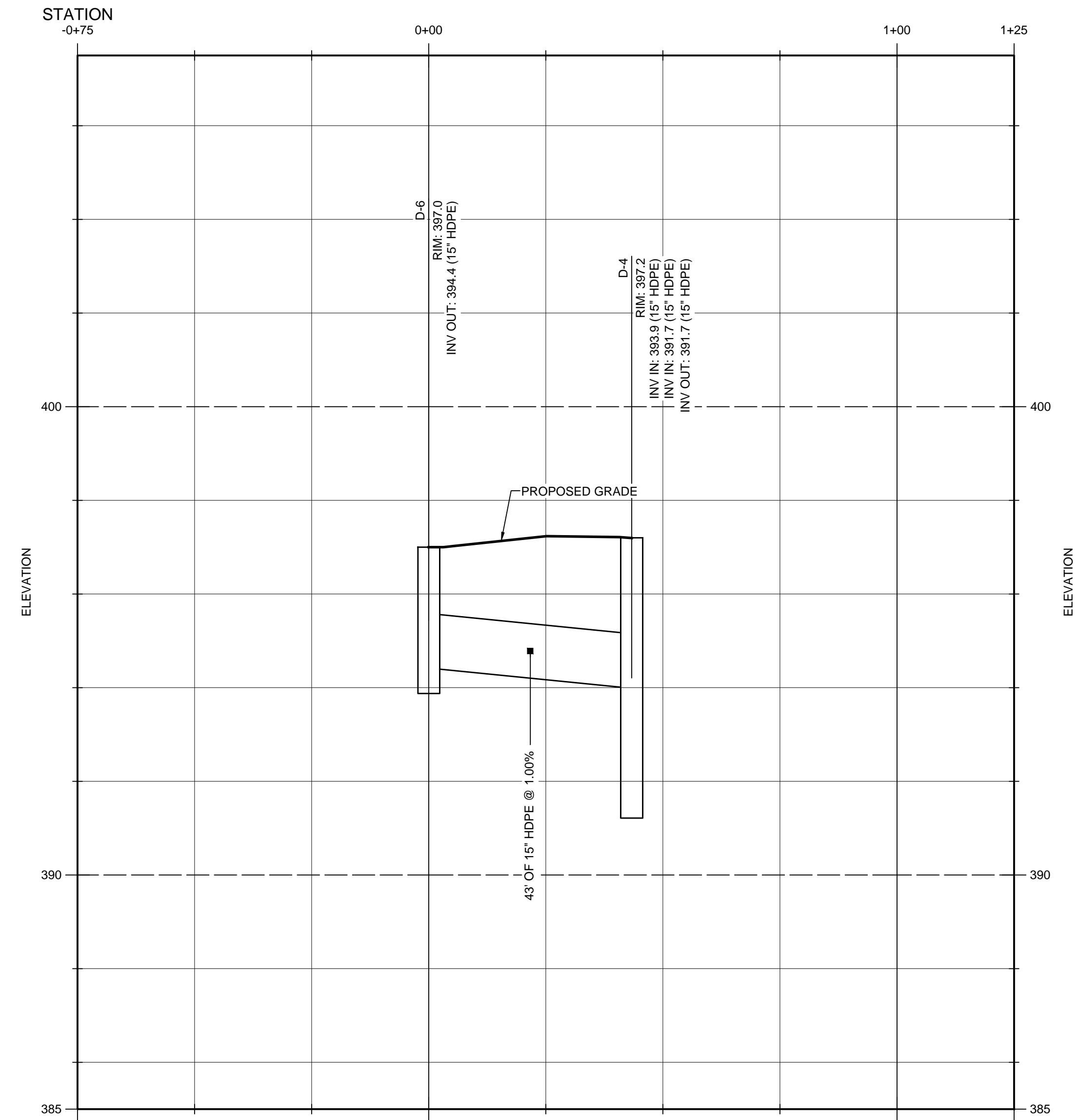
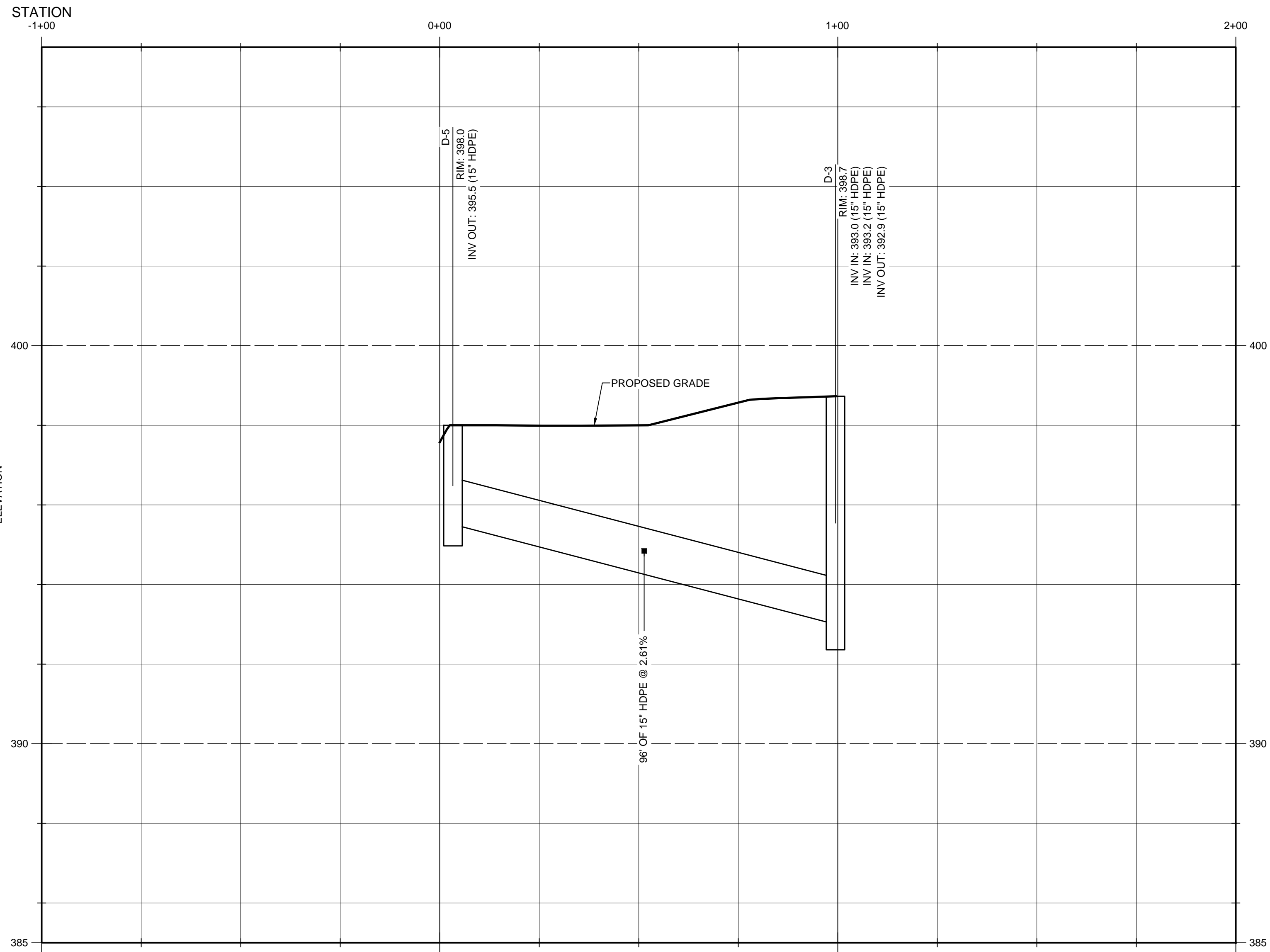
**STORM SEWER
PROFILES**

NUMBER	DATE
1814-001	05-06-2026
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C200





