



**LEBANON PLANNING BOARD
MAY 17, 2021 - 6:30 PM
REMOTE VIA MICROSOFT TEAMS
LEBANONNH.GOV/LIVE**

1. Call to Order

- A. Review of meeting procedures and NH RSA 91-A "Right-to-Know" requirements.

2. Public Hearing Items

- A. Basic Holdings, LLC, 5 & 11 Oak Ridge Road, (Tax Map 4, Lots 5 & 6), zoned R-3: Request for Final Major Subdivision Review, Site Plan Review, and a Conditional Use Permit for a proposed Planned Unit Residential Development (PURD) pursuant to Section 501.2 of the Zoning Ordinance, containing 22 residential units together with related site improvements and amenities. PB2020-31-FMAJ -Public hearing to commence on January 11, 2021 if the Board finds that the application is complete. Continued from March 29, 2021

3. Other Business

4. Approval of Minutes

- A. March 29, 2021

5. Adjournment

The order of agenda items is subject to change.

Due to the current situation with the COVID-19 Pandemic, the City of Lebanon is offering its meetings via Microsoft Teams. Members of the public are encouraged to attend by going to LebanonNH.gov/Live where you will find instructions on how to enter the meeting. Members of the public will be able to participate and ask questions through the Microsoft Teams software or by phone. Please visit LebanonNH.gov/Live for full details.

THE AGENDA, IN ITS ENTIRETY IS AVAILABLE ON THE CITY'S WEBSITE AT [LEBANONNH.GOV](https://LebanonNH.gov)

**Agenda
Planning Board
May 17, 2021**

**Agenda Item #2A
Public Hearing Items**

**Basic Holdings, LLC,
5 & 11 Oak Ridge Road,
(Tax Map 4, Lots 5 & 6),
zoned R-3
PB2020-31-FMAJ**



CITY OF LEBANON ~ PLANNING & DEVELOPMENT

PLANNING BOARD

May 17, 2021 Special Meeting

Staff Memorandum – PB2020-31-FMAJ – *continued from 3/29/21*

APPLICATION INFORMATION

Agenda Item: 2.A

Application ID#: #PB2020-31-FMAJ

Application Type:

Final Major Subdivision Review, Site Plan Review, and Conditional Use Permit for 22-unit Planned Unit Residential Development (PURD)

Property Location & Tax Map:

5 & 11 Oak Ridge Road
(Tax Map 4, Lots 5 & 6)

Applicant/Property Owner:

Basic Holdings, LLC

Property Size (per City Assessor):

- 5 Oak Ridge Road: +/-4.33 acres (+/-183,210 sq. ft.)
- 11 Oak Ridge Road: +/-0.75 acres (+/-32,977 sq. ft.)

Zoning District:

Residential Three (R-3) District

Overlay Districts: none

Existing Improvements & Use:

- 5 Oak Ridge Road: commercial radio tower; a *nonconforming use*
- 11 Oak Ridge Road: +/-1,296 sq. ft. (finished) single-story one-family dwelling constructed in 1978 (*per the City Assessor's records*); a *conforming use per §310.2*

Proposed Improvements & Use:

21-unit Planned Unit Residential Development (PURD) per §501.1 & §501.2 of the Zoning Ordinance

LEGAL NOTICE

Basic Holdings, LLC, 5 & 11 Oak Ridge Road, (Tax Map 4, Lots 5 & 6), zoned R-3: Request for Final Major Subdivision Review, Site Plan Review, and a Conditional Use Permit for a proposed Planned Unit Residential Development (PURD) pursuant to Section 501.2 of the Zoning Ordinance, containing 22* residential units together with related site improvements and amenities. **PB2020-31-FMAJ**

**The applicant now proposes 21 residential units, per the attached revised plan set.*

NEW APPLICATION DOCUMENTS

- ▶ Letter dated April 30, 2021 from Nathan Stearns, Esq., of Hershenson, Carter, Scott and McGee, P.C. (revised project description; 2 pages)
- ▶ Letter dated April 5, 2021 from Nathan Stearns, Esq., of Hershenson, Carter, Scott and McGee, P.C. (request for reconsideration of waiver decisions; 6 pages) – *also included with the Planning Board's agenda packet for the April 12, 2021 meeting*
- ▶ Plan set titled "Final Major Subdivision Plan for Basic Holdings, LLC" prepared by Pathways Consulting, LLC, dated October 13, 2020, last revised May 3, 2021, Project No. 11465-01 (17 Sheets plus elevations/architectural renderings)
- ▶ Colorized Landscaping & Lighting Plan (Sheet 11 of the plan set)

STAFF COMMENTS

At a Special Meeting held on March 29, 2021, the Planning Board approved a motion denying the applicant's request for a 12% density bonus pursuant to Section 507.2 of the Zoning Ordinance. The Board subsequently continued the hearing to a Special Meeting on May 17th to give the applicant time to prepare revised plans based on the denial of the density bonus.

However, pursuant to a request submitted by the applicant and considered on April 12th, the Board approved a motion to suspend its denial of the density bonus. Pursuant to the Board agreeing to reconsider its denial of the density bonus, the applicant now proposes 21 dwelling units, one less than the 22 units originally proposed. As noted in prior staff memos, the applicant's permitted density is 19.92 dwelling units which – although just 0.08 dwelling units shy of 20 dwelling units – must be rounded down to 19 dwelling units. Consequently, the applicant requests that the Board approve a density bonus per Section 507.2 to allow two (2) additional dwelling units within the proposed PURD (for a total of 21 dwelling units).

cc: Jeff Shapiro, Basic Holdings, LLC (via e-mail)
Pathways Consulting, LLC (via e-mail)
Nathan Stearns, Esq. (via e-mail)
File

HERSHENSON, CARTER, SCOTT and McGEE, P.C.

P. Scott McGee
Nathan H. Stearns *
Michaela Tucker
Jonathan Teller-Ellsberg

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April 30, 2021

Lebanon Planning Board,
c/o Tim Corwin, Zoning Administrator/Senior Planner
City of Lebanon,
51 North Park Street
Lebanon, NH 03766
Tim.corwin@lebanonnh.gov

Re: Basic Holdings, LLC, 5 and 11 Oak Ridge Road PURD, Occom Path
Application #PB2020-31-FMAJ,
Revised Plans

Dear Tim,

On behalf of Basic Holdings, LLC, enclosed please find the revised plan set for the above-referenced application.

Basic Holdings would like to thank the Planning Board for agreeing to reconsider its decision to deny any density bonus to the project, and submits herewith a revised plan set for a total of 21 homes, reduced from the prior plan set with 22 homes. As noted in the motion for reconsideration (a copy of which is attached hereto for reference), the factors in Section 501.2.D.2.a produce a calculated density of 19.92 homes. Under Section 501.2.D.2.c, the Planning Board may approve a density bonus to increase the calculated density by up to 12%, for a total of 22.31 homes. The applicant's current proposal of 21 homes, only 1.08 more than the 19.92 homes produced by the density calculation, is only 45% of the total density bonus that the Planning Board could allow under the Zoning Ordinance.

The revised plan set removes the home that had previously been designated as home number 13—the home that was closest to the steep slope area—and replaces it with open space that can be used for recreation and for additional snow storage. As a result of this change, the Open Space increases from 53.1% to 55.4%, Lot Coverage (buildings) reduces from 13.9% to 13.2%, and Impervious Cover reduces from 30.2% to 29.5%.

Basic Holdings, LLC
Revised Plan Set for May 17, 2021 hearing
April 30, 2021
Page 2

We look forward to presenting these plans at the May 17th hearing. Please let me know if you have any questions or require any additional information. Thank you.

Yours truly,

/s/ Nathan H. Stearns
Nathan H. Stearns, Esq.

Enclosures

cc: Jeff Schapiro
Mac Gardner
Rod Finley

HERSHENSON, CARTER, SCOTT and McGEE, P.C.

P. Scott McGee
Nathan H. Stearns *
Micaela Tucker

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Peter H. Carter *

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General Practice of Law
Vermont and New Hampshire *

April 5, 2021

Lebanon Planning Board,
c/o Tim Corwin, Zoning Administrator/Senior Planner
City of Lebanon,
51 North Park Street
Lebanon, NH 03766
Tim.corwin@lebanonnh.gov

Re: Basic Holdings, LLC, 5 and 11 Oak Ridge Road PURD, Occom Path
Application #PB2020-31-FMAJ
Motion to Reconsider

Dear Lebanon Planning Board Members,

On behalf of Basic Holdings, LLC ("Applicant"), please accept this letter as a motion for the Lebanon Planning Board (the "Board") to reconsider its decision to deny any density bonus for the Applicant's PURD application pursuant to Section 501.2.D.2.c and Section 507 of the Lebanon Zoning Regulations. A land use Board may reconsider any of its own decisions within the statutory time period for an appeal. *The Planning Board in New Hampshire, A Handbook for Local Officials*, NH Office of Strategic Initiatives, March 2021, page V-19.

1. Applicant requests that the Board consider a revised 21 unit layout or even a 20 unit layout.

Applicant respectfully requests that the Board reconsider its decision to deny any density bonus for the Occom Path PURD. Applicant requests, however, that instead of reconsidering a 22 unit layout, the Board consider the attached alternative layouts for 21 units or 20 units. The density calculations in Section 501.2.D.2.a produce an allowable density of 19.92 units. A 21 unit layout represents an increase of barely more than 1 unit (1.08 units) under the density calculations in Section 501.2.D.2.a of the PURD regulations, and a 20 unit layout represents an increase of only 0.08 units above the density calculation.¹

¹ Applicant also notes that the formula method in Section 501.2.D.2.a requires that the total square footage of the property (after adjustment for steep slopes and wetlands) be reduced by ten percent to account for roads and streets. This results in a very conservative density calculation given that Occom Path uses less than seven percent of the area for roads and streets. For the Occom Path PURD the net square footage of the property is 221,285 s.f.. Applying the density formula results in a reduction for roads and streets of 22,128 s.f. and a net area of 199,147 s.f., for a total of 19.92 units. The actual square feet allocated to roads and streets, however, is only slightly more than 15,000, s.f., which would result in a net area of approximately 206,000 s.f., for a total of 20.6 units.

Both the 21 unit layout and the 20 unit layout remove the unit closest to the steep slope area, and replace that unit with additional open space to be used as a recreational area for the residents. Additionally, both layouts add 8 parking spaces to the interior island, for a total of 16 guest parking spaces—a 100% increase from the 22 unit layout and a 400% increase from Preliminary Design Review. Finally, the revised layout allows for additional snow storage in the area of the removed unit. Applicant believes that the proposed 21 unit and 20 unit layouts address the Board's concerns raised during consideration of the 22 unit layout by providing increased open space for the residents, increased parking, and less development proximate to the steep slope area.

2. Applicant's proposal is consistent with the Objectives of the PURD regulations.

The Applicant's proposals are consistent with the objectives of the PURD as set forth in Section 501.2.A of the Lebanon Zoning Regulations, which provide as follows:

The objectives of the PURD provisions of this ordinance are as follows:

1. To encourage conservation of Open Space to effect appropriate density and protect important natural resources such as agricultural soils, forested land, wildlife habitat, water resources, other natural resources, including geologic and scenic, and historical and archeological resources.
2. To establish a connected network of conservation lands, trails, and working farm and forest land throughout the City by linking the Open Spaces and trails within the development, to conservation lands, important natural resources and trails on adjoining lands wherever possible, and as particularly found in the Lebanon Master Plan and Natural Lebanon.
3. To preserve those areas of the property that have the highest ecological value, including, for example, wildlife habitat, large un-fragmented blocks of undeveloped land, and areas of co-occurring resources as shown in Natural Lebanon, and water resources, such as drinking water supply areas, wetlands, streams and rivers.
4. To encourage the development of environmentally sensitive outdoor recreation land uses.
5. To allow flexibility in residential development to provide for a diversity of housing types, densities, and styles.
6. To provide opportunities for the development of workforce or affordable housing.

7. To locate buildings and structures on those portions of the property which are the most appropriate for development and avoiding developing in areas ill-suited for development, including, for example, areas with poor soil conditions, a high water table, that are subject to frequent flooding or that have excessively steep slopes.

8. To encourage a more suitable form of development by facilitating the design, construction, and maintenance of housing, streets, utilities and public services in a more economic and efficient manner and by integrating the new development into the existing built and natural environment.

9. To promote the reduction of impervious surface areas and sustainable stormwater management

The Applicant's proposal—which, as far as Applicant is aware is the first development to be reviewed under Lebanon's PURD regulations, promotes these objectives. Among other things: Open Space will be conserved; Development will avoid sensitive natural resources, i.e., steep slopes; The project consists of single family homes and duplexes—a housing type in short supply in Lebanon; and the clustered layout reduces impervious surface and is designed based on sustainable stormwater management. Denying any density bonus appears, on its surface, to be at odds with these objectives, and applicant proposes that reconsideration is appropriate based on these objectives.

To encourage an Applicant to use the PURD development process and conserve open space, an applicant who uses the PURD design mechanism is eligible for a density bonus. The Applicant went to great lengths to propose a development that is consistent with the PURD requirements and objectives, and Applicant asks that the Board consider these Objectives when they consider Applicant's motion to reconsider the decision to deny a density bonus.

3. Applicant's proposal is consistent with the Board's Preliminary Design Review Findings and Determinations.

In January 2019, the Applicant submitted an application to the Board for Design Review of a Preliminary Layout for a 21 unit Planned Unit Residential Development. On November 12, 2019, the Board issued Preliminary Findings and Determinations, #PB2019-03-PMJ. Although the Preliminary Findings and Determinations stated that "[t]he Board is generally concerned with the proposed density of the development," the Board did not express disapproval for 21 units. The comments of the Board regarding density concerns that were memorialized in the Preliminary Findings and Determinations identified "the ability of the applicant to provide sufficient parking given the size of the property and the limitations imposed by the PURD open space requirements." Comments made during the deliberations also identified the amount of space between units as a "density" concern, but those comments were not incorporated into the

written Preliminary Findings and Determinations. The Board also discussed traffic and the anticipated requirement for a sidewalk to provide safe access to the Advance Transit stop on NH Route 10—but those discussions were not characterized at that time as issues related to density, but instead were identified as issues related to the potential need for off-site improvements.

In response to the Board's input and Preliminary Findings and Determinations, the Applicant redesigned the Preliminary layout to address the Board's density concerns. The Applicant relocated the community gardens to an area in the northwest corner of the Project. That move allowed increased spacing between the units. The applicant reconfigured the footprint of the homes and garages to provide an offset parking space in front of each garage that offers an open area for play space or additional guest parking for each unit, and results in a distance between units across the face of the garages of approximately 40 feet. The redesigned layouts also increase guest parking from 4 (in the Preliminary layout) to 16 spaces.

In addition, in response to neighbor comments that development should fit with the single family homes on Oak Ridge Road, Applicant moved the duplexes initially proposed to front on Oak Ridge to the rear of the development, and the current layouts provide single family homes on the Oak Ridge Road frontage.

Despite the Applicant's efforts to address the comments in the Board's Preliminary Findings and Determinations, the Board voted to deny any density bonus for the Project. This denial was unexpected based on the Preliminary Findings and Determinations, and Applicant respectfully requests that the Board reconsider its decision.

4. The revised 21 unit layout addresses comments of Board members made in connection with the decision to deny a bonus density.

If the Board agrees to reconsider its decision, Applicant asks the Board to consider the following:

Some of the Board member's stated reasons for denial discussed opinions that the houses are "squeezed in", "crammed in", and tightly packed. As indicated in the statement of Objectives, a PURD is designed and intended specifically to cluster together houses so that open space can be left open. The Applicant's layout is doing exactly what is intended and required under a PURD. Furthermore, Occom Path is far less dense than other housing projects that the Planning Board has approved in the last five years. Multistory apartment buildings behind the Element Hotel, on Mechanic Street and on Mount Support Road all have residents living within a few feet of each other in four directions (walls and ceilings shared with other tenants). These developments are also designed shared hallways which add to the density of people being near each other and lack of privacy and space. In addition, the attached layouts appear to be less dense than the nearby Pinewood Village, which consists almost entirely of duplexes with very little separation between outside walls of units.

The slight increase in density from 19.92 to 21 units or 20 units will only impact the people who live in Occom Path—all of whom will make an active choice to live there. No residents of the Oak Ridge Road neighborhood have to live there or even enter the property. Direct access to any outdoor space when it comes to the rental inventory in Lebanon is in rare supply and Occom Path will provide that quality of life by offering an alternative to multi-family housing units, more than offsetting any increase in density. If members of the Board have themselves, or know anyone who has looked to rent property in Lebanon in recent times, they will know then an extra unit or two matters when all you can find is an apartment without any outdoor space for kids and their families. Additionally, Occom Path is within a three minute walk to Sachem Field which provides many acres of recreational land that is enjoyed by the community.

While the Planning Board expressed an belief that it should not take the economics of a project into account, Objective 8 of the PURD Objectives set forth in Section 501.2.A.8, states that the objectives of the PURD regulations is “[t]o encourage a more suitable form of development by facilitating the design, construction, and maintenance of housing, streets, utilities and public services in a more economic and efficient manner.” Accordingly, Applicant submits that it would be appropriate for the Board to consider as a positive factor that building more units with the same infrastructure will more economic and efficient.

In addition, it is no secret that there is an outcry in the community for making housing more affordable. When units are cut back, the fixed costs of developing a property (road, utilities and even planning and design costs) are spread over fewer units. Hence, a developer needs to charge higher rent to pay for the project. A reduction in density from 21 to 19 units will have the undesired effect of increasing the average rent at Occom Path by 14%. In addition, a reduction from 21 to 19 units will result in a reduction in anticipated tax revenues for the City of Lebanon by close to \$12,000 per year.

For the foregoing reasons, Basic Holdings, LLC respectfully request that the Board reconsider its decision to deny any density bonus for the Occom Path PURD and agree to review Applicant’s proposed 21 unit layout or 20 unit layout for compliance with PURD, Subdivision, and Site Plan Review regulations.

Yours truly,

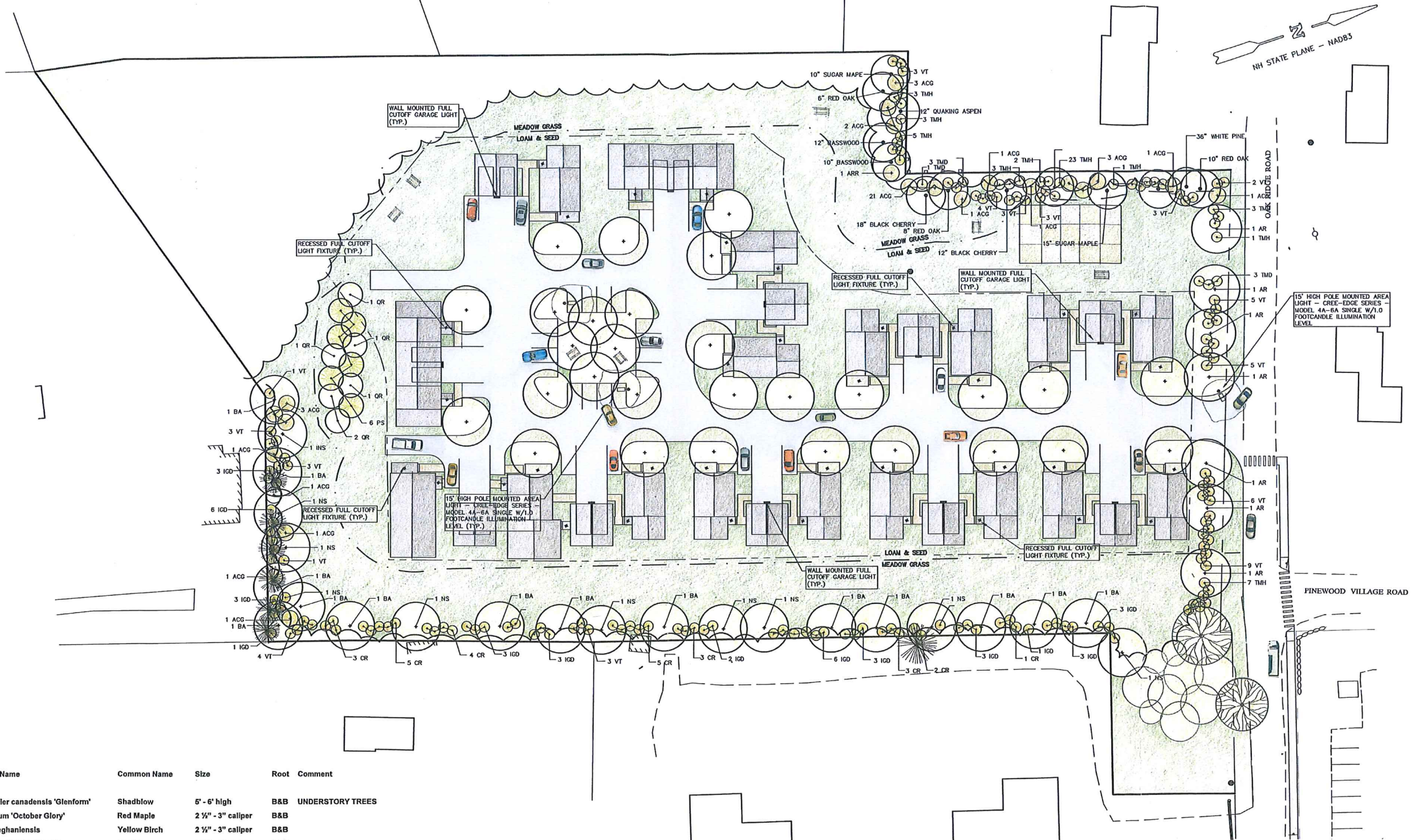
/s/ Nathan H. Stearns

Nathan H. Stearns, Esq.