1 STEWARTS LEBANON: STORM SEWER PROFILES



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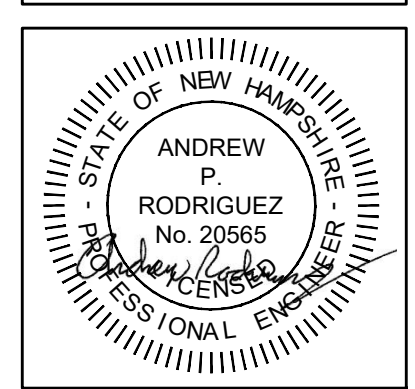
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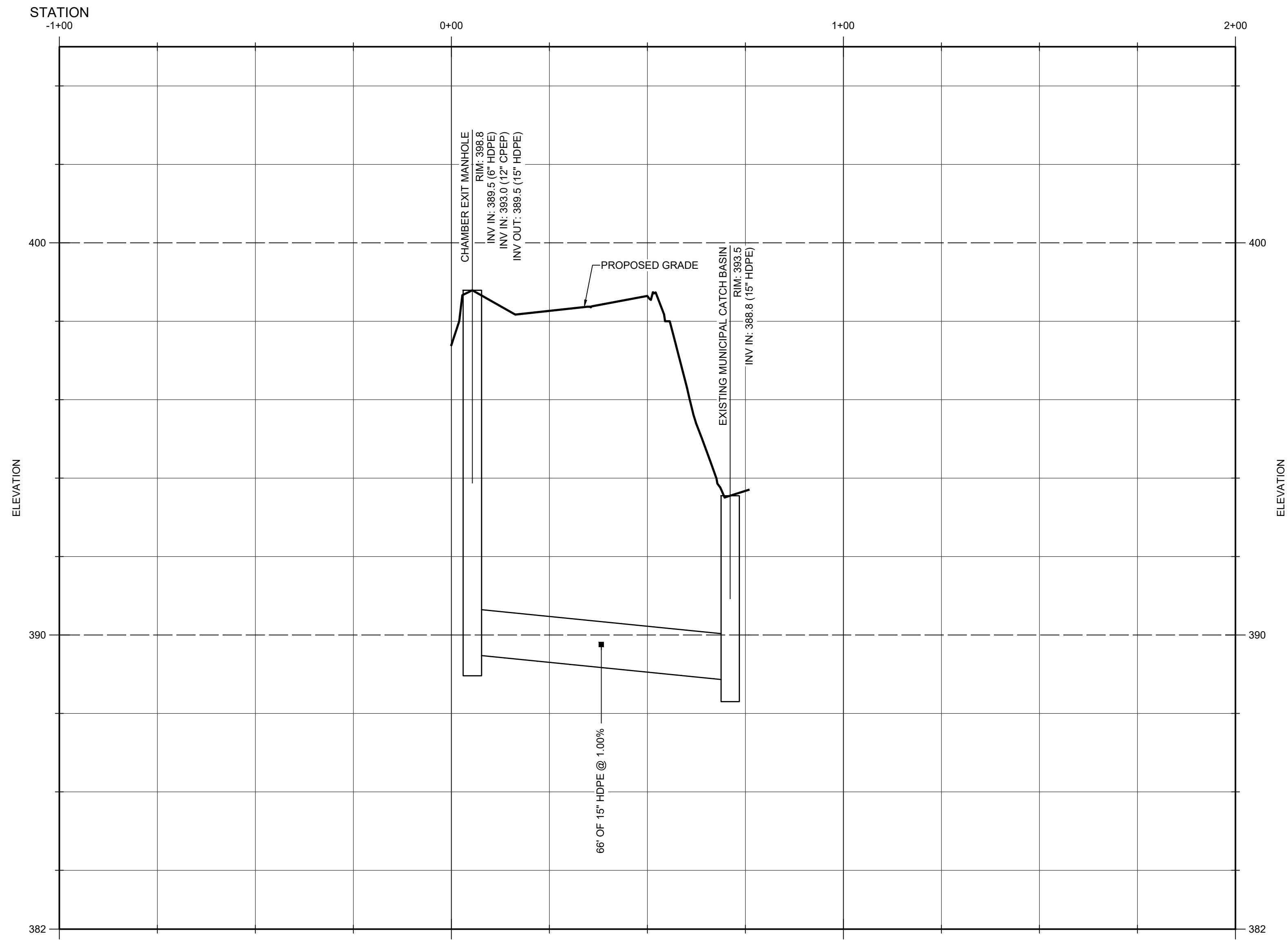
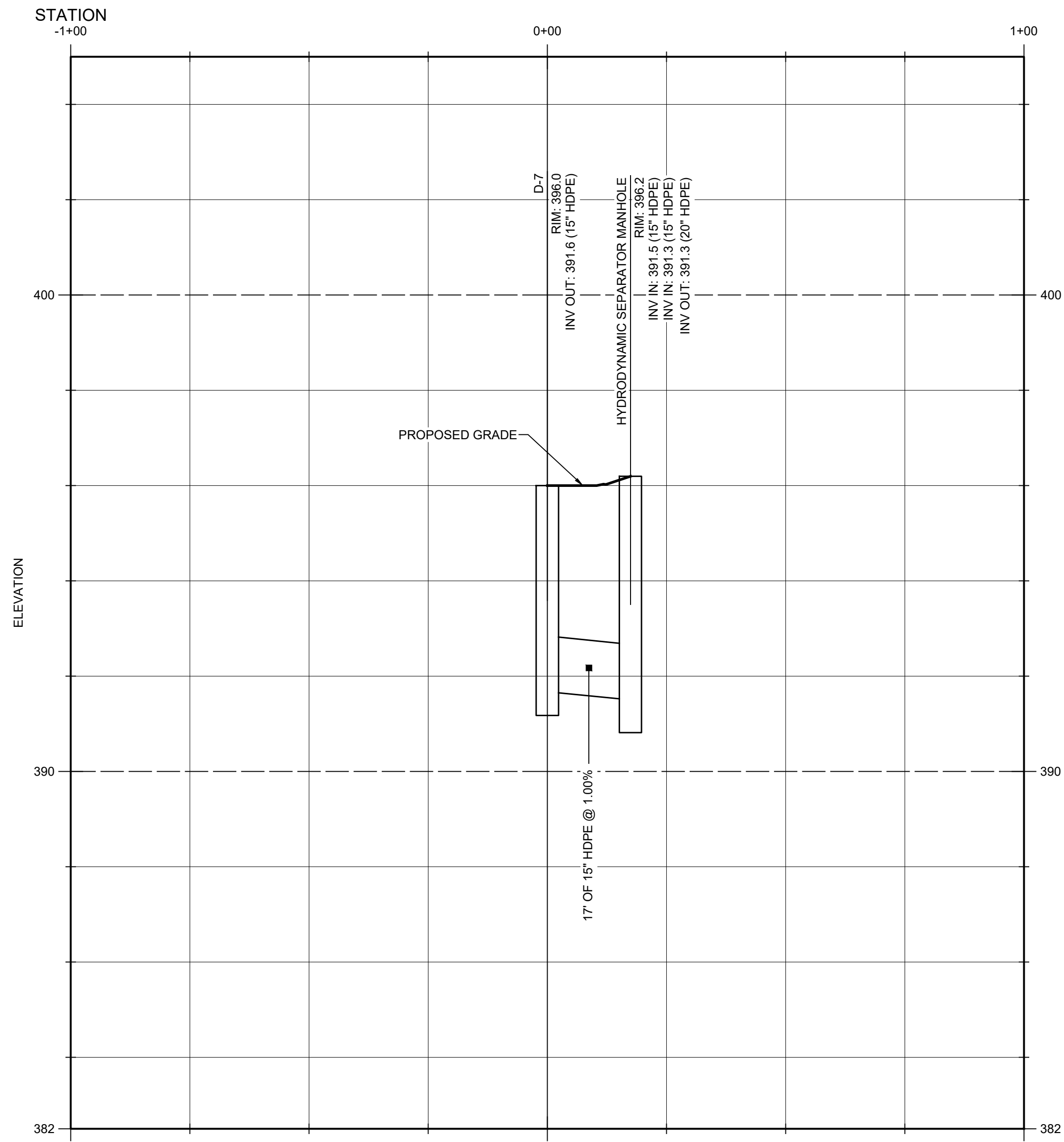
STEWARTS LEBANON
 STEWARTS SHOP CORP
 LEBANON, NH

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 PROFILES

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C201





1 STEWARTS LEBANON: STORM SEWER PROFILES



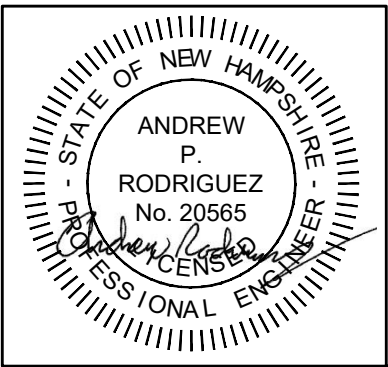
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STEWARTS SHOP CORP
LEBANON, NH

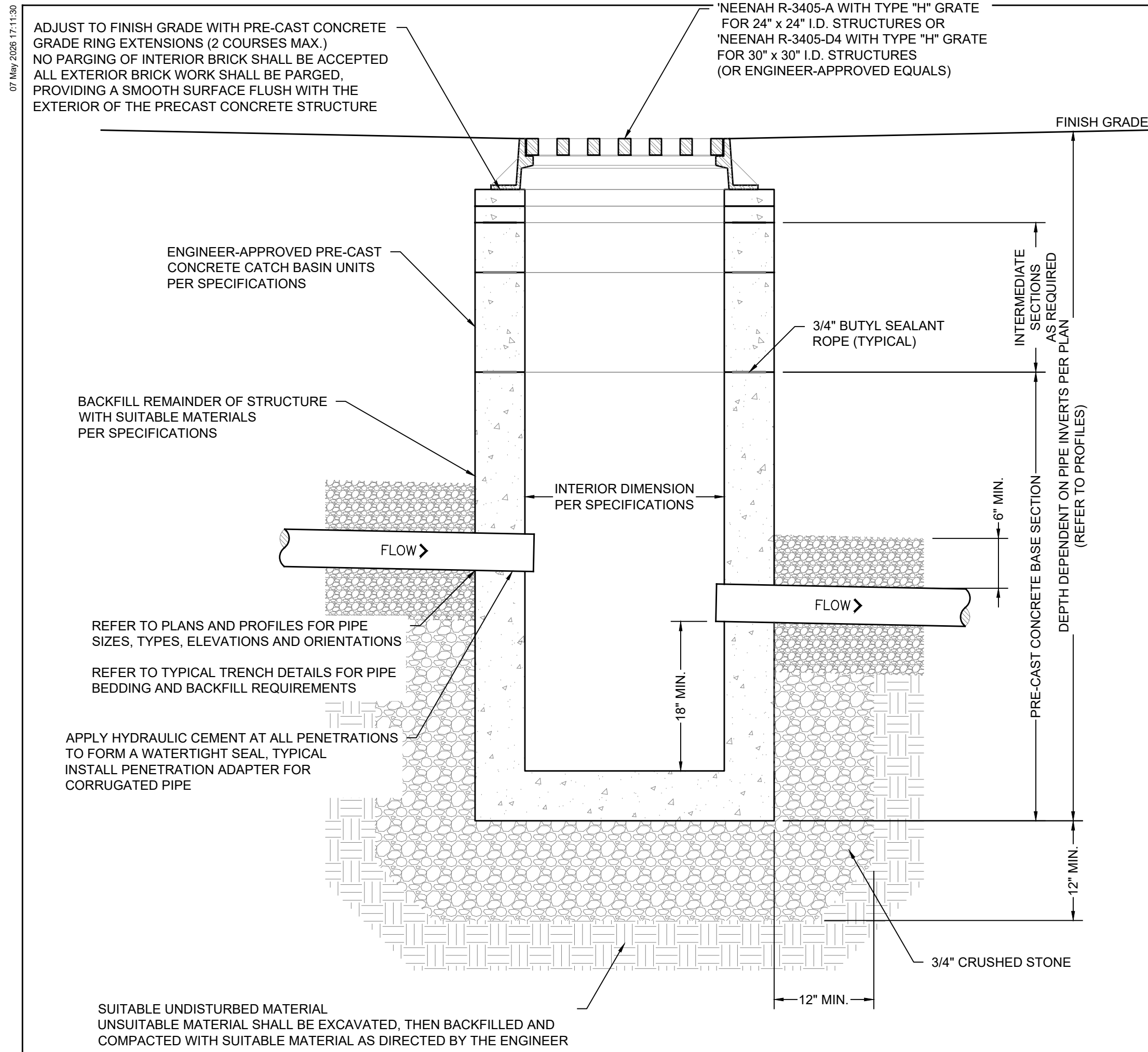
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PROFILES

NUMBER	DATE
1814-001	05-06-2026
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LM	JC