Enclosures

Basic Holdings, LLC
Application for PURD and Final Plat Review
April 5, 2021
Page 6

cc: Jeff Shaprio
Mac Gardner
Rod Finley



Plant List

Key	Qty.	Botanical Name	Common Name	Size	Root	Comment
Trees						
ACG	22	Amelanchier canadensis 'Glenform'	Shadblow	5' - 6" high	B&B	UNDERSTORY TREES
AR	31	Acer rubrum 'October Glory'	Red Maple	2 1/2" - 3" caliper	B&B	
BA	14	Betula alleghaniensis	Yellow Birch	2 1/2" - 3" caliper	B&B	
NS	9	Nyssa sylvatica 'Red Rage'	Tupelo	2 1/2" - 3" caliper	B&B	
QR	1	Quercus rubra	Red Oak	2 1/2" - 3" caliper	B&B	
QR	6	Quercus rubra	Red Oak	1 1/2" - 2" caliper	B&B	
PS	6	Pinus Strobus	Eastern White Pine	3' - 4' high	B&B	
Shrubs						
CR	29	Cornus racemosa	Grey Dogwood	24" - 30" high	B&B	
IGD	41	Ilex glabra 'Densa'	Inkberry	24" - 30" high	B&B	
TMD	7	Taxus media 'Densiflora'	Spreading Yew	18" - 24" spread	B&B	
TMH	32	Taxus media 'Hicksii'	Upright Yew	24" - 30" high	B&B	

NOTE: THE PERCENTAGE OF EVERGREENS USED PER SPR 6.2.B4 IS 0%.

REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY
	11/20/20	STAFF REVIEW COMMENTS	PAB	RJF	RJF

LANDSCAPE & LIGHTING PLAN FOR
OCCOM PATH - BASIC HOLDINGS, LLC
 OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC
 240 MECHANIC STREET, SUITE 100
 LEBANON, NEW HAMPSHIRE 03766
 (603) 448-2200

SCALE: 1"=30'
DESIGNED BY: PAB
DRAWN BY: PAB
CHECKED BY: RJF
DATE: 10/13/20
PROJ. NO. 11465-01

10

SHEET 10 OF 17

OCCOM PATH PURD, BASIC HOLDINGS, LLC

LEBANON, NEW HAMPSHIRE 03766

OCTOBER 13, 2020
PROJECT NO. 11465-01

SITE INFORMATION

TAX MAP & LOT NUMBERS:	MAP 4 LOTS 5 & 6		
ZONING DISTRICT:	RESIDENTIAL THREE (R-3)		
AREA OF LOTS:	5.08 ACRES		
PROPOSED USE:	PLANNED UNIT RESIDENTIAL DEVELOPMENT		
NUMBER OF UNITS	21		
PARKING:	REQUIRED 42	PROPOSED	
		22 GARAGE SPACES	
		21 PAVED UNIT SPACES	
		16 GUEST SPACES	
		59 TOTAL SPACES	
GROSS AREA OF BUILDINGS:	33,182 SF		
SINGLE FAMILY:	1,456 SF	1 STORY (1,456 SF)	H-23'±
DUPLEX:	1,468 SF EACH UNIT	2 STORIES	H-33'±
		1st STORY (698 SF)	
		2nd STORY (770 SF)	
		2 STORIES	
		1st STORY (962 SF)	
TWO STORY SINGLE FAMILY:	1,637 SF	2nd STORY (675 SF)	H-31'±
LOADING SPACES:	N/A		
BUILDING SETBACKS:	REQUIRED	PROPOSED	
		FRONT: 20'	21.2
		SIDE: 50'	51.4'
		REAR: 50'	76.1'
		SIDE: 75'	75.7'
(ABUTTING RESIDENTIAL LOT <40,000 SQ. FT.)	REAR: 75'		76.1'
LOT COVERAGE (BUILDINGS):	ALLOWED	PROPOSED	
	25%	13.2% (29,264 SQ. FT.)	
IMPERVIOUS AREA:	65,288 FT. (29.5%)		
OPEN SPACE:	122,635 SQ. FT. (55.4%)		

THE SITE IS NOT WITHIN THE WETLANDS CONSERVATION DISTRICT, FLOODPLAIN DISTRICT, AND THE SHORELAND WATER QUALITY PROTECTION JURISDICTION.

PATHWAYS CONSULTING, LLC IS NOT AWARE OF ANY ABUTTING CONSERVATION, PRESERVATION, OR AGRICULTURAL PRESERVATION RESTRICTIONS ON ABUTTING PARCELS.

PATHWAYS CONSULTING, LLC IS NOT AWARE OF ANY PERSONS HOLDING CONSERVATION, PRESERVATION, OR AGRICULTURAL PRESERVATION RESTRICTION ON THE SUBJECT PROPERTY.

PATHWAYS CONSULTING, LLC IS NOT AWARE OF ANY HOLDERS OF ANY EASEMENTS, RIGHTS-OF WAYS, OR OTHER RESTRICTIONS ON THE SUBJECT PROPERTY.

NOTE: PURSUANT TO NEW HAMPSHIRE RSA 674:39-A MAP 4 LOT 6 WILL BE VOLUNTARILY MERGERED WITH MAP 4 LOT 5.

NOTES:

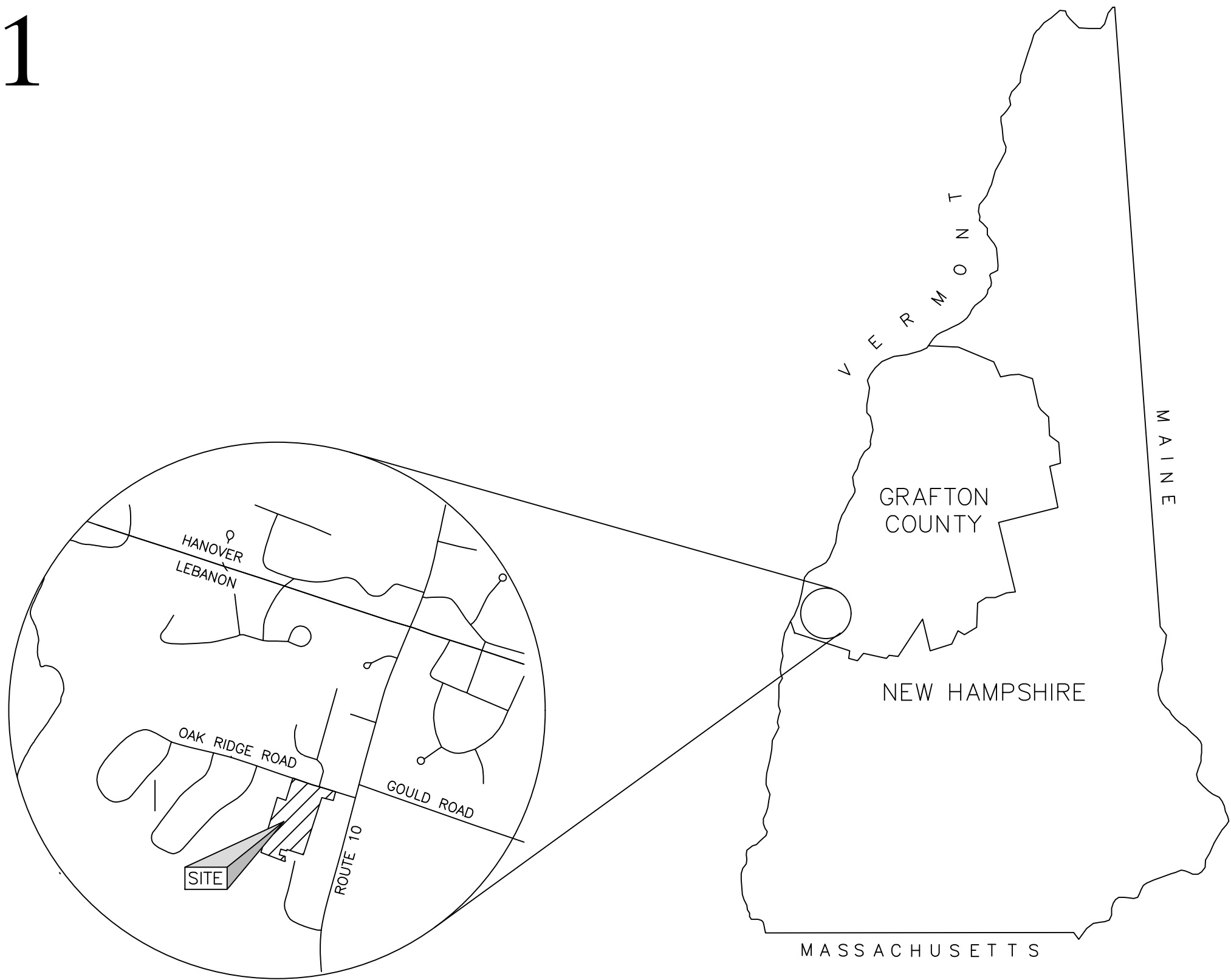
1. THE PLAN IS FOR MAJOR SUBDIVISION APPROVAL, SITE PLAN APPROVAL, AND CONDITIONAL USE PERMIT APPROVAL FOR A PURD PER SECTION 501.2 OF THE ZONING ORDINANCE.
2. ON NOVEMBER 12, 2019 THE PLANNING BOARD'S FINDING OF FACT WERE ISSUED PER SECTION 10.2 OF THE SUBDIVISION REGULATIONS
3. PER NH RSA 676:12, VI, THE FOLLOWING VERSIONS OF THE LEBANON LAND USE REGULATIONS ARE APPLICABLE TO THE PROPOSED DEVELOPMENT: THE SUBDIVISION REGULATIONS AS LAST AMENDED DECEMBER 10, 2018, THE SITE PLAN REVIEW REGULATIONS LAST AMENDED DECEMBER 10, 2018, AND THE ZONING ORDINANCE LAST AMENDED AUGUST 15, 2018.

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SHEET	15 OF 17	STORMWATER DETAILS
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SHEET	17 OF 17	SIDEWALK EXTENSION PLAN ELEVATIONS

UNIT DENSITY CALCULATIONS PER SECTION 501.2.D.2.a OF THE ZONING ORDINANCE

PARCEL AREA:	221,285 SF (5.08 ACRES)
AREA OF STEEP SLOPES > 25%	23,226 SF
AREA OF WETLANDS	0 SF
% OF PROPERTY COVERED BY STEEP SLOPE & WETLANDS	10.45%
% OF STEEP SLOPES/WETLANDS AREA TO BE SUBTRACTED FROM LOT SIZE	0 SF (WHERE STEEP SLOPES/WETLANDS COVER LESS THAN 15% OF THE LOT)
NET PARCEL AREA:	221,285 SF
MINUS 10% PARCEL AREA (STREETS/ROADS)	22,128 SF
NET PARCEL AREA:	199,147 SF
ALLOWABLE UNIT DENSITY (10,000 SF/UNIT)	19.92 UNITS
12% DENSITY BONUS:	2.39 UNITS
TOTAL UNIT DENSITY	22.31 UNITS



LOCATION MAP

REVISED 05/03/21 21 UNIT LAYOUT REVISIONS
REVISED 03/16/21 REVISED PLAN NOTES
REVISED 02/04/21 NHDES SEWER CONNECTION REVIEW COMMENTS
REVISED 12/09/20 ADDITIONAL STAFF REVIEW COMMENTS
REVISED 11/20/20 STAFF REVIEW COMMENTS

ARCHITECT
HILLVIEW DESIGN COLLABATIVE

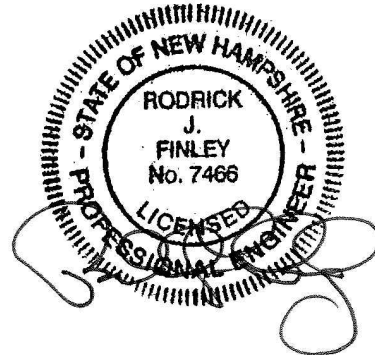
65 HUNTINGTON ROAD — SUITE 101
RICHMOND, VERMONT

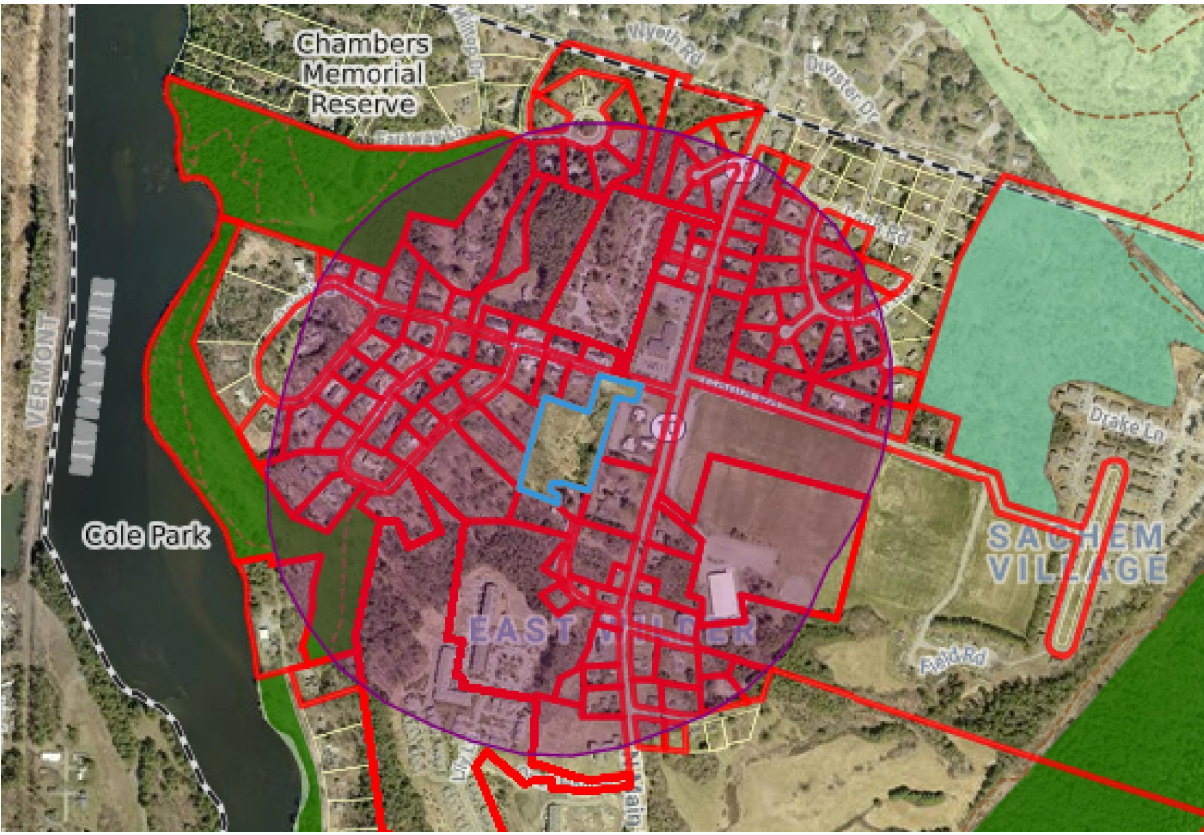
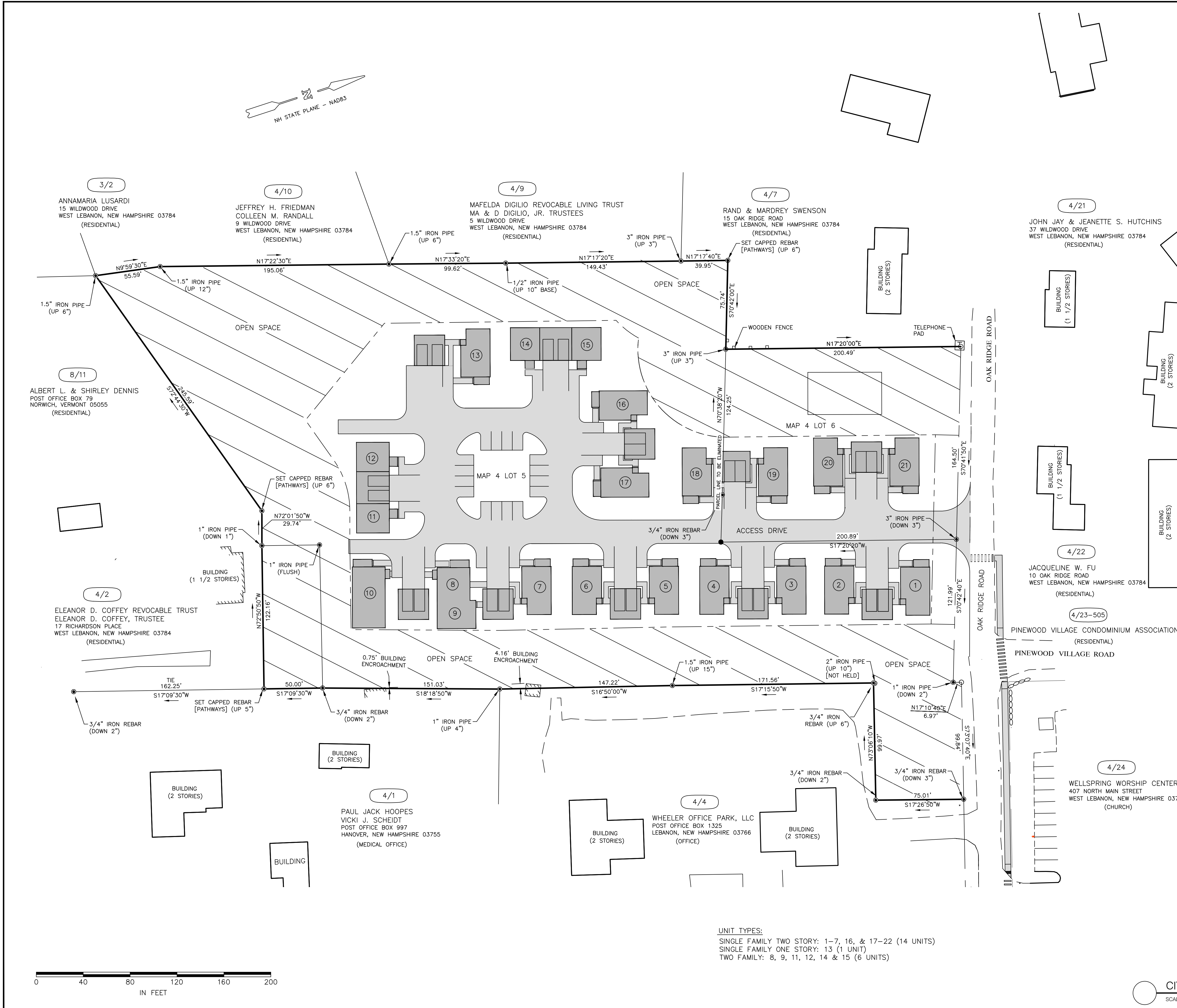
CIVIL ENGINEER:
PATHWAYS CONSULTING, LLC

240 MECHANIC STREET — SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

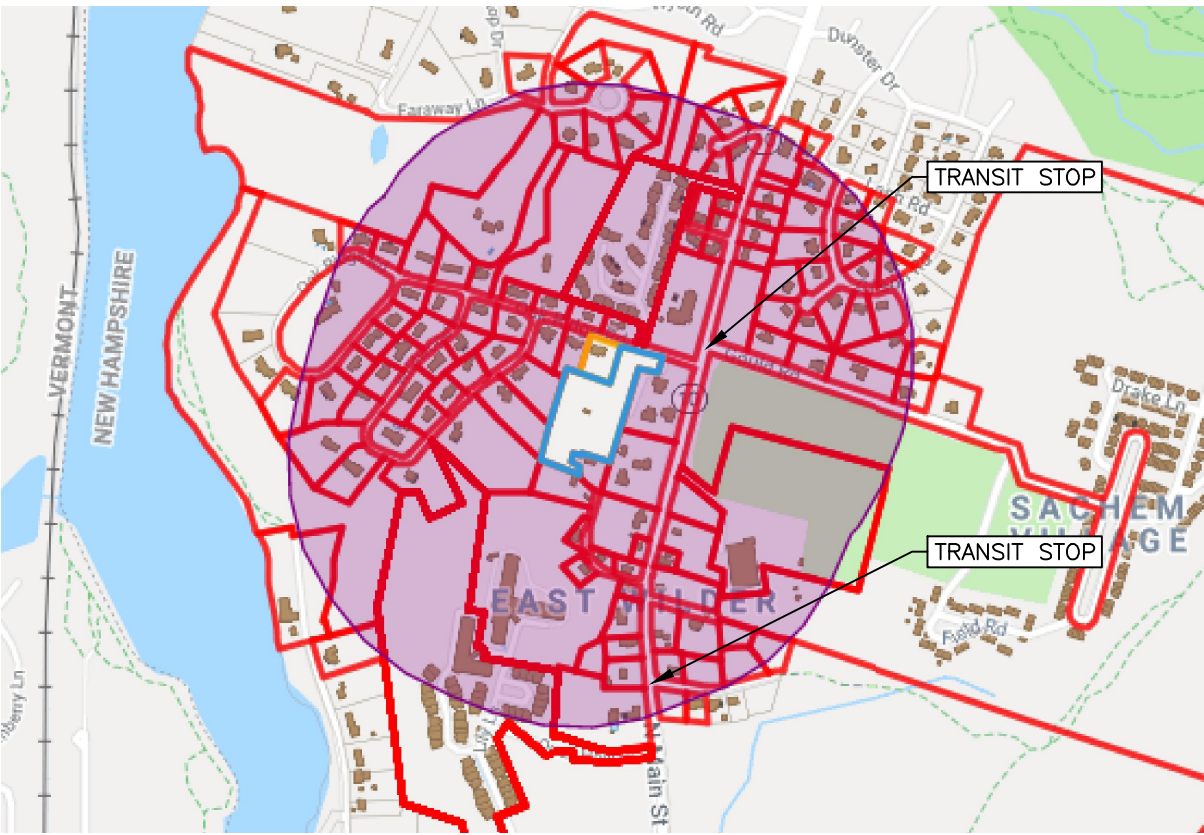
RECORD OWNER & APPLICANT:

BASIC HOLDINGS, LLC.
C/O GREAT EASTERN RADIO
106 NORTH MAIN STREET
WEST LEBANON, NEW HAMPSHIRE 03784

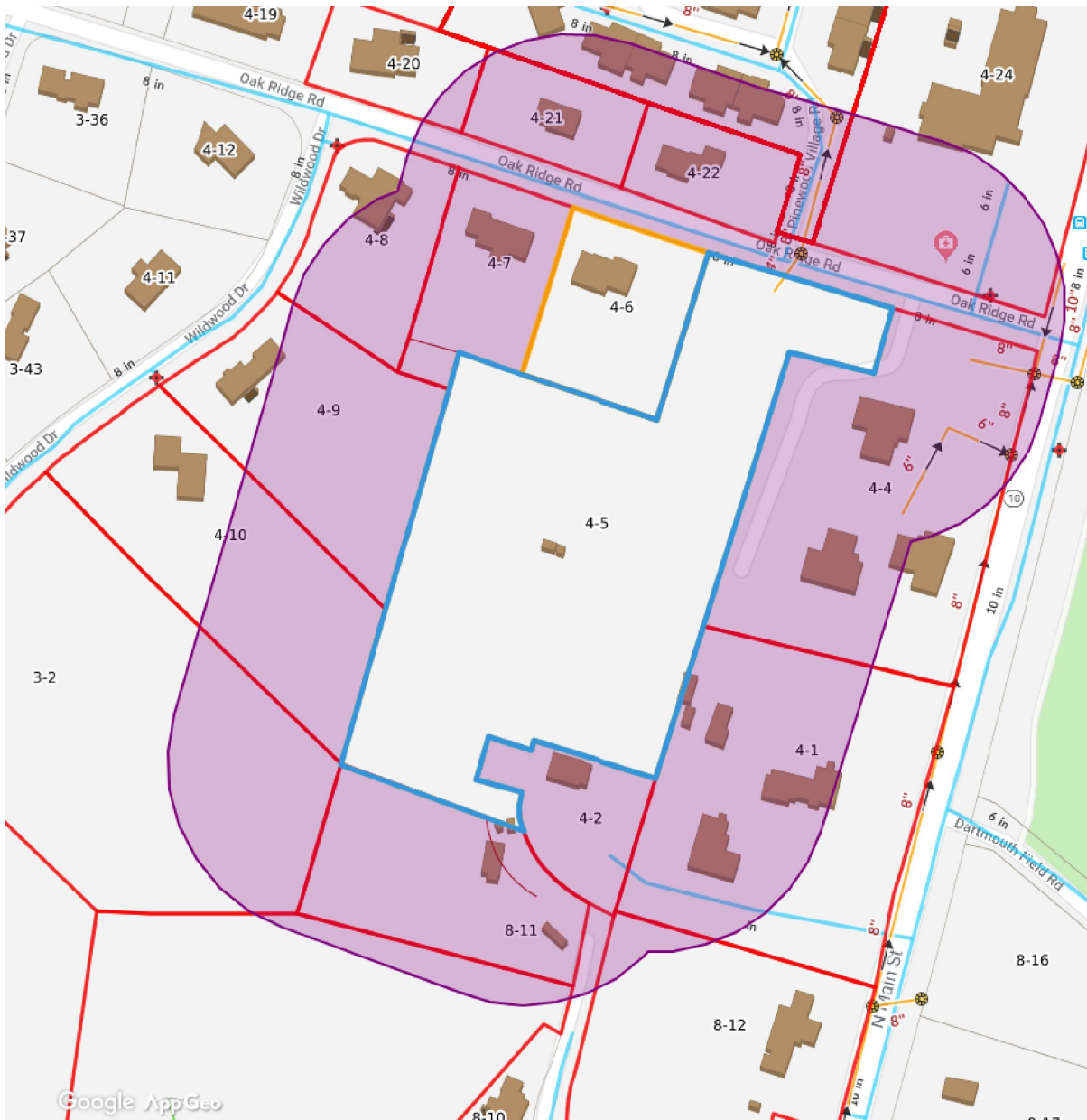




CITY OF LEBANON CONSERVATION PROPERTIES WITHIN 1/4 MILE
SCALE: AS SHOWN



BUS STOPS WITHIN 1/4 MILE
SCALE: AS SHOWN



CITY OF LEBANON STRUCTURES, WATER, SEWER & DRAINAGE UTILITIES WITHIN 200'
SCALE: AS SHOWN

REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY
	05/01/21	21 UNIT LAYOUT REVISIONS	PAB	RJF	RJF
	11/20/20	STAFF REVIEW COMMENTS	PAB	RJF	RJF

CONTEXT PLAN FOR

OCCOM PATH - BASIC HOLDINGS, LLC

OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC

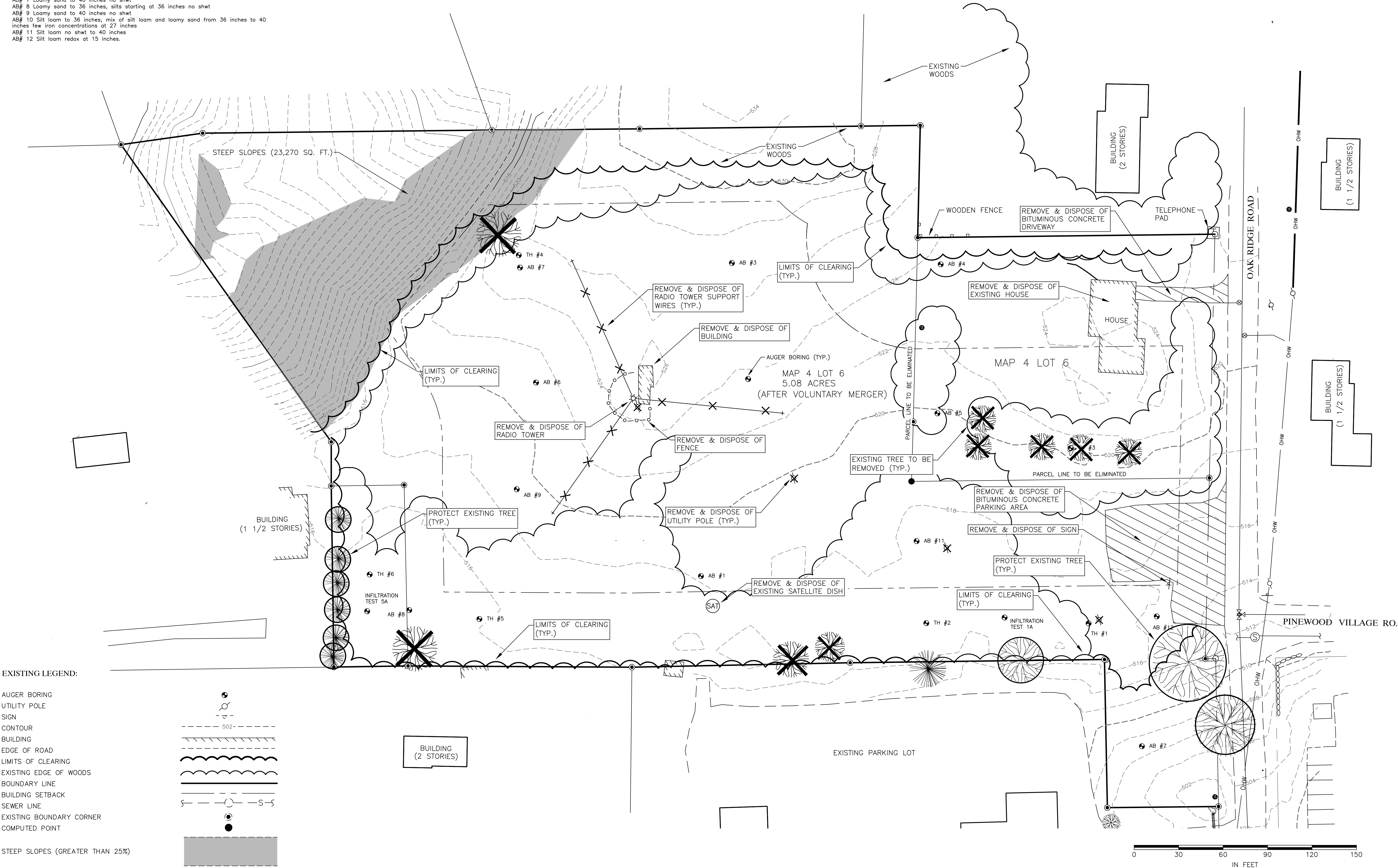
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: AS SHOWN
DESIGNED BY: PAB
DRAWN BY: PAB
CHECKED BY: RJF
DATE: 10/13/20
PROJ. NO. 11465-01

2

SHEET 2 OF 17

AB# 1 Silt loam redox, at 12 inches
AB# 2 Silt loam redox, at 16 inches
AB# 3 Silt Loam redox at 16 inches
AB# 4 Silt loam redox, at 10 inches
AB# 5 Silt loam redox at 15 inches
AB# 6 Loamy sand to 40 inches no shwt
AB# 7 Loamy sand to 40 inches no shwt
AB# 8 Loamy sand to 36 inches, silts starting at 36 inches no shwt
AB# 9 Loamy sand to 40 inches no shwt
AB# 10 Silt loam to 36 inches, mix of silt loam and loamy sand from 36 inches to 40 inches few iron concentrations at 27 inches
AB# 11 Silt loam no shwt to 40 inches
AB# 12 Silt loam redox at 15 inches.



EXISTING LEGEND:

AUGER BORING
UTILITY POLE
SIGN
CONTOUR
BUILDING
EDGE OF ROAD
LIMITS OF CLEARING
EXISTING EDGE OF WOODS
BOUNDARY LINE
BUILDING SETBACK
SEWER LINE
EXISTING BOUNDARY CORNER
COMPUTED POINT

STEEP SLOPES (GREATER THAN 25%)

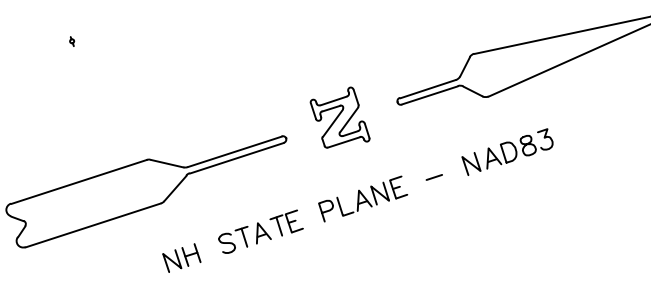
EXISTING CONDITONS & DEMOLITION PLAN FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC

240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: 1"=30'
DESIGNED BY: PAB
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DATE: 10/13/20
PROJ. NO. 11465-01

4
SHEET 4 OF 17



NOTE:
"PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, DEVELOPER OR DESIGNEE SHALL OBTAIN ALL REQUIRED APPROVALS FROM THE CITY INCLUDING WITHOUT LIMITATION ANY SUCH APPROVALS AS MAY BE REQUIRED THROUGH THE PLANNING & DEVELOPMENT DEPARTMENT, DEPARTMENT OF PUBLIC WORKS, POLICE DEPARTMENT, AND FIRE DEPARTMENT."

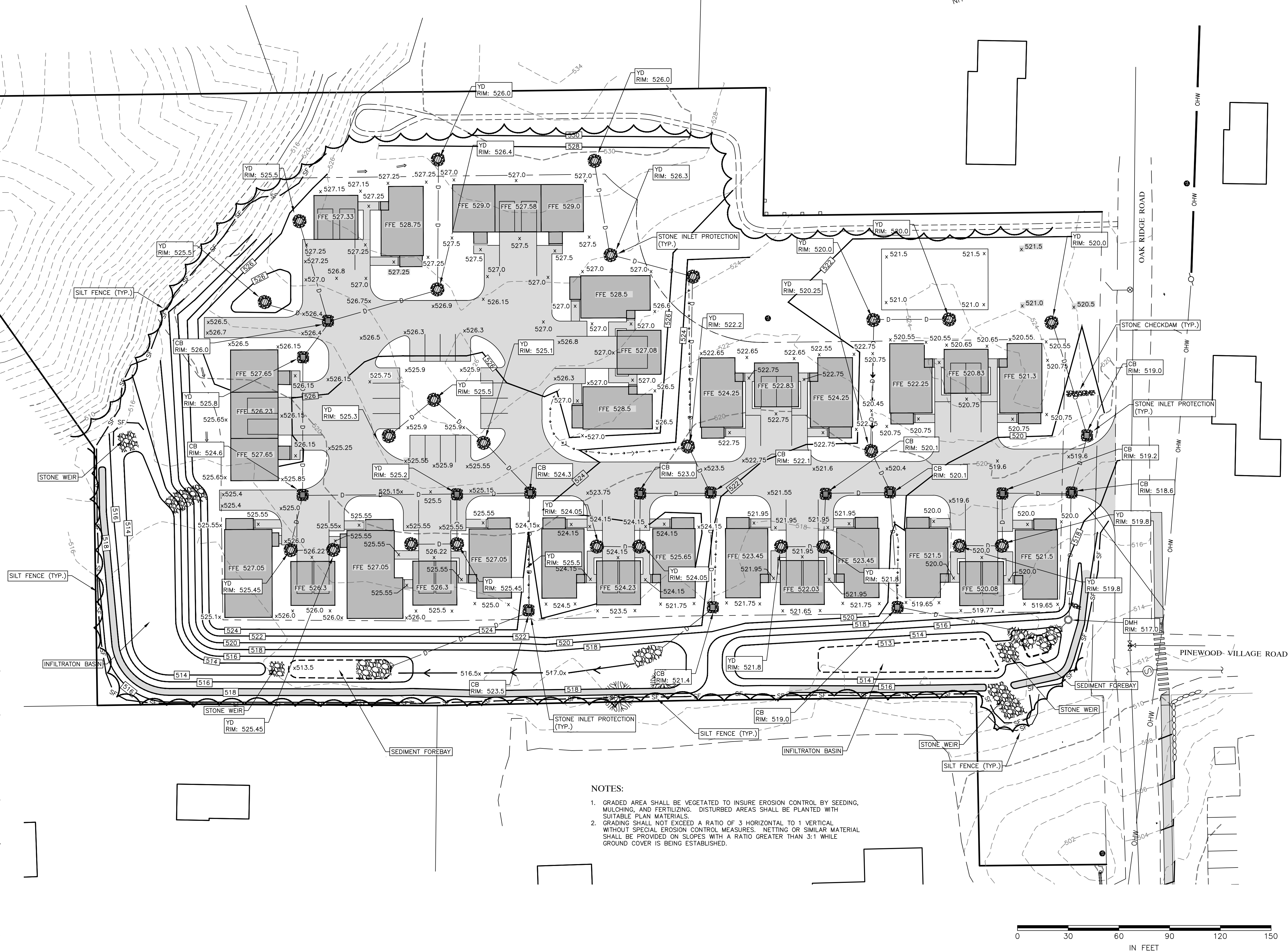
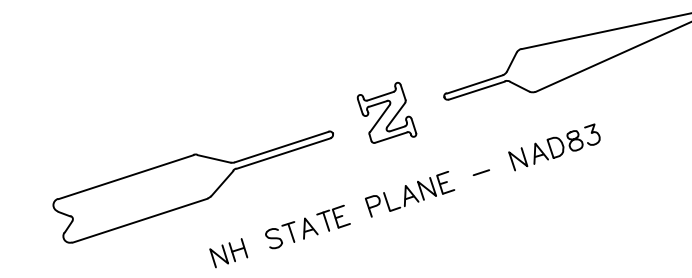
UNIT TYPES:
SINGLE FAMILY TWO STORY: 1-7, 16, & 17-22 (14 UNITS)
SINGLE FAMILY ONE STORY: 13 (1 UNIT)
TWO FAMILY: 8, 9, 11, 12, 14 & 15 (6 UNITS)

LAYOUT PLAN FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: 1"=30'
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REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY
	05/03/21	21 UNIT LAYOUT REVISIONS	PAB	RJF	RJF
	11/20/20	STAFF REVIEW COMMENTS	PAB	RJF	RJF



PROPOSED LEGEND:

DRAIN LINE	D
CATCH BASIN/YARD DRAIN	
WATER LINE	W
GATE VALVE	X
CORPORATION	
CURB STOP	
SEWER LINE	S
SEWER MANHOLE	
CONTOUR	502
SPOT GRADE	x502.0
UNDERGROUND TELEPHONE/ ELECTRIC & CABLE	UGETC
BITUMINOUS CONCRETE PAVING	
BUILDING	

NOTES:

1. GRADED AREA SHALL BE VEGETATED TO INSURE EROSION CONTROL BY SEEDING, MULCHING, AND FERTILIZING. DISTURBED AREAS SHALL BE PLANTED WITH SUITABLE PLAN MATERIALS.
2. GRADING SHALL NOT EXCEED A RATIO OF 3 HORIZONTAL TO 1 VERTICAL WITHOUT SPECIAL EROSION CONTROL MEASURES. NETTING OR SIMILAR MATERIAL SHALL BE PROVIDED ON SLOPES WITH A RATIO GREATER THAN 3:1 WHILE GROUND COVER IS BEING ESTABLISHED.

GRADING PLAN FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

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DESIGNED BY: PAB
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DATE: 10/14/20
PROJ. NO. 11465-01

6
SHEET 6 OF 17

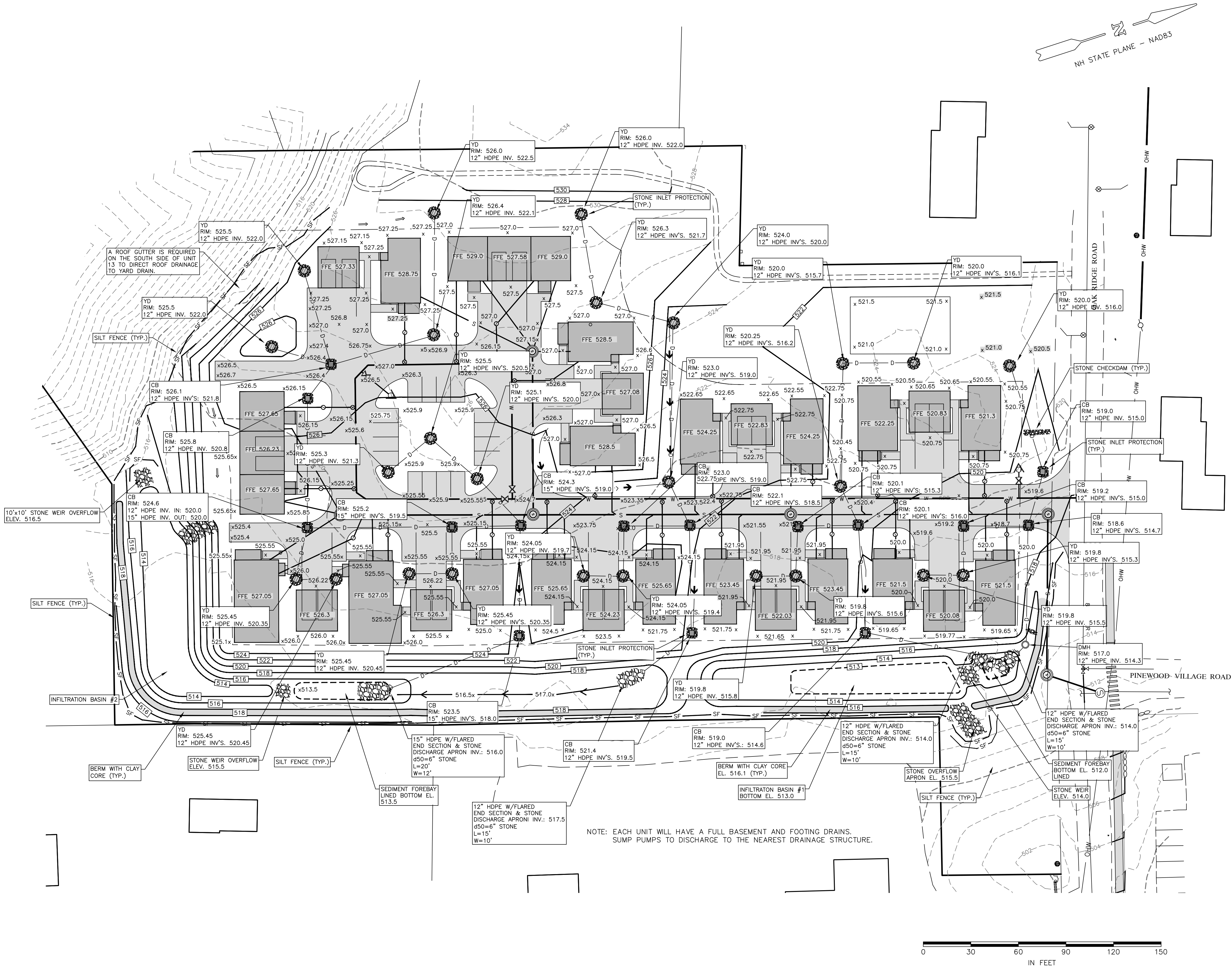
REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY
	05/03/21	21 UNIT LAYOUT REVISIONS	PAB	RJF	RJF
	11/20/20	STAFF REVIEW COMMENTS	PAB	RJF	RJF

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEBANON CONSTRUCTION STANDARDS AND SPECIFICATIONS.
2. LOCATION AND SIZE OF EXISTING PIPES AND OTHER UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR COMPLETE.
3. EXPLORATORY EXCAVATION SHALL BE REQUIRED TO VERIFY LOCATION AND SIZE OF EXISTING UTILITIES AND APPURTENANCES.
4. TOPOGRAPHY HAS BEEN COMPILED BY PATHWAYS CONSULTING, LLC.
5. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING ELECTRIC, CABLE TELEVISION AND TELEPHONE UTILITIES PRIOR TO COMMENCEMENT OF WORK. DIG SAFE SHALL BE NOTIFIED AT LEAST 3 WORKING DAYS PRIOR TO ANY WORK.
6. CITY OF LEBANON PUBLIC WORKS PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO ANY UTILITY CONSTRUCTION. UTILITY CONSTRUCTION MAY ONLY BEGIN AFTER AUTHORIZATION FROM PUBLIC WORKS PERSONNEL.
7. THE CITY OF LEBANON (PUBLIC WORKS/ENGINEERING) SHALL BE NOTIFIED PRIOR TO ANY WORK REQUIRING TRAFFIC IMPEDANCE, ROADWAY OR DRAINAGE STRUCTURE DISTURBANCE. CONSTRUCTION MAY ONLY BEGIN AFTER AUTHORIZATION FROM CITY PERSONNEL.
8. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION IF THERE ARE ANY DISCREPANCIES IN PLANS OR EXISTING DATA. CONSTRUCTION SHALL NOT PROCEED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
9. ELECTRICAL, CABLE TELEVISION AND TELEPHONE SERVICE CONNECTIONS ARE SHOWN ON THESE PLANS. DISCREPANCIES OR CHANGES AS A RESULT OF THESE SERVICES MUST BE ACCEPTED BY THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
10. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED AS OFTEN AS REQUIRED BY WEATHER CONDITIONS.
11. DITCHES AND OTHER RUNOFF COLLECTION AREAS SHALL BE MAINTAINED BOTH DURING AND AFTER CONSTRUCTION TO ENSURE THE PROPER REMOVAL OF SEDIMENT.
12. ALL SLOPES GREATER THAN 3:1 (3 HORIZONTAL TO 1 VERTICAL) SHALL BE STABILIZED USING MULCH NETTING. ADDITIONAL STABILIZATION MEASURES NECESSARY SHALL BE IMPLEMENTED AS REQUIRED BY WEATHER CONDITIONS. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5' - 6" COVER OVER TOP OF WATER MAIN TO PROPOSED GRADE.
13. ALL WATER MAIN MECHANICAL JOINTS SHALL BE INSTALLED USING RETAINER GLANDS. ALL WATER MAIN FITTINGS SHALL BE RESTRAINED BY CONCRETE THRUST BLOCKS.
14. VERTICAL BENDS SHALL BE RESTRAINED USING RETAINER GLANDS, RODS AND THRUST BLOCKS AS ACCEPTED BY THE ENGINEER.
15. PRESSURE TESTING AND CHLORINATION TAPS SHALL BE LOCATED AS DIRECTED BY THE ENGINEER.
16. ALL WATER VALVES SHALL OPEN LEFT.
17. HORIZONTAL SEPARATION OF WATER AND SEWER SHALL BE AT LEAST 10' OR AS SHOWN ON THE SEWER DETAIL SHEET. WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER AND THE WATER MAIN SHALL HAVE AT LEAST 18" VERTICAL SEPARATION AND THE SEWER PIPE SHALL BE CL. 52 DUCTILE IRON FOR A MINIMUM OF 9' EACH SIDE OF THE CROSSING.
18. MAINTAIN MINIMUM HORIZONTAL SEPARATION OF 5' FROM WATER MAIN TO CATCH BASINS.
19. CATCH BASINS SHALL HAVE 2' SUMPS IN ACCORDANCE WITH CITY OF LEBANON STANDARDS.
20. GRADING SHALL BE DIRECTED TOWARD COLLECTION STRUCTURES UNLESS OTHERWISE DIRECTED BY THE ENGINEER IN WRITING. MATCH ALL RIMS, FRAMES, AND GRATES TO FINISHED GRADES (DESIGN ELEVATIONS ARE APPROXIMATE).
21. ALL DRAINAGE FACILITIES SHALL BE INSTALLED IN EXISTING GROUND UNLESS OTHERWISE SHOWN ON PLANS OR DIRECTED BY THE ENGINEER IN WRITING.
22. A POSITIVE SLOPE SHALL BE MAINTAINED FOR ALL DRAINAGE FACILITIES UNLESS OTHERWISE DIRECTED BY THE ENGINEER IN WRITING.
23. INSTALL CONCRETE SEWER PIPE ANCHOR/DAM AT 50 FOOT INTERVALS ON ALL SEWER LINES OVER 8% SLOPE.
24. SNOW WILL BE STORED ON-SITE.
25. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION ON THIS SITE UNLESS RETAINED FOR CONSTRUCTION OBSERVATION AND SHOP DRAWING REVIEW SERVICES.
26. LIGHTING DETAILS ARE INTENDED TO CONVEY GENERAL CONSTRUCTION COMPONENTS. SHOP DRAWINGS WILL BE REVIEWED PRIOR TO CONSTRUCTION TO VERIFY THAT AT LEAST THE MINIMUM LIGHTING CRITERIA ARE MET.
27. CONTRACTOR SHALL ERECT AND MAINTAIN CONSTRUCTION FENCING TO PROTECT VEGETATED AREAS TO REMAIN UNDISTURBED.
28. NEW WORK IDENTIFIED BY [] .

PROPOSED LEGEND:

DRAIN LINE	D
CATCH BASIN/YARD DRAIN	[Symbol]
WATER LINE	W
GATE VALVE	[Symbol]
CORPORATION	[Symbol]
CURB STOP	[Symbol]
SEWER LINE	S
SEWER MANHOLE	[Symbol]
CONTOUR	[Symbol]
SPOT GRADE	x502.0
UNDERGROUND TELEPHONE/ ELECTRIC & CABLE	UG/ETC
BITUMINOUS CONCRETE PAVING	[Symbol]
BUILDING	[Symbol]



GRADING, DRAINAGE & EROSION CONTROL PLAN FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: 1"=30'
DESIGNED BY: PAB
DRAWN BY: PAB
CHECKED BY: RJF
DATE: 09/13/20
PROJ. NO. 11465-01
SHEET 7 OF 17

7

GENERAL NOTES

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- SNOW WILL BE STORED ON-SITE.
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- LIGHTING DETAILS ARE INTENDED TO CONVEY GENERAL CONSTRUCTION COMPONENTS. SHOP DRAWINGS WILL BE REVIEWED PRIOR TO CONSTRUCTION TO VERIFY THAT AT LEAST THE MINIMUM LIGHTING CRITERIA ARE MET.
- CONTRACTOR SHALL ERECT AND MAINTAIN CONSTRUCTION FENCING TO PROTECT VEGETATED AREAS TO REMAIN UNDISTURBED.
- NEW WORK IDENTIFIED BY .

PROPOSED LEGEND:

DRAIN LINE	 D
CATCH BASIN/YARD DRAIN	
WATER LINE	 W
GATE VALVE	X
CORPORATION	X
CURB STOP	O
SEWER LINE	 S
SEWER MANHOLE	O
CONTOUR	 502.0
SPOT GRADE	 x502.0
UNDERGROUND TELEPHONE/ ELECTRIC & CABLE	 UGETC
BITUMINOUS CONCRETE PAVING	
BUILDING	

NOTE:

ALL UNITS WITHIN THE DEVELOPMENT WILL BE CONNECTED TO THE CITY'S FIRE ALARM NETWORK. THE SYSTEM WILL BE EXTENDED FROM ROUTE 10 TO THE SITE. A CONDUIT AND WIRE WILL BE INSTALLED AS PART OF THE ELECTRICAL/TELEPHONE/COMMUNICATION UNDERGROUND DUCT BANK WITHIN THE DEVELOPMENT.

NOTES:

- THE SEWER UTILITY IS TO BE PRIVATELY OWNED AND THE WATER UTILITY TO BE PUBLICALLY OWNED.
- LOCATION OF TRANSFORMERS AND PEDESTALS HAVE NOT BEEN DETERMINED YET. PROPER SCREENING OF THE TRANSFORMERS AND PEDESTALS WILL BE IN ACCORDANCE WITH SECTION 6.2.B.8 OF THE SITE PLAN REGULATIONS.

UTILITY PLAN

OCCOM PATH - BASIC HOLDINGS, LLC

OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC

240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: 1"=30'

DESIGNED BY: PAB

DRAWN BY: PAB

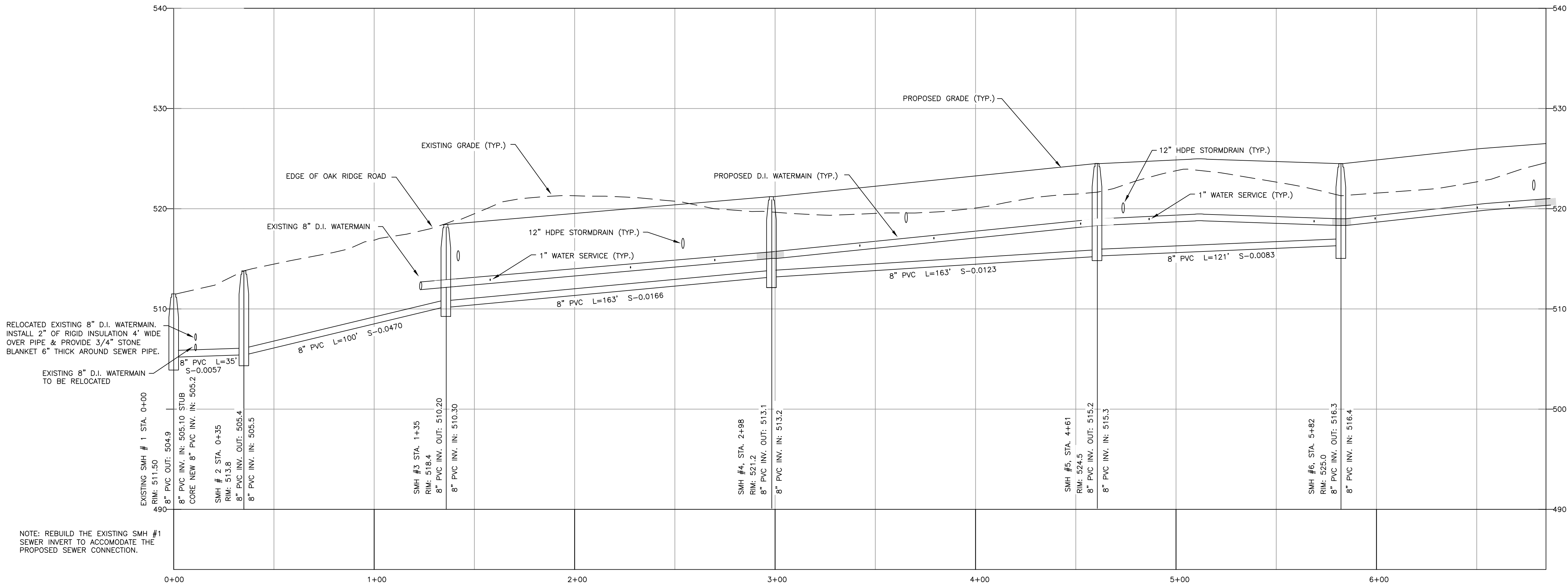
CHECKED BY: RJF

DATE: 10/13/20

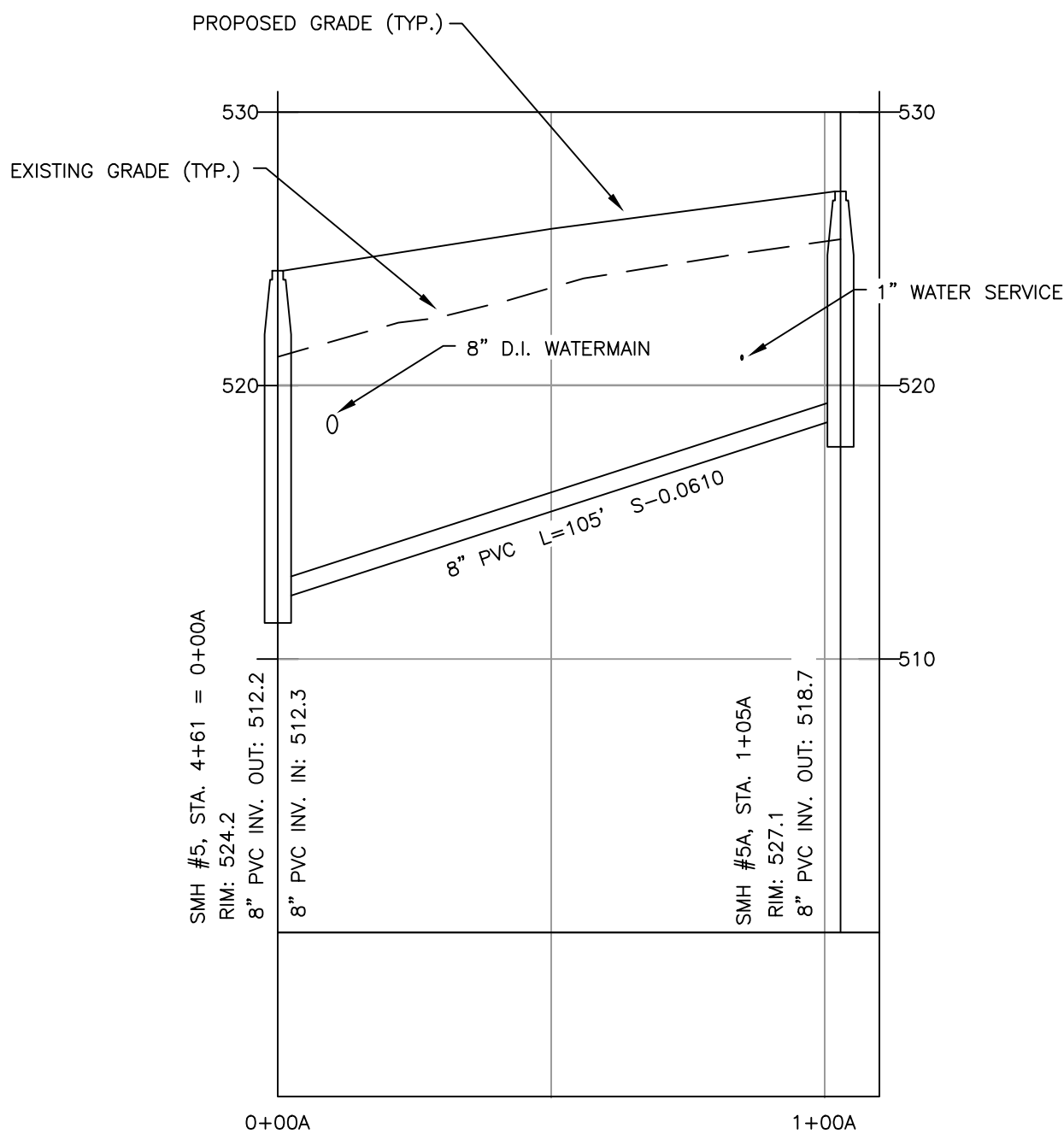
PROJ. NO. 11465-01

8

SHEET 8 OF 17



SEWER PROFILE — STA. 0+00S TO STA. 6+85S
SCALE: 1"=30' — HORIZONTAL
1"=6' — VERTICAL



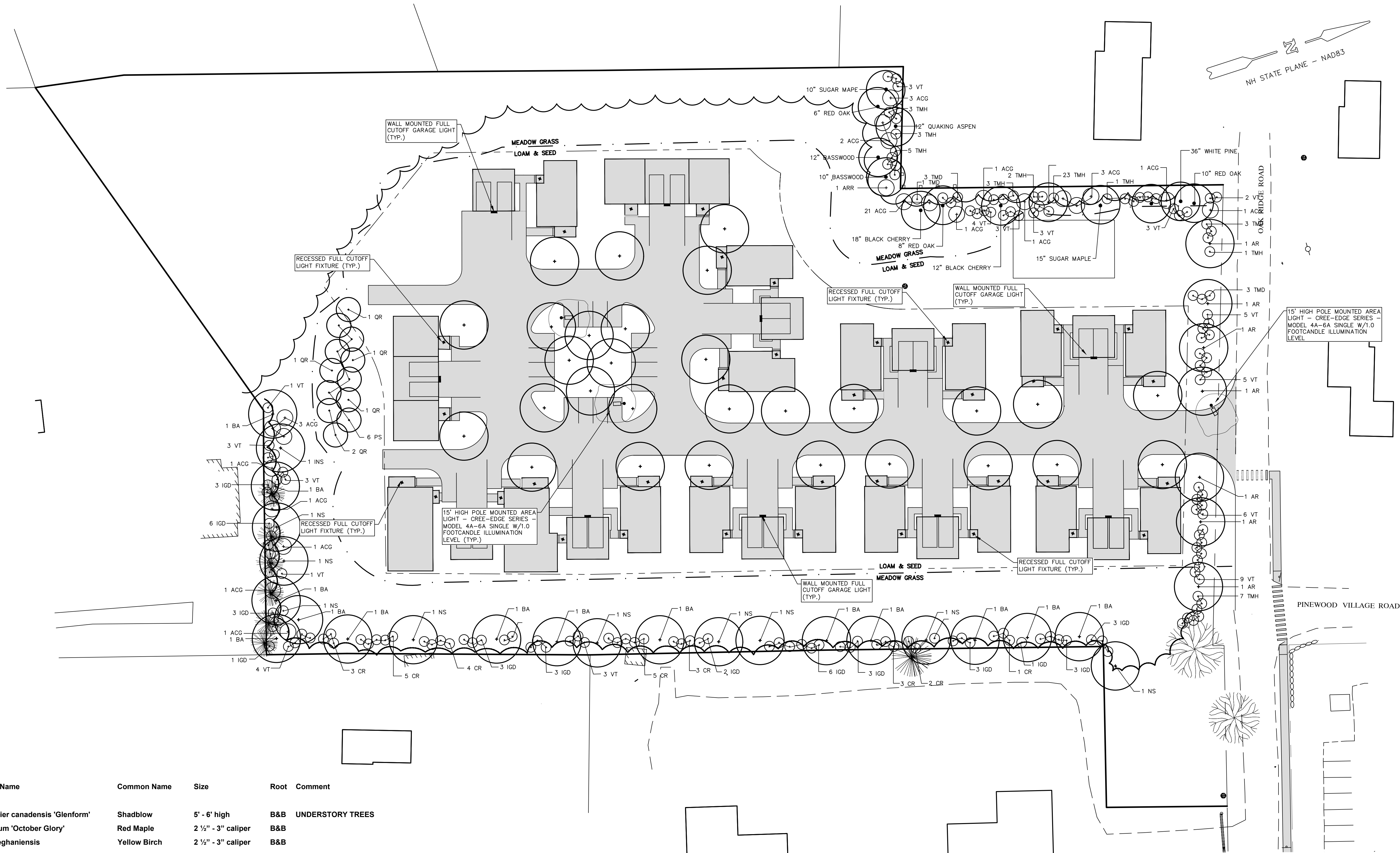
SEWER PROFILE — STA. 0+00A TO STA. 1+05A
SCALE: 1"=30' — HORIZONTAL
1"=6' — VERTICAL

	05/03/21	21 UNIT LAYOUT REVISIONS	PAB	RJF	RJF
	02/04/21	NHDES SEWER CONNECTION REVIEW	PAB	RJF	RJF
		COMMENTS			
	12/09/20	ADDITIONAL STAFF REVIEW COMMENTS	PAB	RJF	RJF
	11/20/20	STAFF REVIEW COMMENTS	PAB	RJF	RJF
REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY

ACCESS ROAD & UTILITY PROFILE
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC
240 MECHANIC STREET, SUITE 100
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Plant List

Key	Qty.	Botanical Name	Common Name	Size	Root	Comment
Trees						
ACG	22	Amelanchier canadensis 'Glenform'	Shadblow	5' - 6' high	B&B	UNDERSTORY TREES
AR	31	Acer rubrum 'October Glory'	Red Maple	2 1/2" - 3" caliper	B&B	
BA	14	Betula alleghaniensis	Yellow Birch	2 1/2" - 3" caliper	B&B	
NS	9	Nyssa sylvatica 'Red Rage'	Tupelo	2 1/2" - 3" caliper	B&B	
QR	1	Quercus rubra	Red Oak	2 1/2" - 3" caliper	B&B	
QR	6	Quercus rubra	Red Oak	1 1/2" - 2" caliper	B&B	
PS	6	Pinus Strobus	Eastern White Pine	3' - 4' high	B&B	
Shrubs						
CR	29	Cornus racemosa	Grey Dogwood	24" - 30" high	B&B	
IGD	41	Ilex glabra 'Densa'	Inkberry	24" - 30" high	B&B	
TMD	7	Taxus media 'Densifomis'	Spreading Yew	18" - 24" spread	B&B	
TMH	32	Taxus media 'Hicksii'	Upright Yew	24" - 30" high	B&B	