SHEET NUMBER
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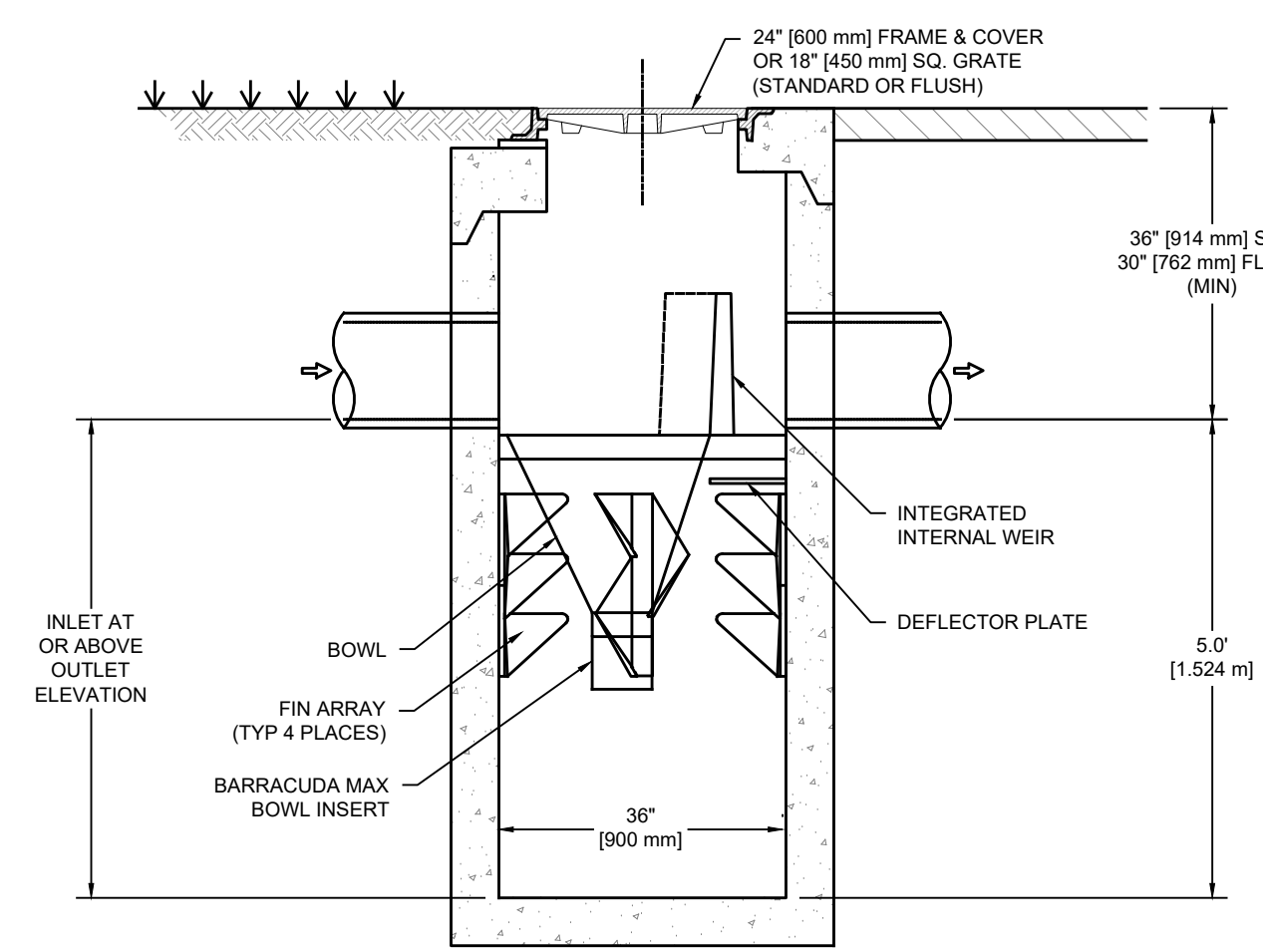
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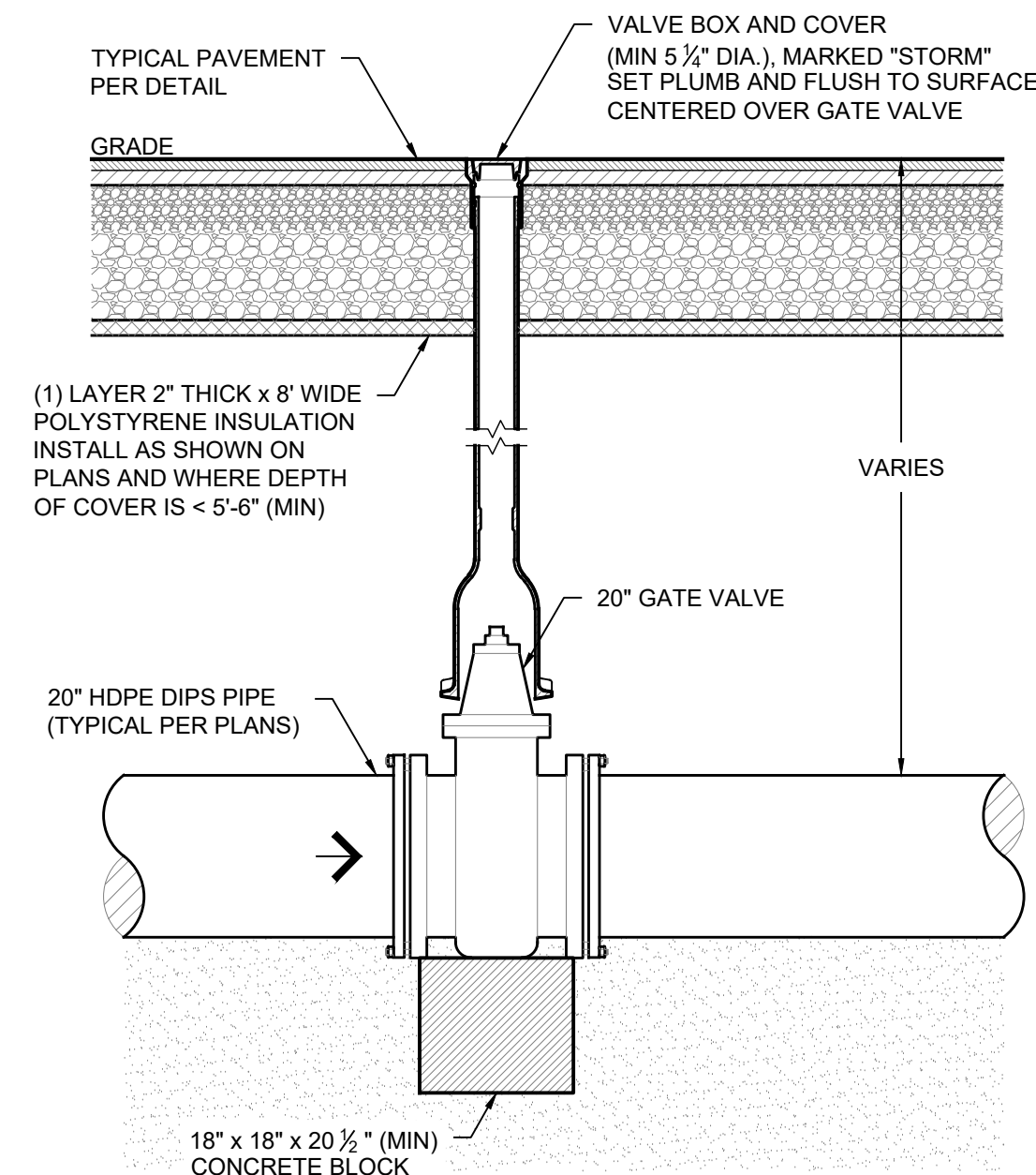
1 TYPICAL CATCH BASIN DETAIL
DROP INLET Scale: NTS

PRODUCT SPECIFICATIONS

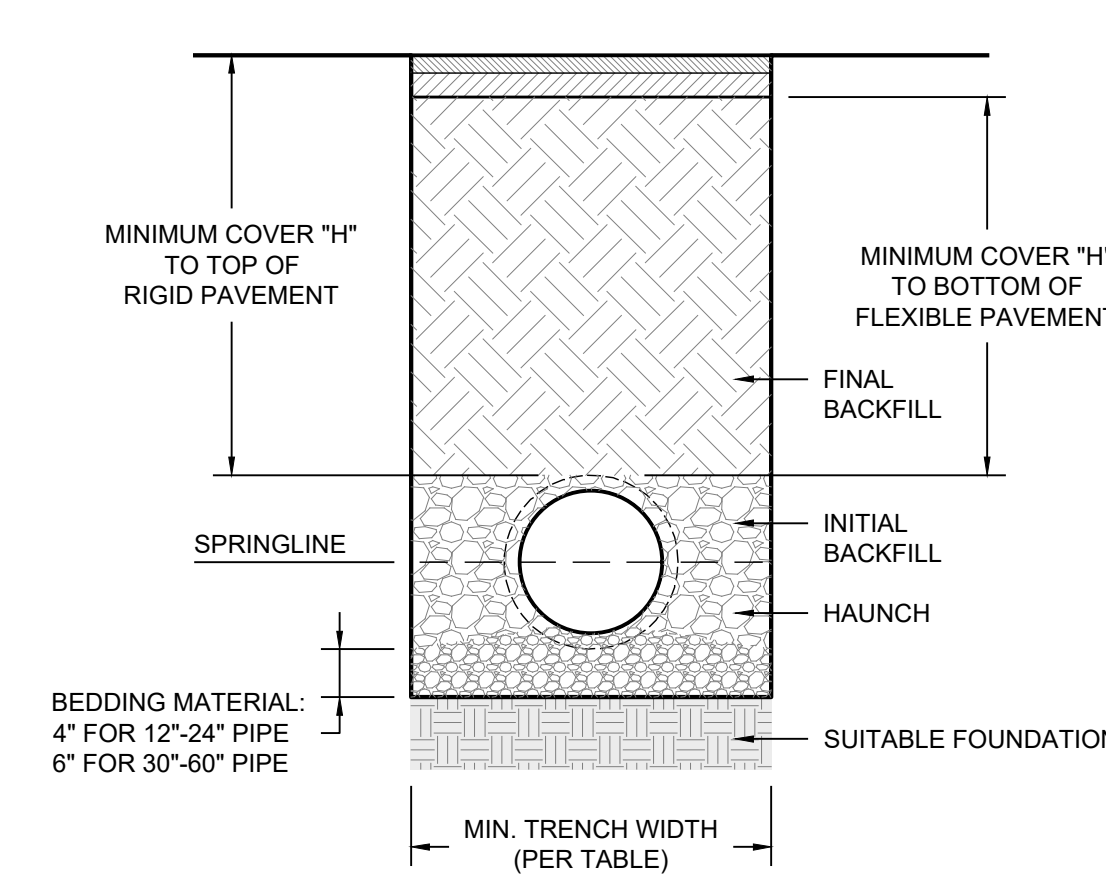
- THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL-SCALE THIRD PARTY TESTING USING OK-110 MEDIA GRADATION OR EQUIVALENT AND 300 mg/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.
- OR
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH d_{50} =75 MICRON AND 200 MG/L INFLUENT CONCENTRATION.
- OR
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER PREVIOUS 2013 NJDEPNJCAT HDS PROTOCOL.