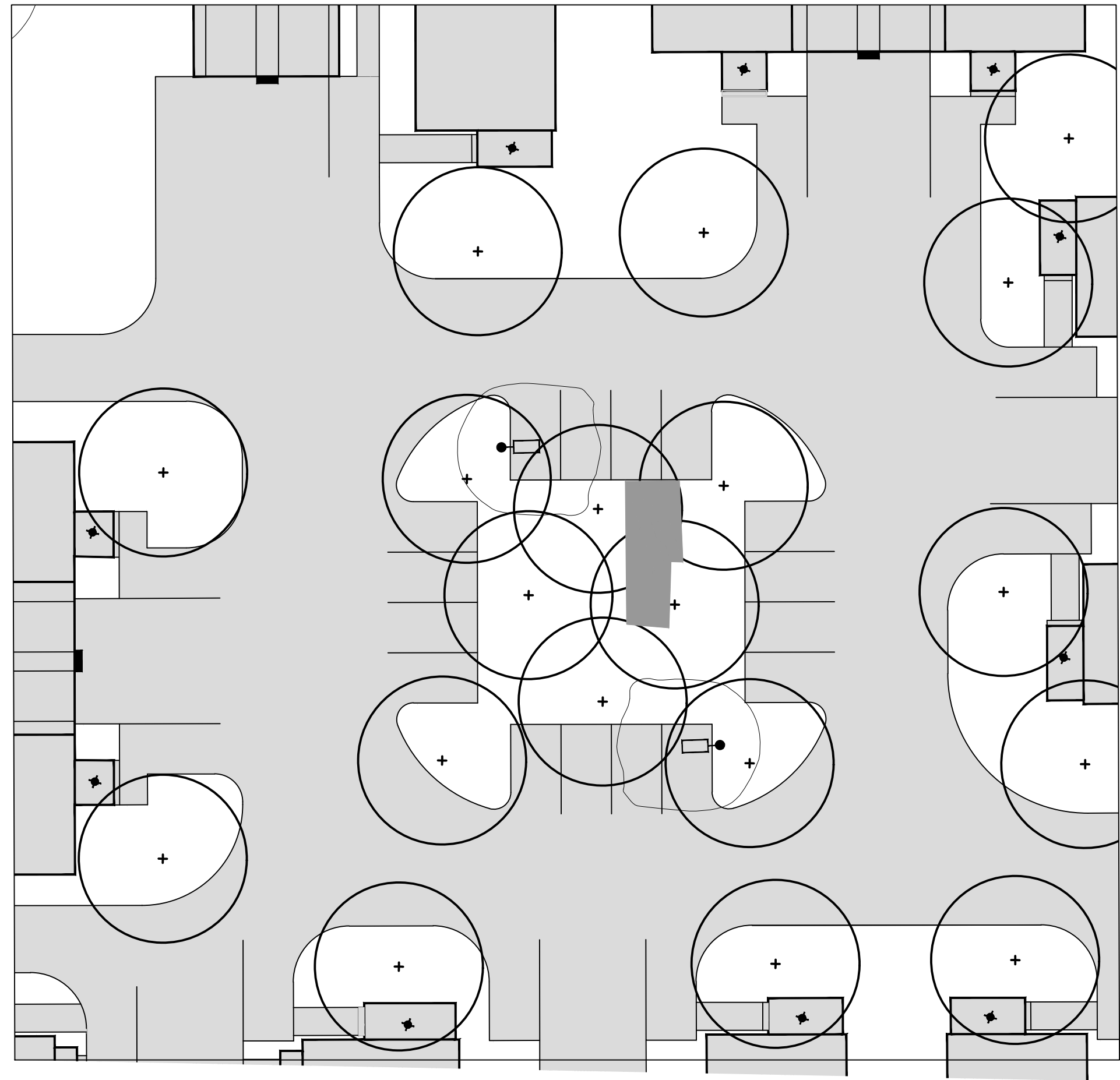
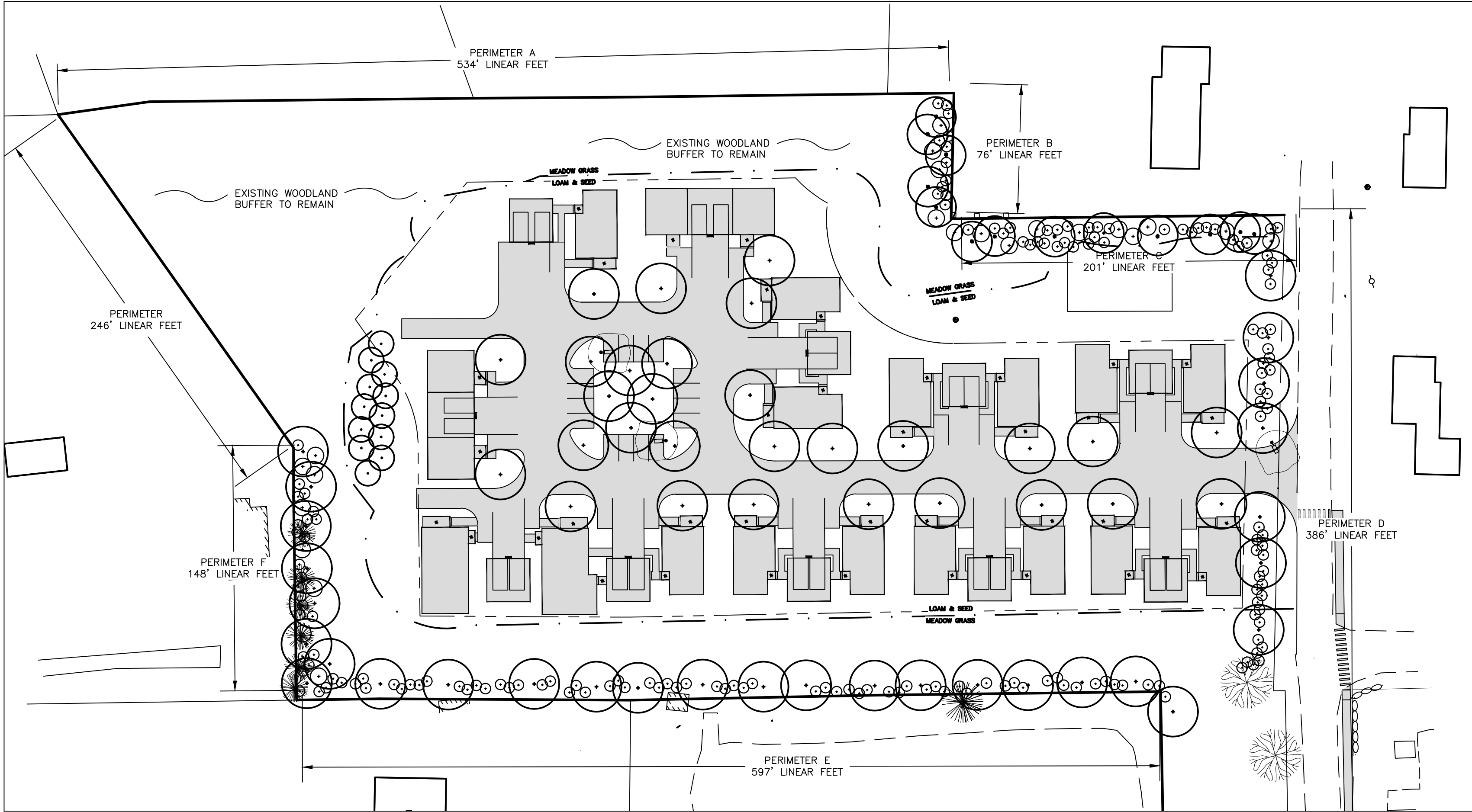
NOTE: THE PERCENTAGE OF EVERGREENS USED PER SPR 6.2.B4 IS 0%.



LANDSCAPE & LIGHTING PLAN FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
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DATE: 10/13/20
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SHADING CALCULATION:
PROPOSED PARKING IMPERVIOUS AREA = 1300 S.F.
REQUIRED SHADE AREA = 0.3 (30%) X 1300 = 390 S.F.
PROVIDED SHADE AREA = 900 SQ. S.F. / 69%

PERIMETER LANDSCAPING CALCULATION:

PERIMETER LANDSCAPING CALCULATION:

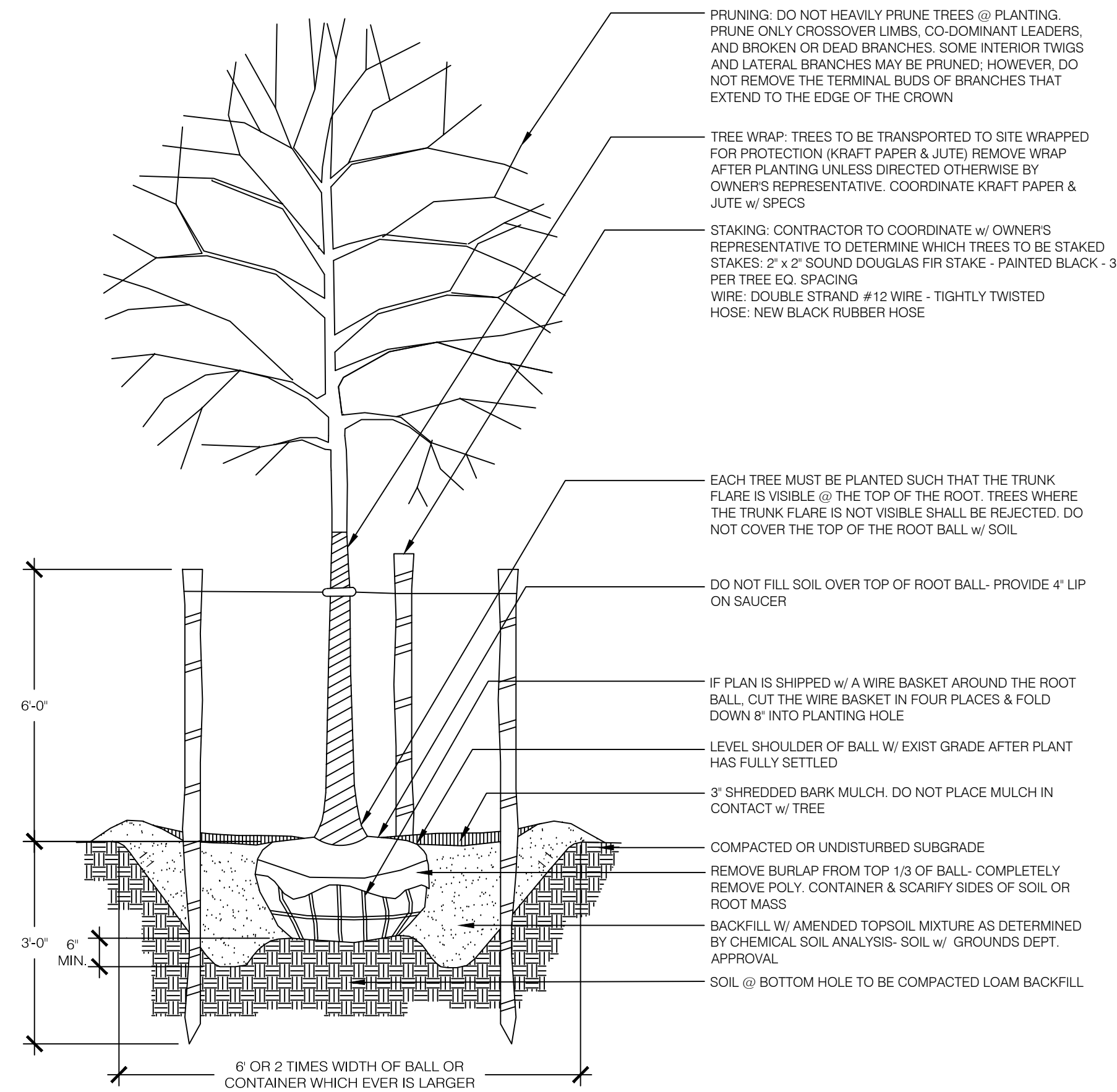
PERIMETER A:	493 LF
TREES REQUIRED:	
493 LF X 15 FT = 7,395 SF X (1 TREE/600 SF) =	12 TREES REQUIRED
SHRUBS/UNDERSTORY REQUIRED:	
493 LF X 15 FT = 7,395 SF X (4 SHRUBS/600 SF) =	49 SHRUBS REQUIRED
TREES PROVIDED:	12+ TREES (EXISTING)
SHRUBS PROVIDED:	49+ SHRUBS (EXISTING)
PERIMETER B: (SEMI-OPAQUE BUFFER)	77 LF
SHADE TREES REQUIRED:	
77 LF X 15 FT = 1,155 SF X (1 TREE/300 SF) =	4 SHADE TREES REQUIRED
UNDERSTORY TREES REQUIRED:	
77 LF X 15 FT = 1,155 SF X (1 UNDERSTORY TREE/300 SF) =	4 UNDERSTORY TREES REQUIRED
SHRUBS REQUIRED:	
77 LF X 15 FT = 1,155 SF X (ASSUMED 3 SHRUBS/300 SF) =	12 SHRUBS REQUIRED
SHADE TREES PROVIDED:	5 SHADE TREES (EXISTING)
UNDERSTORY TREES PROVIDED:	4 UNDERSTORY TREES PROVIDED
SHRUBS PROVIDED:	12 SHRUBS PROVIDED
PERIMETER C: (SEMI-OPAQUE BUFFER)	201 LF
SHADE TREES REQUIRED:	
201 LF X 15 FT = 3,015 SF X (1 TREE/300 SF) =	10 SHADE TREES REQUIRED
UNDERSTORY TREES REQUIRED:	
201 LF X 15 FT = 3,015 SF X (1 UNDERSTORY TREE/300 SF) =	10 UNDERSTORY TREES REQUIRED
SHRUBS REQUIRED:	
201 LF X 15 FT = 3,015 SF X (ASSUMED 3 SHRUBS/300 SF) =	30 SHRUBS REQUIRED
SHADE TREES PROVIDED:	10 (9 EXISTING 1 PROPOSED)
UNDERSTORY TREES PROVIDED:	10 UNDERSTORY TREES PROVIDED
SHRUBS PROVIDED:	30 SHRUBS PROVIDED
PERIMETER D:	386 LF
TREES REQUIRED:	
386 LF (1 TREE/40 L.F.) =	10 TREES REQUIRED
SHRUBS/UNDERSTORY REQUIRED:	
386 LF X 15 FT. = 5,790 SF X 4 SHRUBS/600 SF =	39 SHRUBS REQUIRED
TREES PROVIDED:	10 TREES PROVIDED (3+ EXISTING/7 PROPOSED)
SHRUBS PROVIDED:	39 SHRUBS PROVIDED
PERIMETER E:	597 LF
TREES REQUIRED:	
597 LF X 15 FT = 8,955 SF X (1 TREE/600 SF) =	15 TREES REQUIRED
SHRUBS/UNDERSTORY REQUIRED:	
597 LF X 15 FT = 8,955 SF X (4 SHRUBS/600 SF) =	60 SHRUBS REQUIRED
TREES PROVIDED:	15 TREES PROVIDED (5+ EXISTING/10 PROPOSED)
SHRUBS PROVIDED:	60 SHRUBS PROVIDED (9+ EXISTING/51 PROPOSED)
PERIMETER F: (SEMI OPAQUE BUFFER)	148 LF
SHADE TREES REQUIRED:	
148 LF X 15 FT = 2,220 SF X (1 SHADE TREE/300 SF) =	8 SHADE TREES REQUIRED
UNDERSTORY TREES REQUIRED:	
148 LF X 15 FT = 2,220 SF X (1 UNDERSTORY TREE/300 SF) =	8 UNDERSTORY TREES REQUIRED
SHRUBS REQUIRED:	
148 LF X 15 FT = 2,220 SF X (ASSUMED 3 SHRUBS/300 SF) =	24 SHRUBS REQUIRED
SHADE TREES PROVIDED:	8 SHADE TREES PROVIDED
UNDERSTORY TREES PROVIDED:	8 UNDERSTORY TREES PROVIDED
SHRUBS PROVIDED:	24 SHRUBS PROVIDED
PERIMETER G:	222 LF
TREES REQUIRED:	
222 LF X 15 FT = 3,330 SF X (1 TREE/600 SF) =	6 TREES REQUIRED
SHRUBS/UNDERSTORY REQUIRED:	
222 LF X 15 FT = 3,330 SF X (4 SHRUBS/600 SF) =	24 SHRUBS REQUIRED
TREES PROVIDED:	6+ TREES EXISTING
SHRUBS PROVIDED:	24+ SHRUBS EXISTING

	05/03/21	21 UNIT LAYOUT REVISIONS	PAB	RJF	RJF
	11/20/20	STAFF REVIEW COMMENTS	PAB	RJF	RJF
REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY

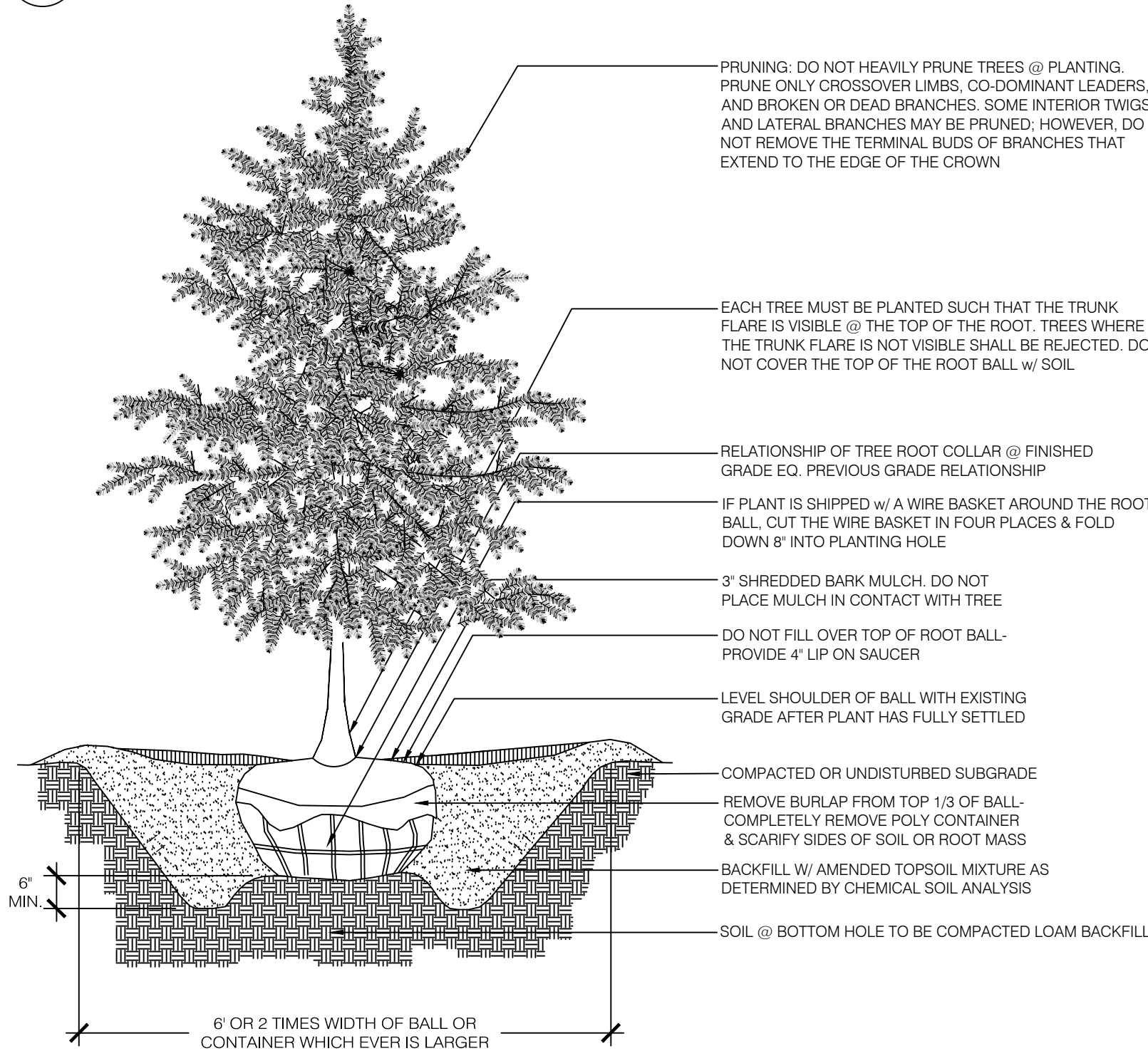
PERIMTER LANDSCAPE & SHADING CALCULATIONS FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