3 BARRACUDA MAX S3
Scale: NTS



4 EMERGENCY SHUT-OFF VALVE DETAIL
TO STORMWATER MANAGEMENT SYSTEM Scale: NTS



- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDER GROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWER AND OTHER GRAVITY FLOW APPLICATIONS." LATEST EDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL WHEN REQUIRED.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACED WITH SUITABLE MATERIAL AS APPROVED BY THE ENGINEER. AS AN ALTERNATIVE, AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO THE ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4"-24" PIPES, AND 6" FOR 30"-60" PIPES.
 - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO THE ENGINEER. MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION.
 - MINIMUM COVER: MINIMUM COVER, "H," IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPED AREAS) IS 12" FROM THE TOP OF THE PIPE TO THE GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, "H," IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM THE TOP OF THE PIPE TO THE BOTTOM OF FLEXIBLE PAVEMENT OR TO THE TOP OF RIGID PAVEMENT. FOR TRAFFIC APPLICATIONS WITH LESS THAN 4 FEET OF COVER, EMBEDMENT OF THE PIPE SHALL USE ONLY A CLASS I OR CLASS II BACKFILL.

2 TYPICAL STORM DRAIN PIPING INSTALLATION DETAIL
Scale: NTS

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAMETER	SURFACE LIVE LOADING CONDITIONS	
	H-20	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
60"	24"	60"

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER
** SEE BACKFILL REQUIREMENTS IN NOTE 6

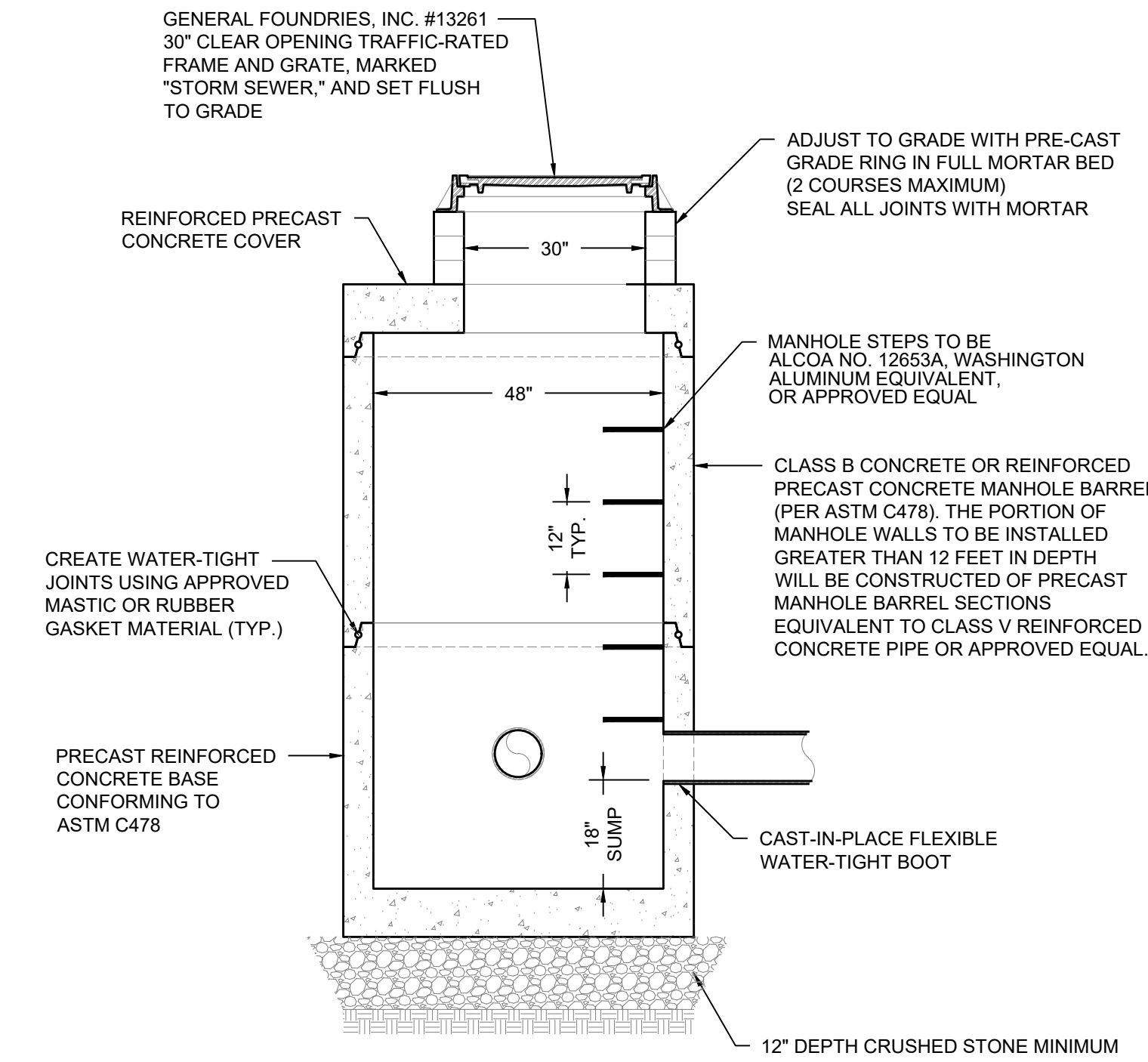
MAXIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAMETER	CLASS I			CLASS II		CLASS III	
	COMPACTED	DUMPED	95%	90%	95%	95%	95%
4"	3"	18"	25"	18"	18"	18"	18"

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12, LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
NO HYDROSTATIC PRESSURE; UNIT WEIGHT OF DOL (Y_s) = 120 PCF

MIN. RECOMMENDED TRENCH WIDTH

PIPE DIA.	MIN. TRENCH WIDTH
4"	21"



5 DRAINAGE MANHOLE DETAIL
Scale: NTS

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		DESCRIPTION

STEWARTS LEBANON
STEWARTS SHOP CORP
LEBANON, NH

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STORMWATER DETAILS

NUMBER	DATE
1814-001	05-07-2026
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SHEET NUMBER

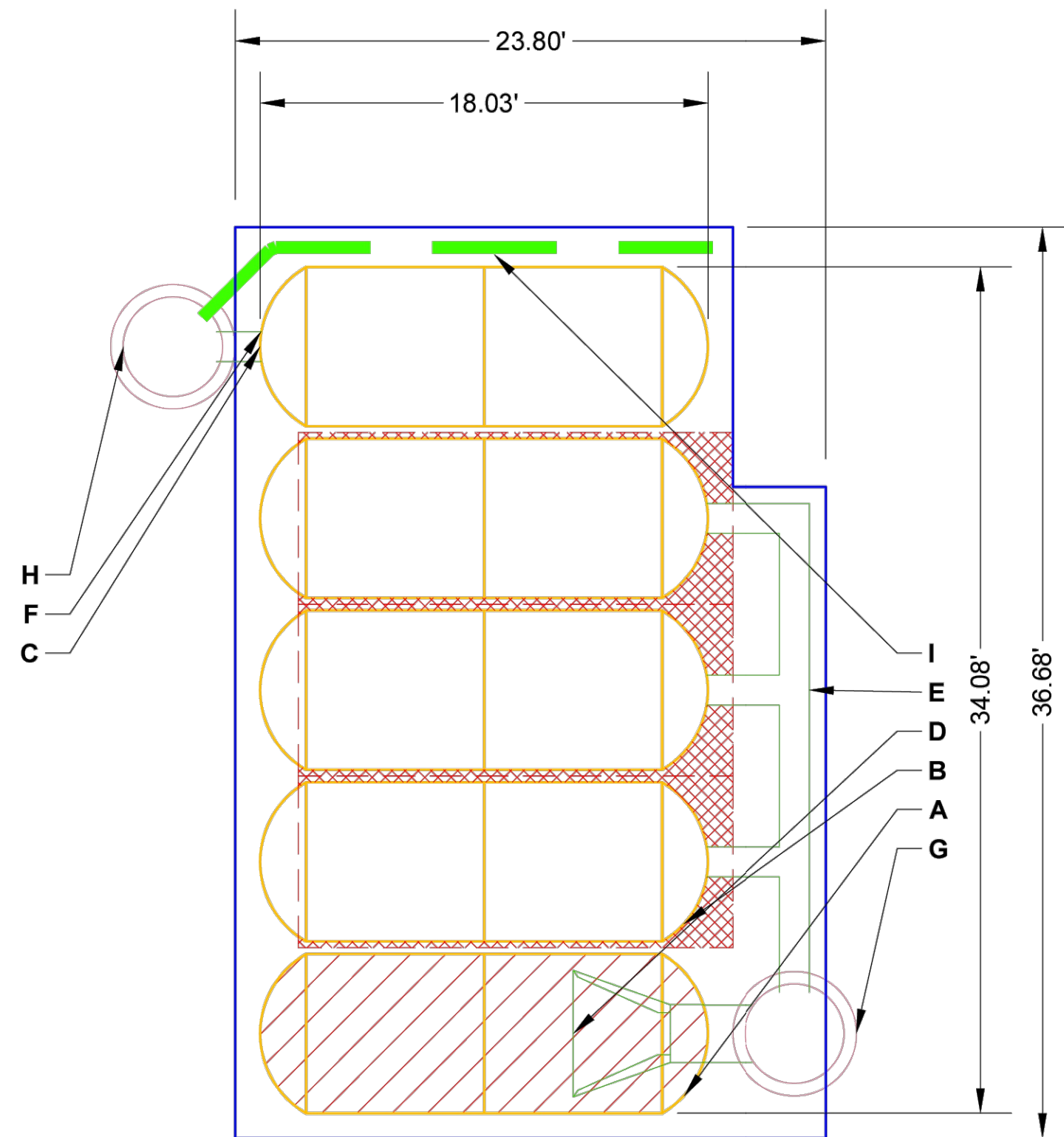
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PERMITTING


STATE OF NEW HAMPSHIRE

ANDREW P. RODRIGUEZ
No. 20565
REGISTERED PROFESSIONAL ENGINEER

PROPOSED LAYOUT: BED 1		PROPOSED ELEVATIONS: BED 1		*INVERT ABOVE BASE OF CHAMBER			
NO	DESCRIPTION	ELEVATION	DESCRIPTION	ITEM ON LAYOUT	DESCRIPTION	INVERT*	MAX FLOW
10	STORMTECH MC-3500 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	402.50				
10	STORMTECH MC-3500 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	396.50				
12	STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	396.00	PREFABRICATED END CAP	A	24" BOTTOM PRE-CORED END CAP, PART#: MC3500IEPP24BC / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	
15	STONE BELOW (in)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	396.00	PREFABRICATED END CAP	B	12" TOP PRE-CORED END CAP, PART#: MC3500IEPP12T / TYP OF ALL 12" TOP CONNECTIONS	
0	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	396.00	PREFABRICATED END CAP	C	12" BOTTOM PRE-CORED END CAP, PART#: MC3500IEPP12B / TYP OF ALL 12" BOTTOM CONNECTIONS	
1249	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED)	TOP OF STONE:	395.50	PREFABRICATED END CAP			
		TOP OF MC-3500 CHAMBER:	394.50	FLAMP	D	INSTALL FLAMP ON 24" ACCESS PIPE / PART#: MCFLAMP	
		12" x 12" TOP MANIFOLD INVERT:	392.95	MANIFOLD	E	12" x 12" TOP MANIFOLD, ADS N-12	26.36"
834	SYSTEM AREA (SF)	24" ISOLATOR ROW PLUS INVERT:	390.92	PIPE CONNECTION	F	12" BOTTOM CONNECTION	1.35"
121.0	SYSTEM PERIMETER (ft)	12" BOTTOM CONNECTION INVERT:	390.86	CONCRETE STRUCTURE	G	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)	
208	THERMOPLASTIC LINER (SY) (20% OVERAGE)	BOTTOM OF MC-3500 CHAMBER:	390.75	CONCRETE STRUCTURE	H	OCS (DESIGN BY ENGINEER / PROVIDED BY OTHERS)	2.0 CFS OUT
		UNDERDRAIN INVERT:	389.50	UNDERDRAIN	I	6" ADS N-12 DUAL WALL PERFORATED HDPE UNDERDRAIN	



 ISOLATOR ROW PLUS (SEE DETAIL)

 PLACE MINIMUM 17.50' OF ADSPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

 THERMOPLASTIC LINER (SEE TECH NOTE #6.50 PROVIDED BY OTHERS / DESIGN BY OTHERS)

NOTES

- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- **NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

REVISIONS

DESCRIPTION

NO

DATE

STEWARTS LEBANON
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LEBANON, NH

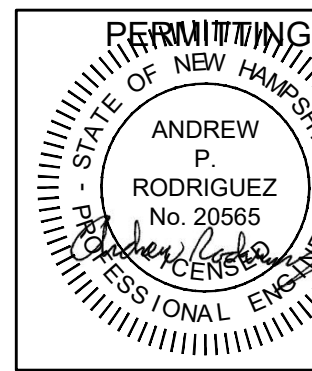
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STORMTECH
CHAMBER SYSTEM
DETAILS

NUMBER	DATE
1814-001	05-07-2026
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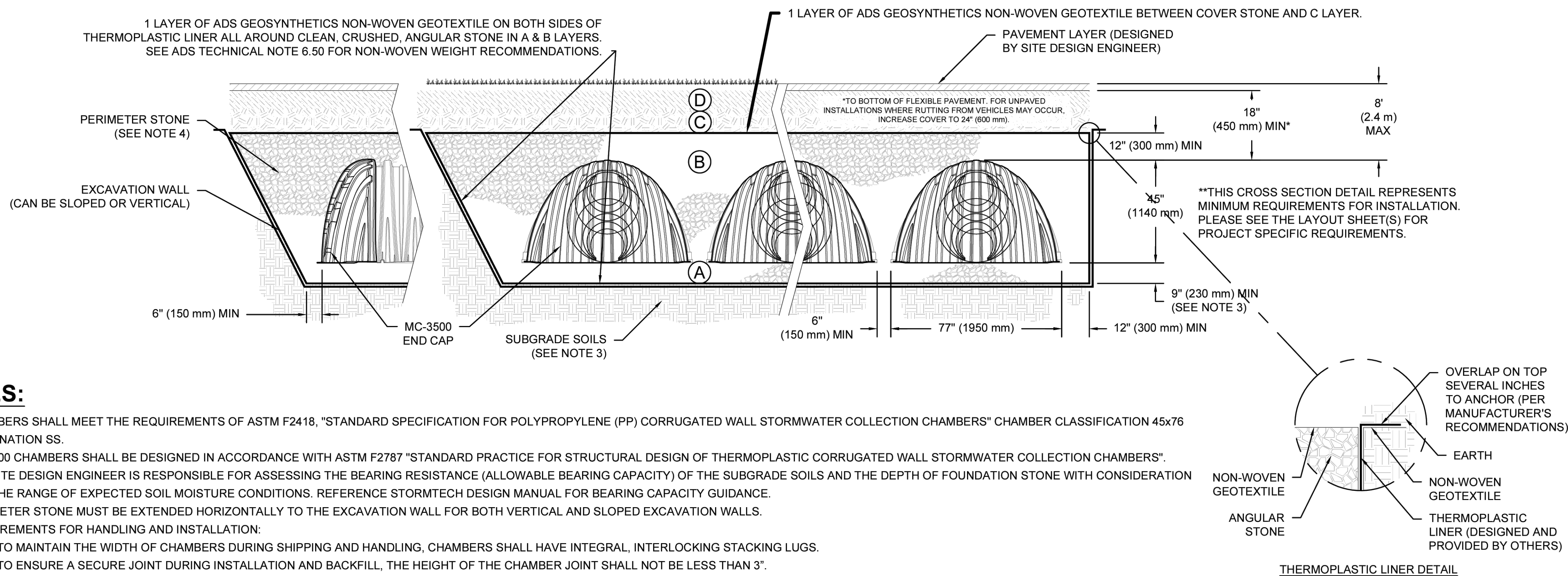
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ENGINEERS