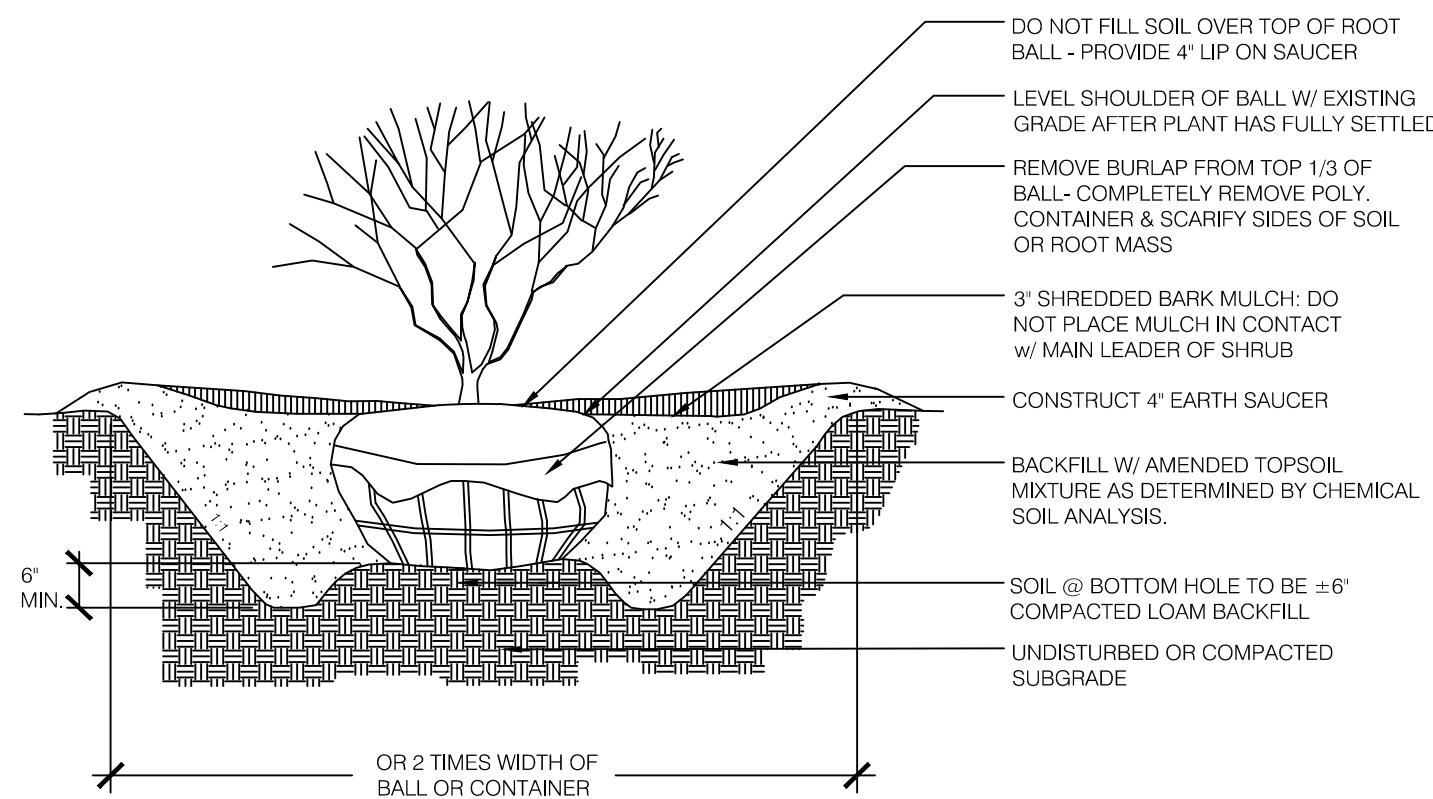
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DATE: 10/13/20
PROJ. NO. 11465-01



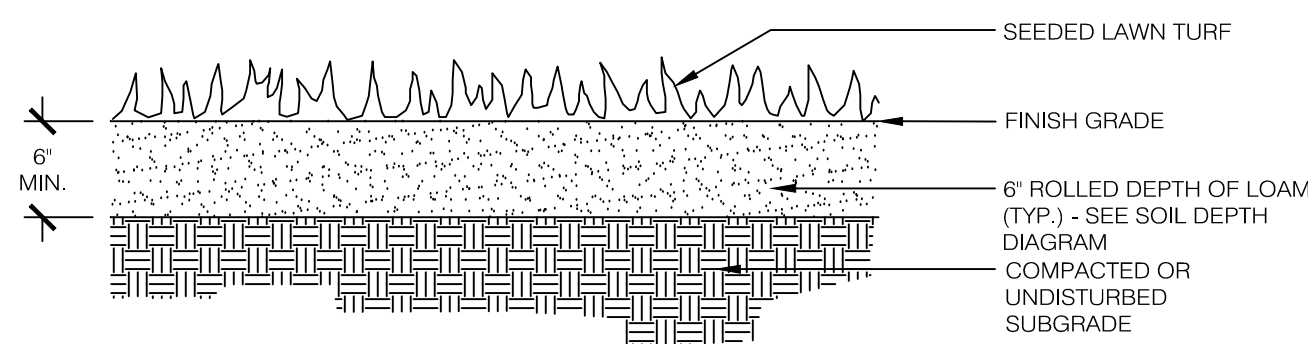
TYPICAL DECIDUOUS TREE PLANTING DETAILS
SCALE: N.T.S.



TYPICAL EVERGREEN TREE PLANTING
SCALE: N.T.S.



TYPICAL SHRUB PLANTING DETAIL
SCALE: N.T.S.



TYPICAL LOAM AND SEED DETAIL
SCALE: N.T.S.

PLANTING NOTES:

1. The Contractor shall review the written specifications for tree and shrub planting, groundcover & plants and seeding prior to submitting bid. No extraneous requirements have been included in the Specifications and Drawings. The Contractor shall also become familiar with existing and proposed site conditions prior to submitting bid.
2. The Contractor shall coordinate this work with other contractors performing work on the site.
3. The Contractor shall verify all grades, dimensions, and existing conditions and report any discrepancies to the Landscape Architect.
4. The Contractor shall locate and verify all existing and newly installed underground utilities prior to any lawn work or tree and shrub planting and shall immediately report any conflicts to the Landscape Architect.
5. The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings. Quantities in Plant Schedule are for reference only.
6. All new plant material shall be nursery-grown stock and shall conform to guidelines established by the "American Standards for Nursery Stock" published by the American Association of Nurserymen: latest edition (ANSI Z60.1).
7. No plant or cultivar substitutions will be acceptable.
8. Plant material shall be inspected by Owner's Representative for acceptance prior to planting.
9. Locations of new plant material shall be staked or set out by Contractor and approved and faced by the Landscape Architect prior to planting.
10. Refer to Planting Details and Specifications for information relating to planting pit dimensions and extent and composition of backfill material.
11. The trees shall bear the same relationship to tree pit finish grade as to the original grade prior to digging.
12. The Contractor shall remove all plastic materials from around the root balls of the plants after positioning in the plant pits. Remove burlap, rope, and wire from around the trunks sufficiently so that no burlap, rope, or wire will be exposed after backfilling.
13. Contractor shall exercise extreme care in working in areas of existing trees. Existing plants to remain and be protected which are injured or destroyed during construction shall be replaced by Contractor with plants of equal size and species at no cost to the Owner.
14. All areas that have been disturbed by construction activity and not paved or occupied by site structures, etc., shall be topsoiled and seeded / reconditioned as specified.
15. The trees and shrubs shall be watered by the contractor twice during the first 24 hours of planting.
16. The plants shall be maintained by the contractor during the warranty period.
17. At the time of planting, all deciduous trees shall be a minimum 2.5 to 3 inches in caliper, measured 6 inches above the finish grade level; all evergreen trees shall be a minimum of 6 to 7 feet n height.
18. Shrubs shall be planted as a mix, ranging from 50% to 70% flowering, with the remainder being evergreen. At the time of planting, all shrubs whether deciduous or evergreen, shall be 24 to 30 inches in height and/or 18 to 24 inches in spread.
19. The Property Owner shall be responsible for maintaining all landscaping, to include grass and mulch, in a good, healthy condition so as to present a neat and orderly appearance. The Property Owner shall replace any unhealthy or dead plant materials in conformance with the landscape plan approved by the Board as part of the site plan.
20. After the issuance of a Certificate of Occupancy, the storage, display, or parking of motor vehicles, boats, mobile homes, trailers, or construction equipment within the landscaped areas, buffers, or screens, shown as such on the approved landscape plan, is expressly prohibited and a violation of the Notice of Action.

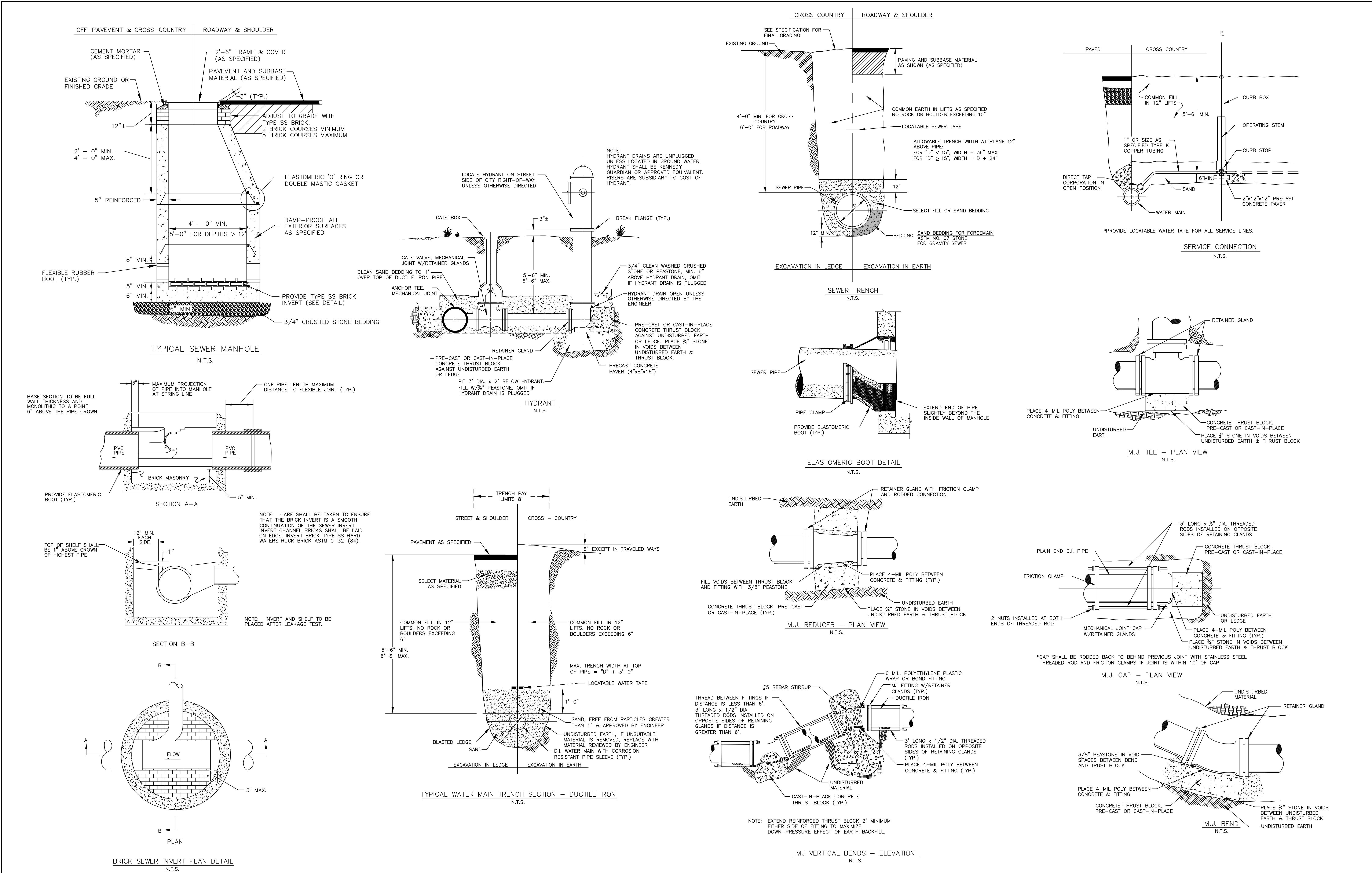
	11/20/20	STAFF REVIEW COMMENTS	PAB	RJF	RJF
REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY

LANDSCAPE DETAILS FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC

240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: NTS
DESIGNED BY: ANS
DRAWN BY: PAB
CHECKED BY: RJF
DATE: 10/13/20
PROJ. NO. 11465-01



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WATER AND SEWER DETAILS FOR

OCCOM PATH - BASIC HOLDINGS, LLC

OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

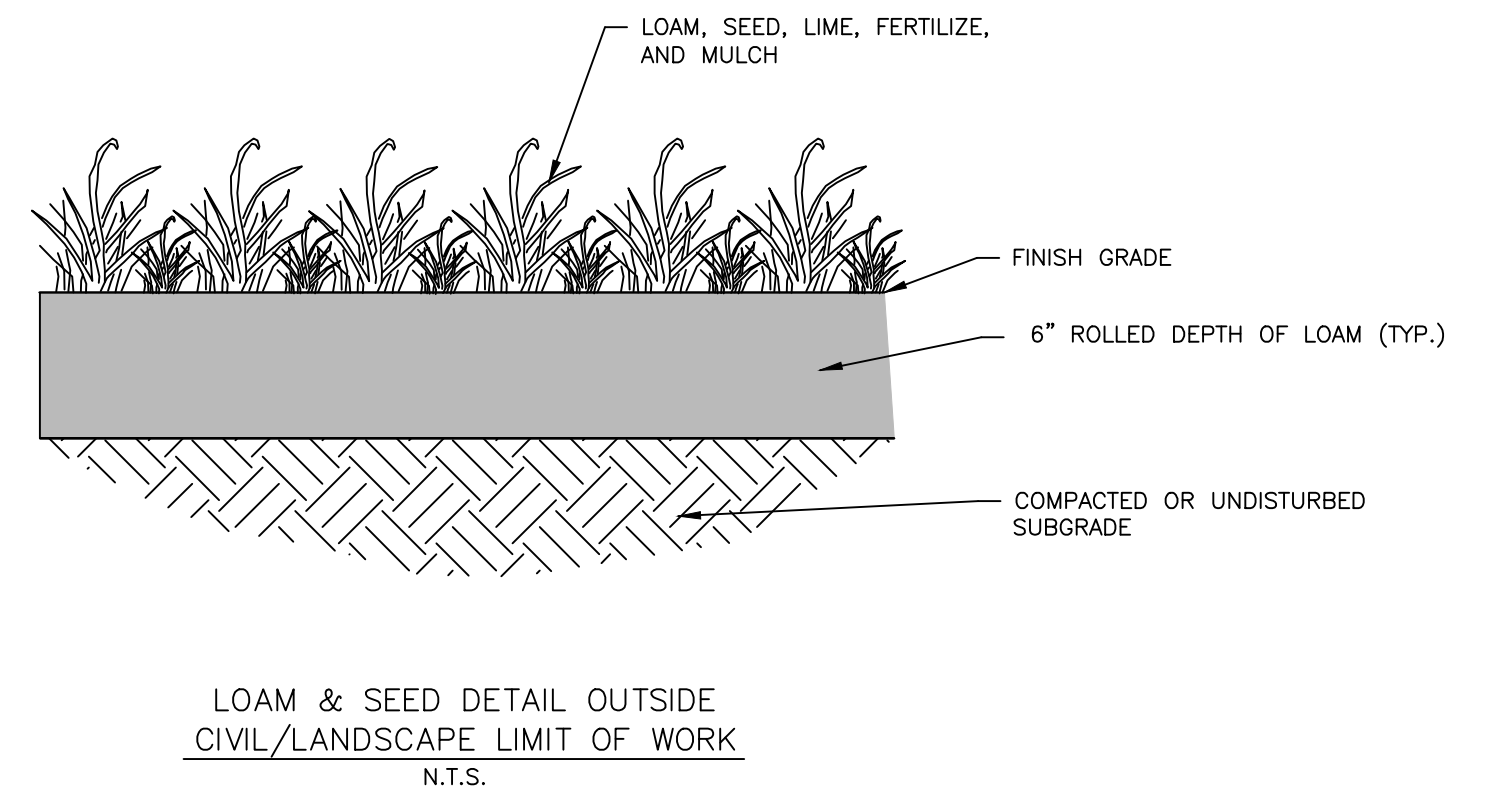
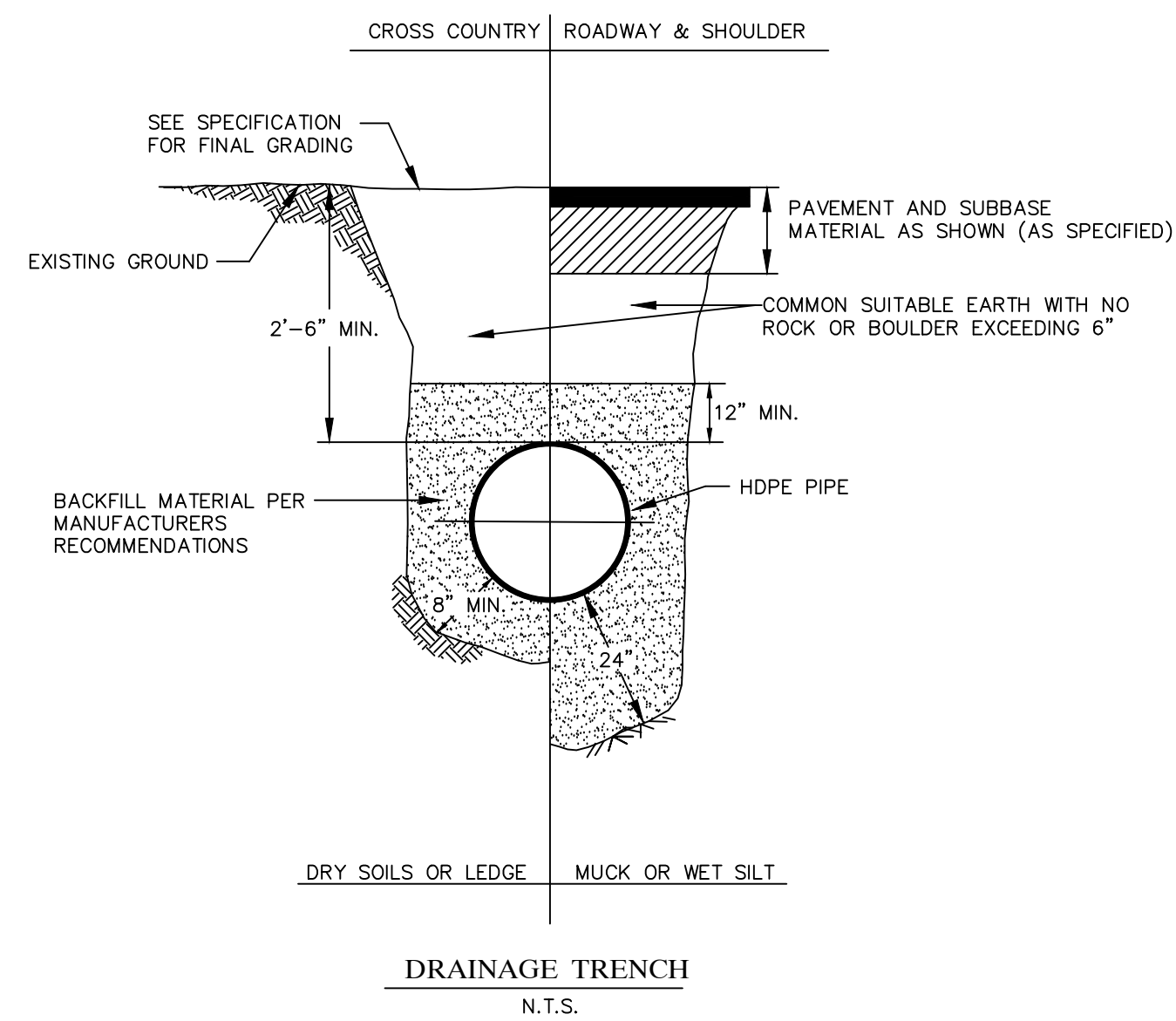
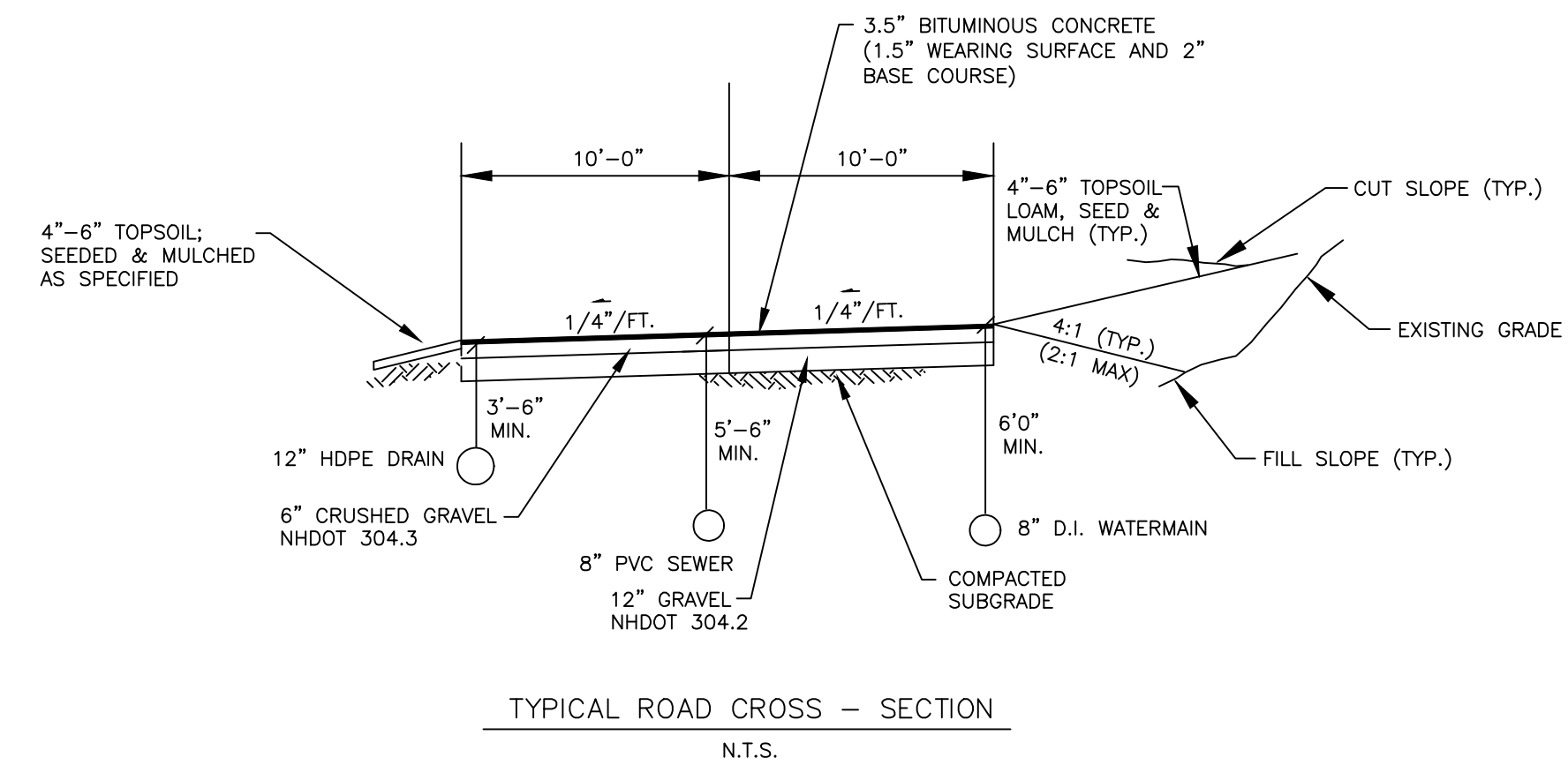
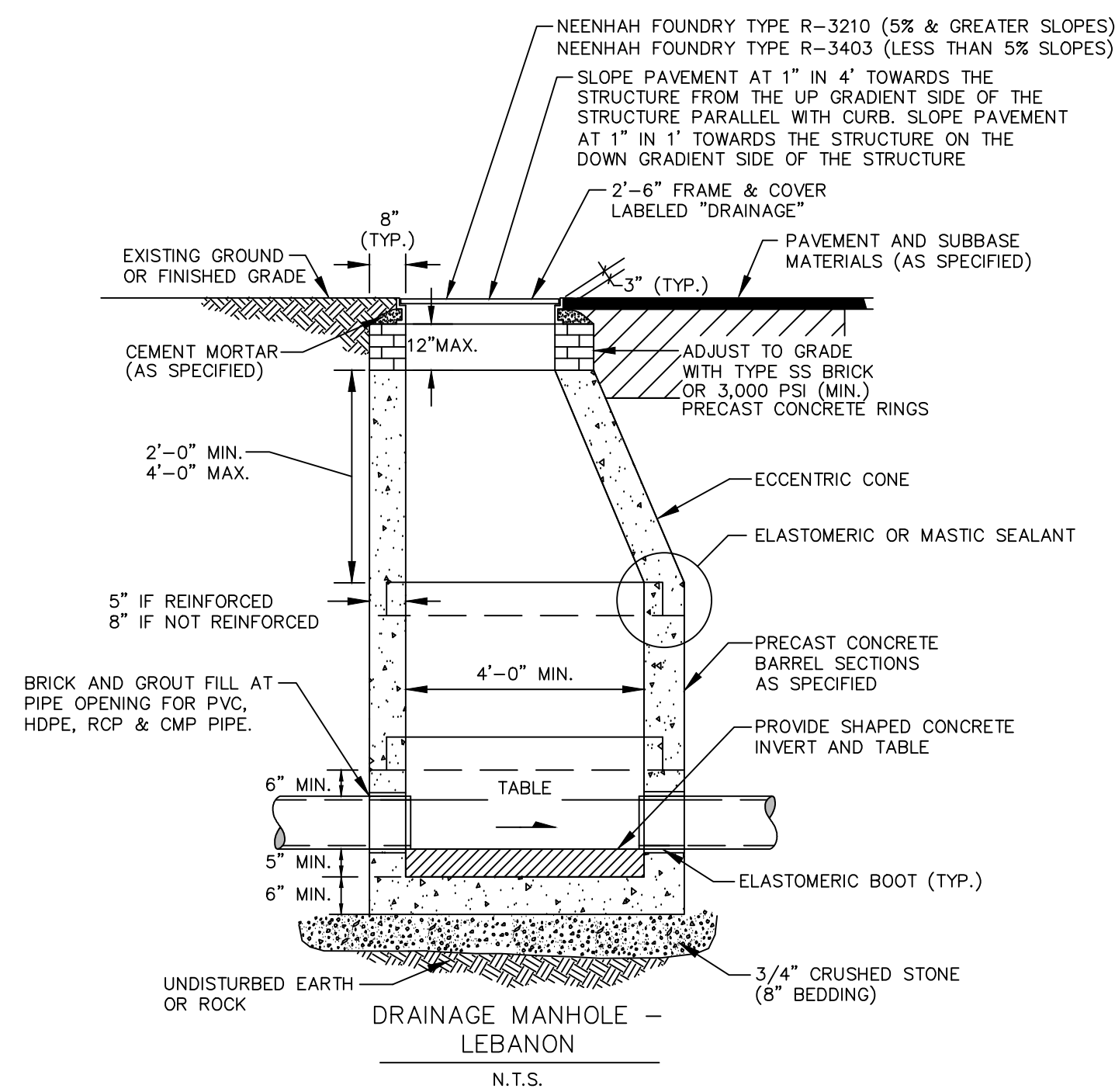
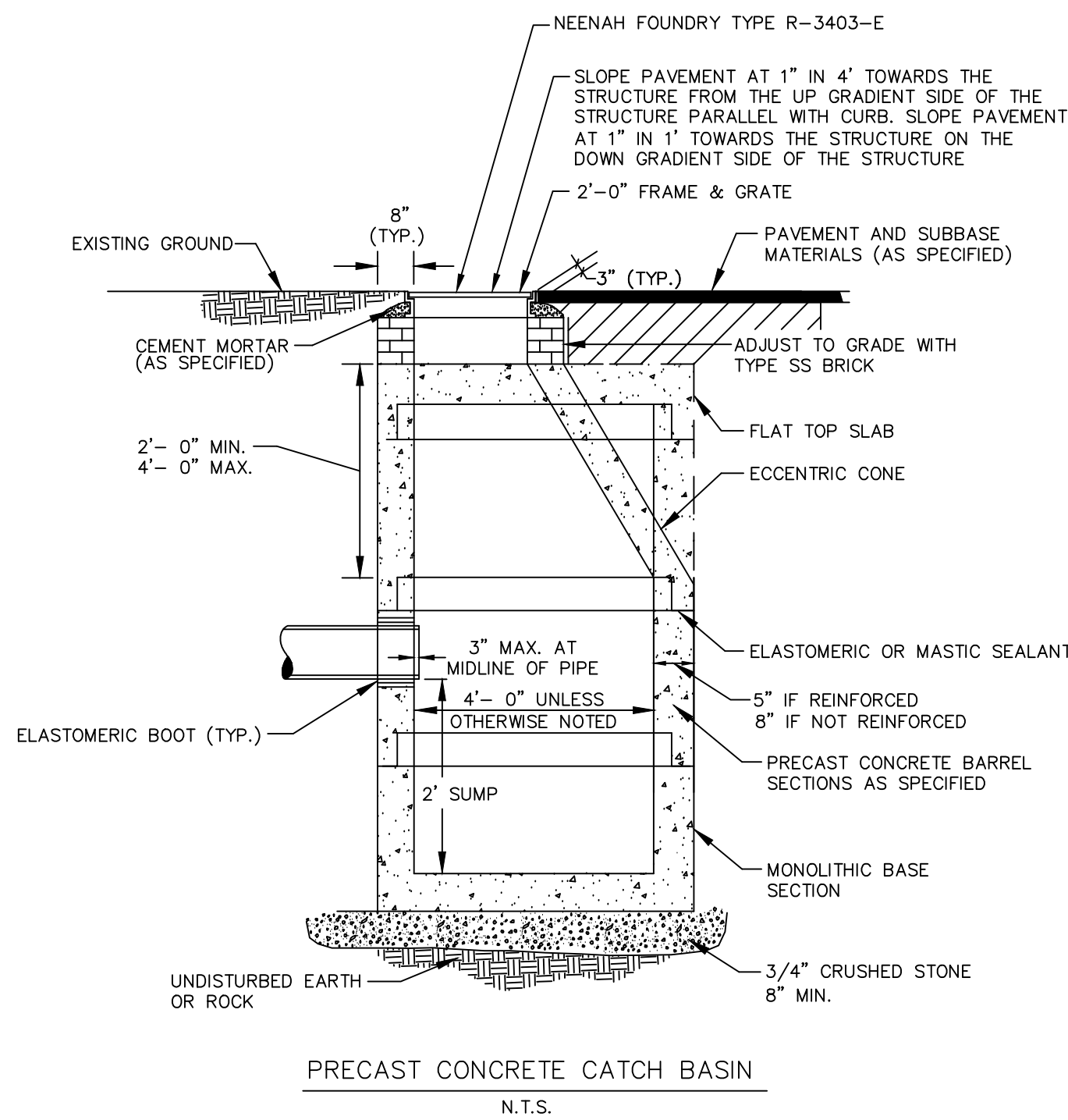
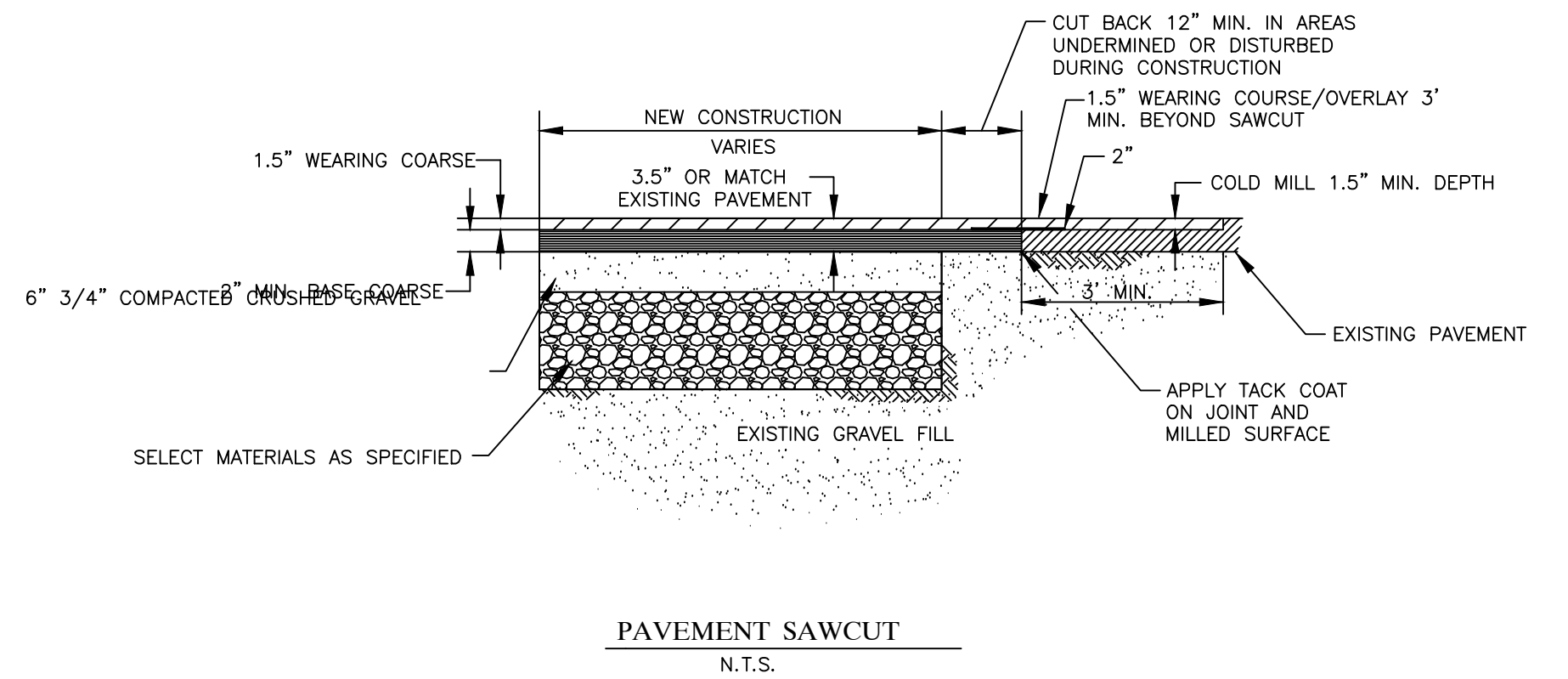
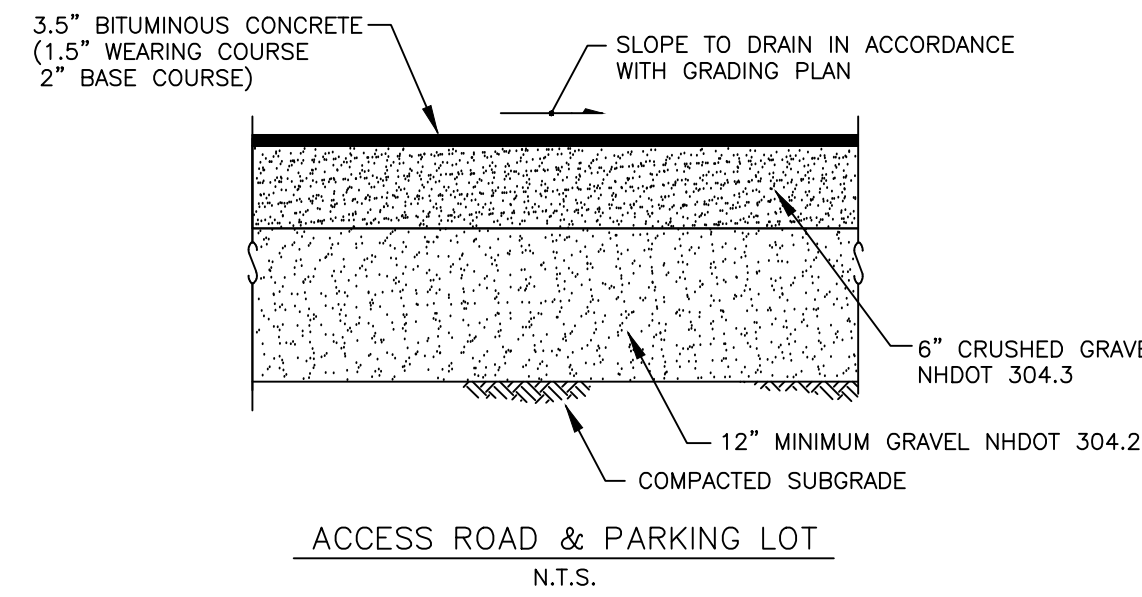
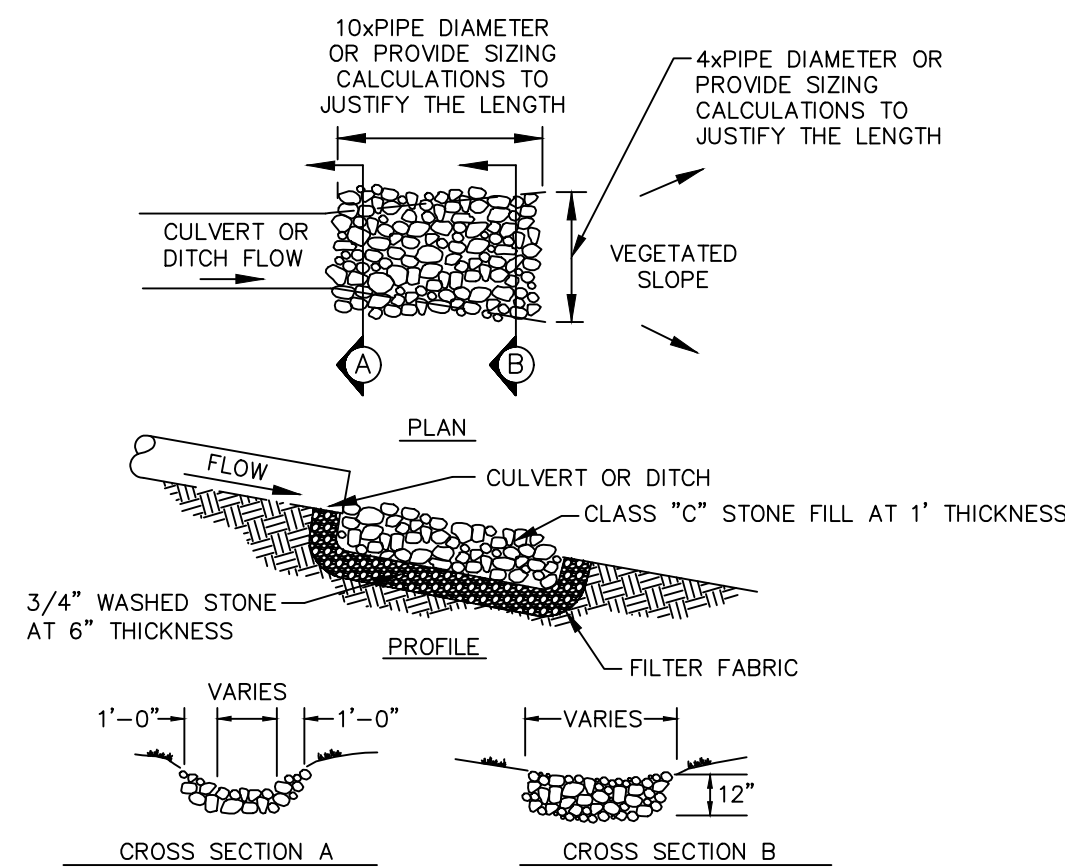
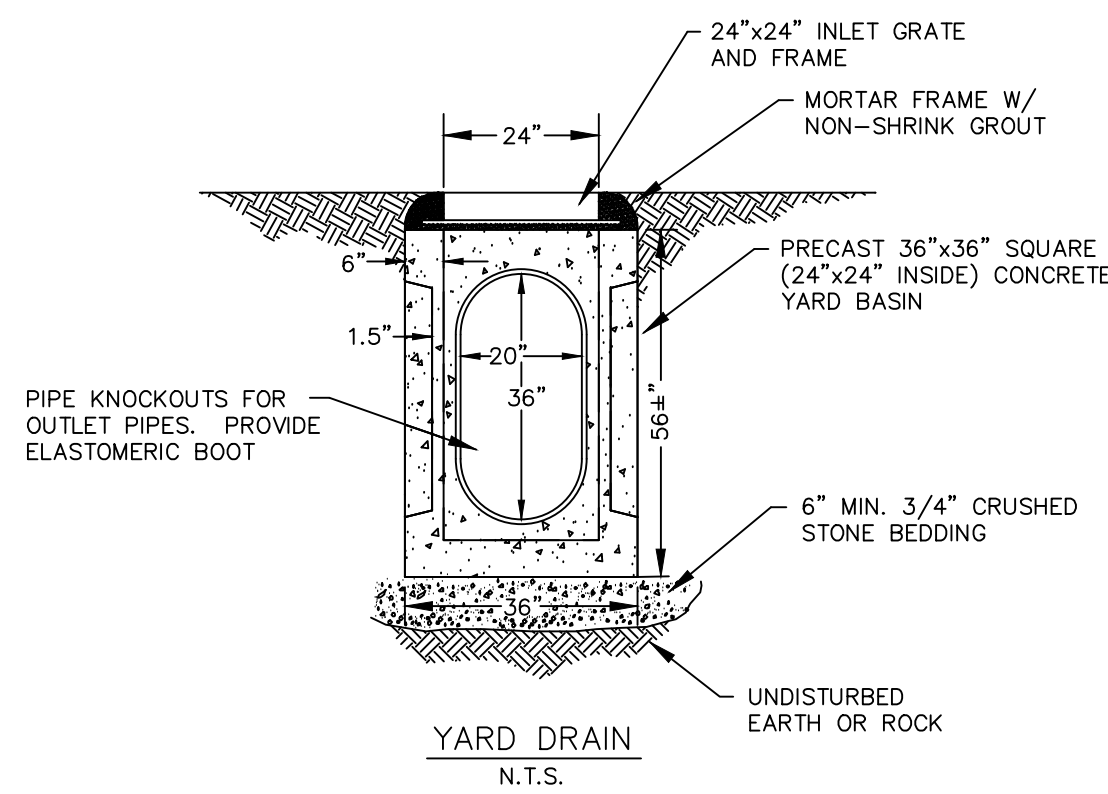
PATHWAYS CONSULTING, LLC

240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

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DATE: 10/13/20
PROJ. NO. 11465-01

13

SHEET 13 OF 17



ROADWAY AND STORMWATER DETAILS FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
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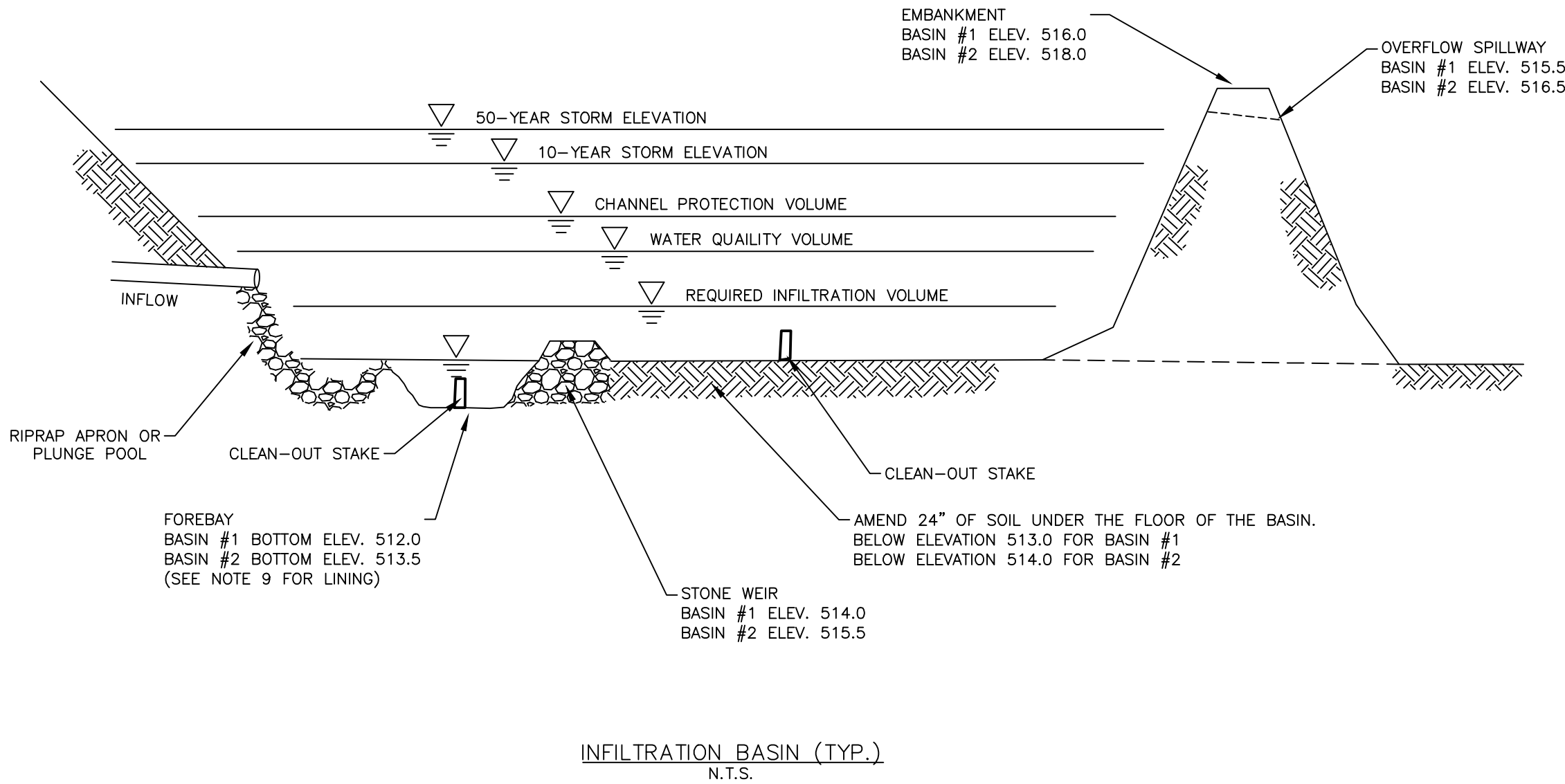
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DATE: 10/13/20
PROJ. NO. 11465-01