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

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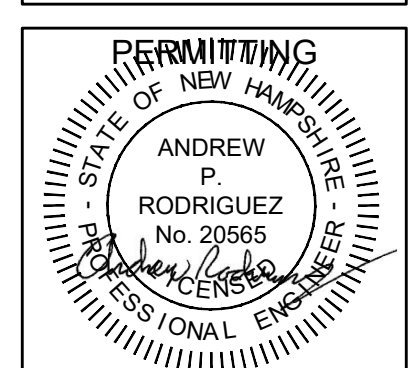
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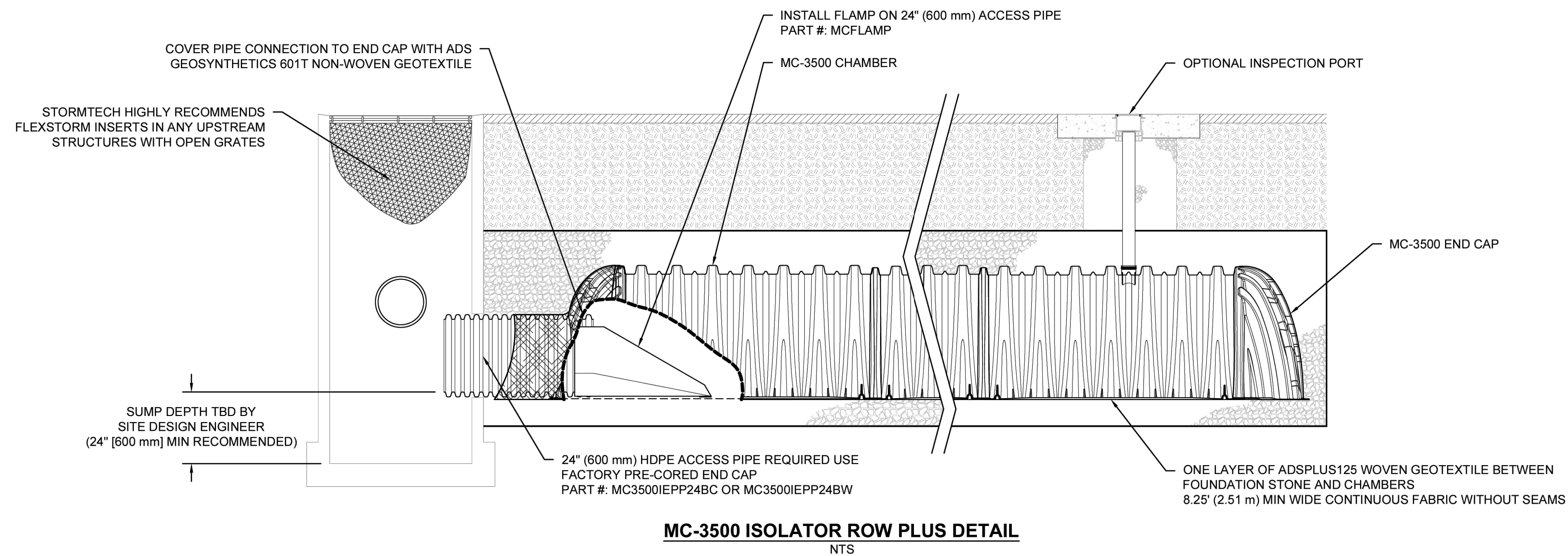
STEWARTS LEBANON
STEWARTS SHOP CORP
LEBANON, NH

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STORMTECH
CHAMBER SYSTEM
DETAILS

NUMBER	DATE
1814-001	05-07-2026
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LM	JC

SHEET NUMBER
C507





INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
 - A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR PLUS ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
 - A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- 1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- 2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

MSK
ENGINEERS

P.O. BOX 139, 150 DEPOT STREET
BENNINGTON, VERMONT 05201
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REVISIONS	
NO.	DESCRIPTION

STEWARTS LEBANON
STEWARTS SHOP CORP
LEBANON, NH

DRAWINGS THIS SHEET
STORMTECH
CHAMBER SYSTEM
DETAILS

NUMBER	DATE
1814-001	05-07-2026
DRAWN	CHECKED
LM	JC

SHEET NUMBER
C508

PERMITTING
STATE OF NEW HAMPSHIRE
ANDREW P. RODRIGUEZ
No. 20565
REGISTERED PROFESSIONAL ENGINEER

Introduction

Site Plan Review Regulations are a document of the Planning Board. These regulations govern the requirements of any development other than individual one and two unit homes (as well as the procedure for site plan review).

The planning board periodically reviews and revises these regulations, recently as a part of its Development Regulations Subcommittee.

Compiled below are portions of the Site Plan relevant to the Pedestrian and Bicycle Committee.

A link to the full regulations can be found here:

<https://lebanonnh.gov/DocumentCenter/View/877/Site-Plan-Regulations-PDF>

Suggested Questions To the Committee

How can site plans be leveraged to emphasize pedestrian and bicycle access?

How does the Ped/Bike Committee receive information about site plans? How do we provide commentary?

What standards are we holding our designs to in terms of pedestrians and cyclists - safe vs convenient/centered, precise specs vs prioritization?

Are the regulations/requirements meeting their implied purpose? Are there ways to create better outcomes for pedestrians and cyclists while not increasing cost/effort during the site design process?

Regulations

4.3.D: Notice of Conceptual Review:

- D. Notice. Public notice of a required conceptual review shall be provided pursuant to Section 4.8. Notice of a required conceptual review shall also be provided to the following:
1. Conservation Commission
 2. Pedestrian & Bicyclist Advisory Committee
 3. Tree Advisory Board
 4. Heritage Commission (if located within the Historic District)

The applicant is not required to appear before any of these bodies for purposes of conceptual review. Comment by these bodies is optional and may be provided in writing or in person by a duly appointed representative of such body, provided that consideration or discussion by any of the foregoing bodies may only occur at a public meeting with notice of the meeting provided to the applicant. The failure of any of these bodies to provide comment shall not delay or in any way hinder the Planning Board's review of the application.

Public notice is not required for optional conceptual reviews.

5.1.E Checklist for Complete Submissions

foot of the site boundary.

10. Proposed streets, driveways, emergency vehicle accesses, parking spaces, and sidewalks, with indication of dimensions and direction of travel. Show required sight distances at curb cuts and dimensions for the inside radii of all curves. Vehicle and **bicycle parking** spaces shall be numbered. Loading spaces and facilities used in connection with any structures on the site shall be shown. The total square footage and percentage of the lot covered by impervious cover shall also be shown.
11. Parking area safety measures including raised crosswalks/speed tables, signage, walkway lighting, striping and similar markings such as dedicated pedestrian/bicycle crossings and lanes through parking areas, fire lanes,

compact and/or **electric vehicle parking/charging**, parking wayfinding, ADA signage and access aisles.

20. A plan for the development showing provisions for automobile, **transit**, bicyclist, and pedestrian access and circulation. Such plan shall show both existing and proposed means of access to the site including connections with, public streets, sidewalks, **transit** stops, and formal paths/trails. Plans shall include any **traffic calming** and traffic control devices necessary in conjunction with the site development, as well as the location of all existing **transit** routes and **transit** stops located or passing within 1/4 mile (1,320 feet) of the property.
21. Construction detail drawings including, but not limited to, pavements, walks, steps, curbing, drainage structures, water and/or sewer utilities, ground-mounted signage (e.g., fire lanes, ADA parking, commercial), surface treatments, **transit** shelters, energy generation units (e.g., solar), bike rack style, **electric vehicle charging**, outdoor lighting, outdoor furniture, retaining walls, tree boxes and other site systems or structures. Accompanying specifications and cutsheets may be required. Where applicable, roadway, drainage, water and sewer utility profile drawings shall be provided at a scale of 1"=40 feet (horizontal) and 1"=4 feet (vertical) and typical cross-section drawings shall be provided at a scale of 1"=5 feet (horizontal and vertical), unless prior approval to use an alternate scale is granted by the Reviewing Engineer. (NOTE: Ordinarily, only two (2) sets of such construction drawings shall be provided to the Planning and Development Department with the application submission.)

6.5.D Access and Traffic

2. The traffic patterns on, at, and around the site shall be coordinated so as to compose a safe and efficient system for vehicles, pedestrians, and bicyclists, in support of ***complete streets***, including alignment with the City of Lebanon's Complete Streets Policy (2017). There shall be proper arrangement of roadways, loading areas, and parking areas within and around the site, in relation to existing and planned streets, so the proposed development of the site shall not endanger the safety or welfare of vehicles,

pedestrians, or bicyclists. There shall be adequate traffic access to and from City streets to ensure the safety of vehicles, pedestrians, and bicyclists.

The development, except for those in rural lands and heavy industrial zoning districts, shall install sidewalks along the street frontage(s) in order to support a walkable community that has continuous connections between existing and planned sidewalks.

- a. When a location's posted vehicular traffic speeds are 25 mph or greater, there must be a 5-foot wide pedestrian facility on at least one side of the street. When the posted limit is 35mph or greater, the sidewalk must be separated from the road by at least an additional 2-foot wide landscaped median.
- b. Sidewalks must be at least 5 feet wide (not including curb) and free of barriers and obstructions including signage, utilities, lighting and landscaping. Wider sidewalks should be considered for primary routes in new construction.
- c. On-site pedestrian areas may be merged with public sidewalks along the principal frontage, for a wider route overall, in order to create a broad walking surface in high traffic locations. Pavement and concrete are preferred; alternative sidewalk surfacing materials such as pavers may be considered, such as for additional width beyond 5 feet. If the project is along a major connecting route and a sidewalk is not currently feasible, provide at minimum a level 5-foot shoulder right-of-way for potential future improvements.

9. **Transit.** If a property borders an existing, recommended, or proposed *transit* stop or dedicated *transit* route, supporting on- and off-site street design elements (see below) must be detailed in the application. Implement recommendations for Lebanon in current plans, policies, or programs adopted by the City of Lebanon, including but not limited to the Master Plan and 2010 Bus Stop Design Study. The applicant must demonstrate coordination with the *transit* authority and City officials to verify service, identify key elements, and address such in the proposed design. Elements for appropriate design may include: pavement markings, crosswalks between stops, adjacent sidewalks and site access for pedestrians/bus riders, snow removal accessibility and responsibility for stops, curb height, spacing of *transit* stops, dimensions of *transit* stop space (e.g., for bus shelter pad), bulb-out or pull-out, sidewalk tip-down, distance from intersections and drive accesses, shelters, street furniture, signage, and lighting. Safe access must be provided to and from the main development entrance(s) to the *transit* stop. Pedestrian access to the *transit* stop must limit crossing points and distance over parking facilities, driveways, and vehicular rights of way. Specifications must adhere to City construction and lighting policies for elements in the public way.

6.5.I: Bicycle Parking

BICYCLE STORAGE AND PARKING

The intent of this section is to enhance bicycle usage, support transportation efficiency by reducing reliance on vehicles for short-distance travel, and implement City goals, including the Complete Streets Policy. The requirements of this section apply to new developments as well as to changes to or expansions of use at existing developments that require a new or amended site plan approval.

1. When a calculation yields a fractional number of required spaces, the number of spaces shall be rounded up to the nearest whole number.
2. **Residential Development.** Multi-family dwellings with more than five (5) units must provide:
 - a. **Short-term bicycle parking** for at least 15 percent of units (e.g., 50 units = 8 spaces)
 - b. **Long-term bicycle parking** for at least 30 percent of all building units.
3. **Non-Residential Development.** Other uses, including municipally owned buildings, must provide, except where otherwise noted:
 - a. Secure **short-term bicycle parking** or **long-term bicycle parking** for at least ten (10) percent of the number of automobile parking stalls approved by the Planning Board. Alternatively, provide spaces for at least 5 percent of building occupants (measured at average daily peak), whichever is greater, but in no case may the total be less than two (2) rack spaces.
 - b. At least 25 percent of the spaces as **long-term bicycle parking** when the total number of **bicycle parking** spaces required exceeds 20 spaces.
 - c. Shower facilities. Provision of at least one (1) shower, available to all genders, is encouraged. Larger projects, with either 50 vehicle parking spaces required or at least 50 employees must provide at least one (1) shower. Provision of changing and locker space with shower facilities is encouraged.

- d. ***Bicycle parking*** wayfinding signage.
- 4. Facilities must adhere to the Bike Storage Design Guide (see Appendix A).
- 5. ***Bicycle parking*** should be located with convenient access to a principal building's main entrance and/or to a ***recreational facility*** and its associated transportation network, such as a public street or path.
- 6. Locate parking/storage in a well-lit, highly visible area.
- 7. Shared ***bicycle parking*** facilities are encouraged.
- 8. ***Bicycle parking*** may be required by the Planning Board for commercial uses whenever any new use is established, or any existing use is expanded for which more than ten (10) automobile parking spaces are required.
- 9. The Planning Board may adjust any of the amounts in this section upward or downward based on factors such as the site context, including location, layout, the types of users or residents, the amount of vehicle parking provided, and other pertinent factors.

6.10.10: Lebanon Downtown District:

Only applies to developments within the Downtown District

- 1. **Pedestrian Access.**
 - a. Each building entrance must be designed to prioritize convenience and directness for that respective entrance's anticipated main source(s) of pedestrian traffic, such as ***transit*** stops and parking areas. The primary building entrance, or the entrance that will accommodate most pedestrians entering a building, must be inviting and prominent in appearance, demonstrate visibility from the primary public right-of-way, and support the accessibility function required of all entrances. Pedestrian access includes paths, sidewalks, trails, or other features. Universally-accessible design strategies are appropriate for all pedestrian access features.
 - b. Where pedestrian access is provided through an on-site parking area, the walkway or pedestrian aisle must be clearly demarcated by contrasting paint, material changes or textured surfacing, reflectors, safety signage, landscaping, or attractive barriers. The transition area between pedestrian access and building entrance, particularly for on-site crosswalks, shall be highlighted through curb extensions (bump outs), planters, pedestrian-scale lighting such as decorative bollards, or similar features to enhance accessibility, visibility, safety, wayfinding, and landscaping.

Definitions

Complete streets. The design, construction and operation of travel corridors in a way that aims to: establish continuous and convenient connections; accommodate the mobility needs of all transportation users and modes; promote an integrated network of connected facilities (including stormwater, sewer and other utilities, where possible); and create public spaces to benefit the health, well-being, and economic development of the community at large.

Parking, bicycle. A dedicated accessory space, fixture (e.g., a rack), or structure dedicated for the secure storage (whether short-term or long-term) of bicycles.

Parking, long-term bicycle. *Bicycle parking*/storage in a weather-protected facility, intended for at least 4 hours of utilization as workday, overnight, or similar long-term bicycle shelter by residents, visitors, and employees.

Parking, short-term bicycle. *Bicycle parking* provided by a bicycle rack located in a publicly accessible, highly visible location intended for transient or short-term utilization by visitors to the principal building or use.

Place-making. The act of highlighting, designing and arranging buildings, streets, natural resources, and other distinct elements on the site, such as parks, plazas, public amenities, waterfront, and outdoor markets in a manner that augments and reinforces the area's character, connects residents and passersby with the community, promotes pedestrian activity, and fosters positive user interactions.

Shared streets. Shared roadway spaces between motor vehicles, pedestrians, and bicycles. The sidewalk and street are typically at the same level. The overall feel of the area signifies to automobile drivers that they are "guests" and should yield to pedestrians and other uses.

Streetscape. Improvements in or adjacent to a public way, usually along sidewalks or front yard space, installed to support community livability, create visual interest and foster cohesive community identity when achieved as a coordinated set of design elements, such as textured or patterned surfaces, outdoor lighting, seating, tree plantings, accent flags, and planters.

Traffic calming. General term for a variety of physical design measures intended to modify driver behavior, slow vehicles, aesthetically enhance vehicular corridors, and reduce the noise of motorized vehicle traffic. Relates to adopted City Traffic Calming Policy.

Transit. Any vehicle that is used primarily for the transportation of the general public and has a seating capacity of 10 or more passengers.