14
SHEET 14 OF 17

REVISION NO.	DATE	DESCRIPTION	MADE BY	CHECKED BY	APPROVED BY
	11/20/20	STAFF REVIEW COMMENTS	PAB	RJF	RJF

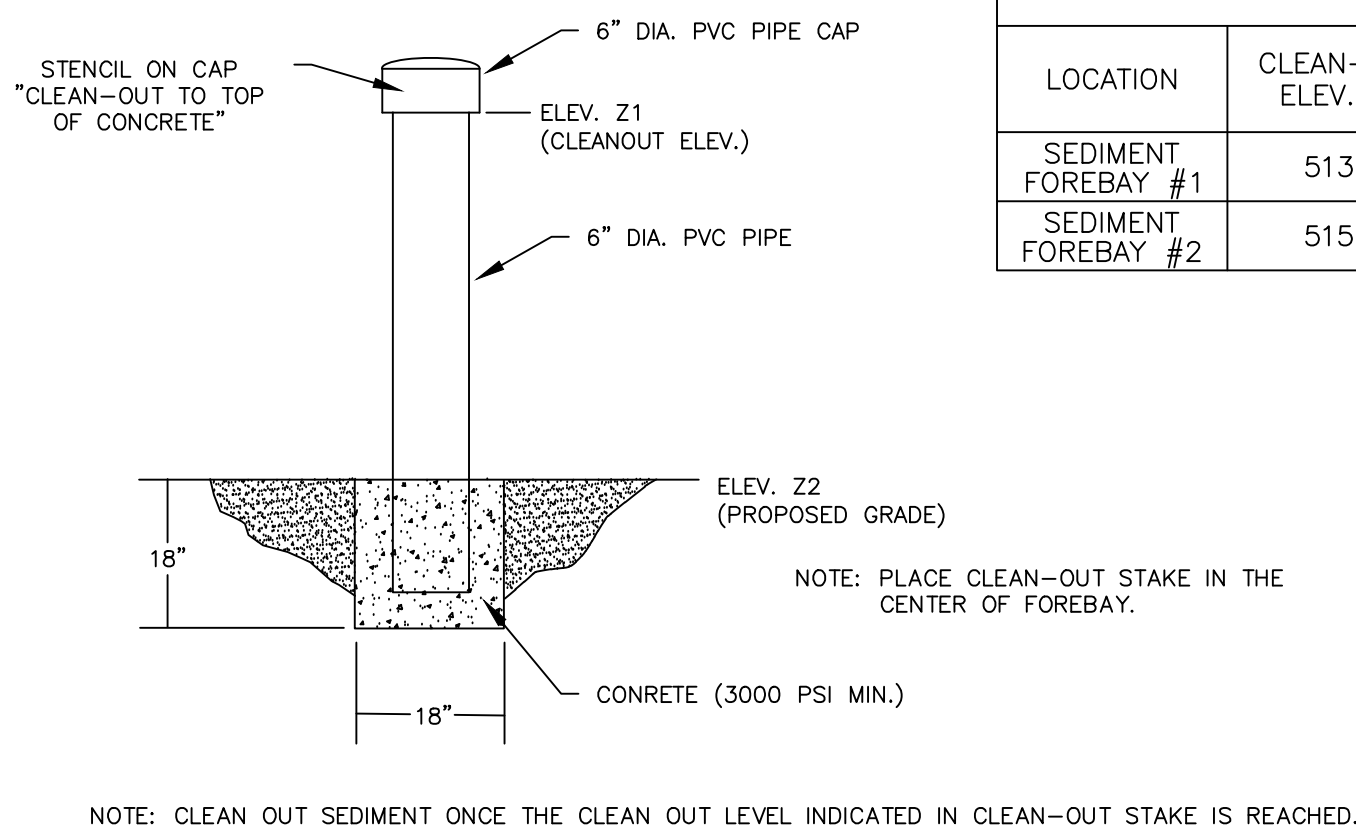
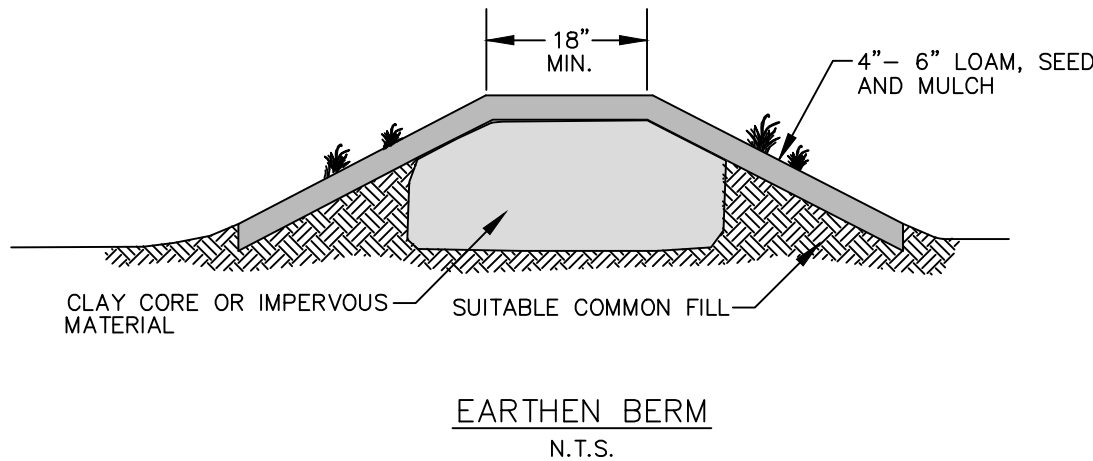
INFILTRATION BASIN NOTES AND SPECIFICATIONS

1. THE CONTRACTOR SHALL PROVIDE A SEQUENCE OF VARIOUS PHASES OF BASIN CONSTRUCTION AND IT SHALL BE COORDINATED WITH THE OVERALL PROJECT CONSTRUCTION SCHEDULE. THE SCHEDULE SHALL COORDINATE ROUGH EXCAVATION OF THE BASIN WITH THE ROUGH GRADING PHASE OF THE PROJECT TO PERMIT USE OF THE MATERIAL AS FILL IN EARTHWORK AREAS. THE PARTIALLY EXCAVATED BASIN, HOWEVER, CANNOT SERVE AS A SEDIMENTATION BASIN.
2. THE INFILTRATION BASIN MAY NOT RECEIVE RUN-OFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE INFILTRATION SYSTEM HAS RECEIVED FINAL STABILIZATION.
3. HEAVY EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE INFILTRATION BASIN TO MINIMIZE COMPACTION OF THE SOIL.
4. EXCAVATE THE INFILTRATION BASIN TO THE DESIGN DIMENSIONS. EXCAVATED MATERIALS SHOULD BE PLACED AWAY FROM THE BASIN SIDES TO ENHANCE BASIN WALL STABILITY. LARGE TREE ROOTS MUST BE TRIMMED FLUSH WITH THE BASIN SIDES. THE SIDE WALLS OF THE BASIN SHOULD BE ROUGHENED WHERE SHEARED AND SEALED BY HEAVY EQUIPMENT.
5. INITIAL BASIN EXCAVATION SHOULD BE CARRIED TO WITHIN 1 FOOT OF THE FINAL ELEVATION OF THE BASIN FLOOR. FINAL EXCAVATION TO THE FINISHED GRADE SHOULD BE DEFERRED UNTIL ALL DISTURBED AREAS ON THE WATERSHED HAVE BEEN STABILIZED OR PROTECTED. THE FINAL PHASE EXCAVATION SHOULD REMOVE ALL ACCUMULATED SEDIMENT. RELATIVELY LIGHT TRACKED EQUIPMENT IS RECOMMENDED FOR THIS OPERATION TO AVOID COMPACTION OF THE BASIN FLOOR. AFTER THE FINAL GRADING IS COMPLETED, THE BASIN SHALL PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE TEXTURE.
6. AN INFILTRATION TEST SHALL BE CONDUCTED TO DETERMINE THE INFILTRATION RATE OF THE BASIN. TESTING SHALL BE CONDUCTED BY A QUALIFIED PROFESSIONAL IN ACCORDANCE WITH APPENDIX D1 OF THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2 – POST-CONSTRUCTION BEST MANAGEMENT PRACTICES. AN INFILTRATION RATE BETWEEN 5 AND 10 INCHES PER HOUR SHALL BE ACCEPTABLE.
7. IF NECESSARY, A 6-INCH SAND FILTER LAYER MAY BE PLACED ON THE BOTTOM OF THE INFILTRATION BASIN AND DISKED INTO THE BOTTOM 12-INCHES OF NATIVE SOIL TO INCREASE THE INFILTRATION RATE. THE SAND FOR THE INFILTRATION BASIN SHOULD BE WASHED AND MEET AASHTO STD. M-43, SIZE NO. 9 OR NO. 10. ANY ALTERNATIVE SAND GRADATION MUST BE APPROVED BY THE ENGINEER OR THE REVIEW AGENCY. ALTERNATIVELY, IF THE INFILTRATION RATE NEEDS TO BE REDUCED, THE CONTRACTOR SHALL DISK IN A MIXTURE OF TOPSOIL, DRY LEAF MULCH AND BENTONITE INTO THE TOP 24-INCHES OF THE BASIN BOTTOM. THE INFILTRATION TEST SHALL BE REPEATED AND THE SOIL AMENDED AS NEEDED UNTIL AN ACCEPTABLE INFILTRATION RATE IS ACHIEVED.
8. PVC UNDERDRAIN PIPES IF INCLUDED IN PLAN SHOULD BE SCHEDULE 40 AND MEET ASTM STD. D 1784. ALL FITTINGS AND PERFORATIONS (1/2 INCH IN DIAMETER) SHOULD MEET ASTM STD. D 2729. A PERFORATED PIPE SHOULD BE PROVIDED ONLY WITHIN THE INFILTRATION BASIN AND SHOULD TERMINATE AT LEAST 1 FOOT SHORT OF THE INFILTRATION BASIN WALL. THE END OF THE PVC PIPE SHOULD BE CAPPED.
9. LINE BOTTOM AND SIDES OF THE SEDIMENT FOREBAY WITH ONE OF THE FOLLOWING (DUE TO HIGHLY PERVIOUS SOILS):
 - a. 6" TO 12" OF CLAY SOIL (MINIMUM 15% PASSING #200 SIEVE AND MINIMUM PERMEABILITY OF 10⁻⁸ CM/SEC.)
 - b. 30 MIL. GEOMEMBRANE CONSISTING OF HIGH DENSITY POLYETHYLENE (HDPE), POLYVINYL CHLORIDE (PVC), OR FLEXIBLE POLYPROPYLENE (FPP) CONFORMING TO NRCS MATERIAL SPECIFICATION 594, GEOMEMBRANE LINER. PVC LINER SHALL BE COVERED WITH A MINIMUM 12 INCHES OF SOIL MEASURED PERPENDICULAR TO THE FINISHED SURFACE. COVER SOIL MAY BE USED ON OTHER LINERS BUT IS NOT REQUIRED. COVER SOILS SHALL NOT CONTAIN SHARP, ANGULAR STONES OR ANY OBJECTS THAT COULD DAMAGE THE LINER. MAXIMUM PARTICLE SIZE OF SOIL COVER MATERIAL SHALL BE 3/8-INCH FOR GEOMEMBRANE LINERS.
 - c. GEOSYNTHETIC CLAY LINER (GSL) CONFORMING TO NRCS MATERIAL SPECIFICATION 595, GEOSYNTHETIC CLAY LINER. GSL SHALL BE COVERED WITH A MINIMUM 12 INCHES OF SOIL MEASURED PERPENDICULAR TO THE FINISHED SURFACE. COVER SOILS SHALL NOT CONTAIN SHARP, ANGULAR STONES OR ANY OBJECTS THAT COULD DAMAGE THE LINER. MAXIMUM PARTICLE SIZE OF SOIL COVER MATERIAL SHALL BE 1/2-INCH FOR GSLS.



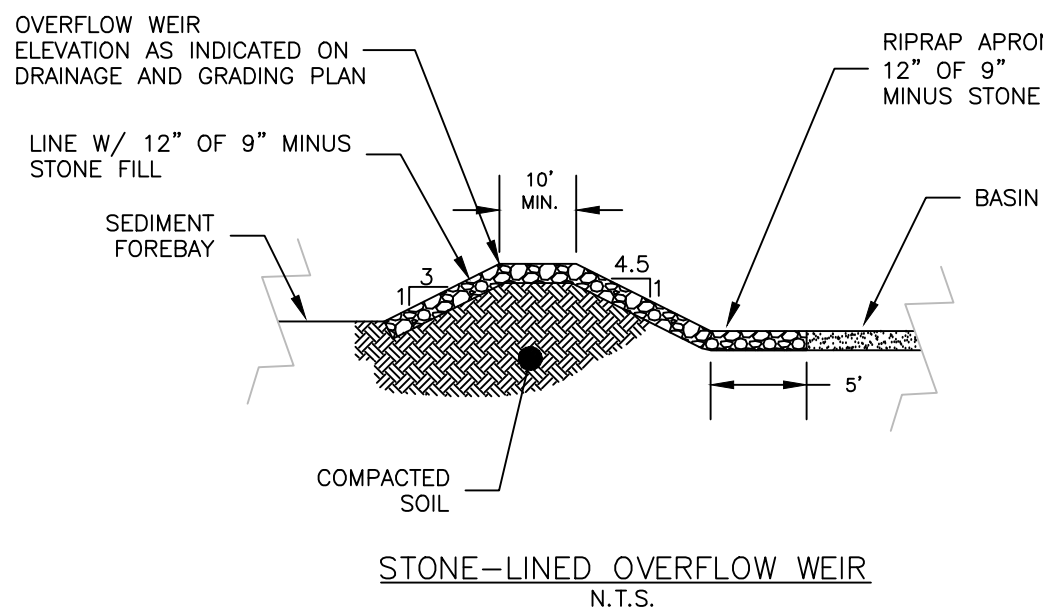
INFILTRATION BASIN MAINTENANCE AND PERIODIC INSPECTION:

1. THE SIDES AND BOTTOM OF THE BASIN SHALL BE MOWED TWICE A YEAR, ONCE IN JUNE AND AGAIN IN SEPTEMBER TO PREVENT THE GROWTH OF WOODY SHRUBS AND TREES. RE-FERTILIZATION WITH 10-6-4 RATIO FERTILIZER AT A RATE OF 500 LB PER ACRE (11 LB PER 1000 SQ FT) MAY BE REQUIRED THE SECOND YEAR AFTER SEEDING.
2. THE BASIN SHALL BE OBSERVED AT LEAST MONTHLY AND ANY ACCUMULATED DEBRIS SHALL BE REMOVED.
3. THE FOLLOWING AREAS OF THE INFILTRATION BASIN SHALL BE INSPECTED ANNUALLY AND ANY NECESSARY REPAIRS MADE:
 - SEDIMENT FOREBAY – REMOVE ACCUMULATED SEDIMENT WHEN THE AVAILABLE STORAGE VOLUME IS REDUCED TO 50%.
 - DEWATERING – CONFIRM THE BASIN DEWATERS WITHIN 72 HOURS BETWEEN STORMS.
 - SEDIMENT IN BASIN – CONFIRM THERE IS NO EVIDENCE OF SEDIMENTATION IN THE BASIN.
 - INLETS – CONFIRM INLETS ARE IN GOOD CONDITION AND THERE IS NO EVIDENCE OF EROSION.
 - OUTLETS – CONFIRM OUTLETS ARE IN GOOD CONDITION AND THERE IS NO EVIDENCE OF EROSION.
 - AGGREGATE – CHECK STONE LINING AT WEIRS AND PIPE OUTLETS AND REPAIR OR ADD STONE IF NEEDED.



NOTE: CLEAN OUT SEDIMENT ONCE THE CLEAN OUT LEVEL INDICATED IN CLEAN-OUT STAKE IS REACHED.

CLEANOUT STAKE DATA		
LOCATION	CLEAN-OUT ELEV. Z1	BOTTOM SURFACE ELEV. Z2
SEDIMENT FOREBAY #1	513.5	512.0
SEDIMENT FOREBAY #2	515.0	513.5



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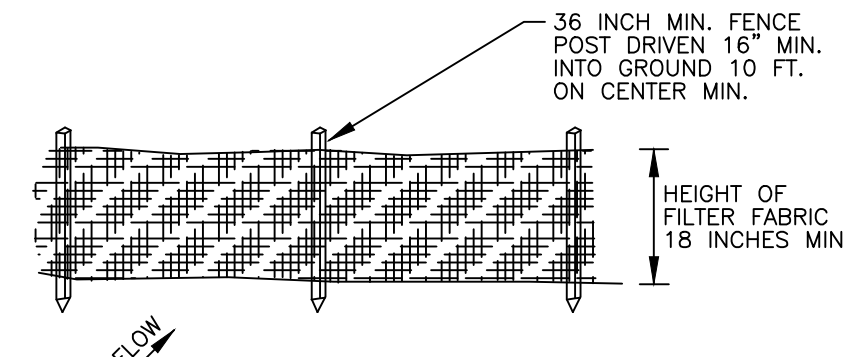
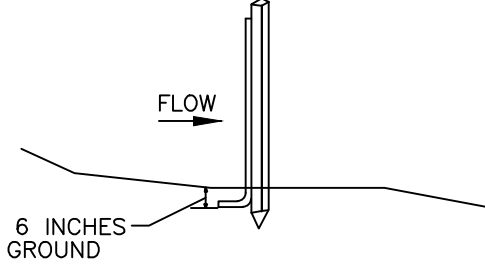
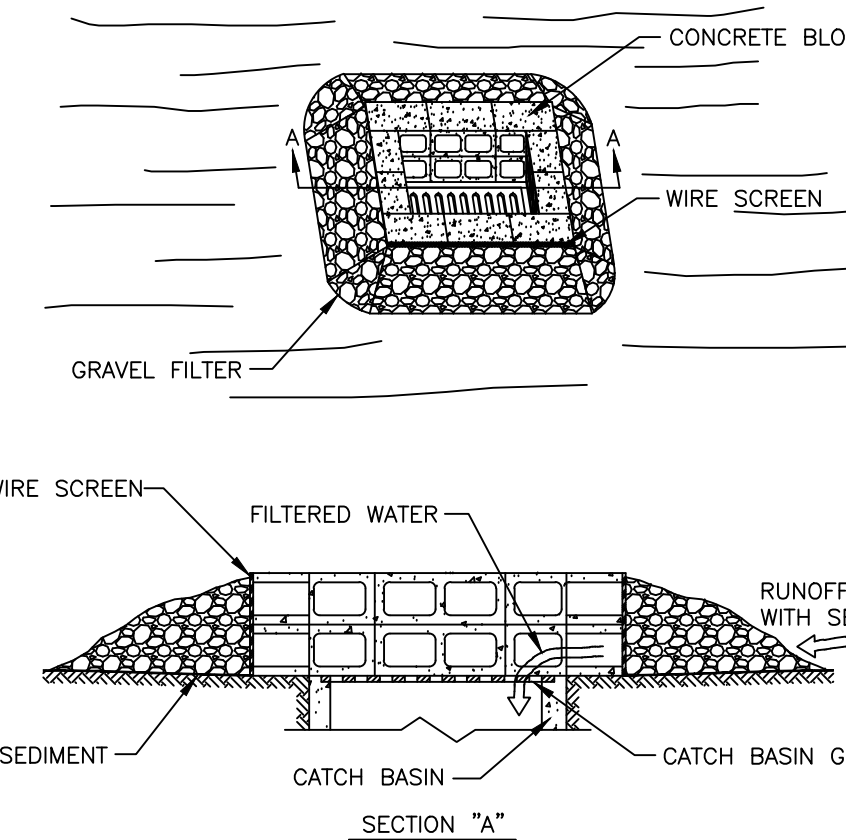
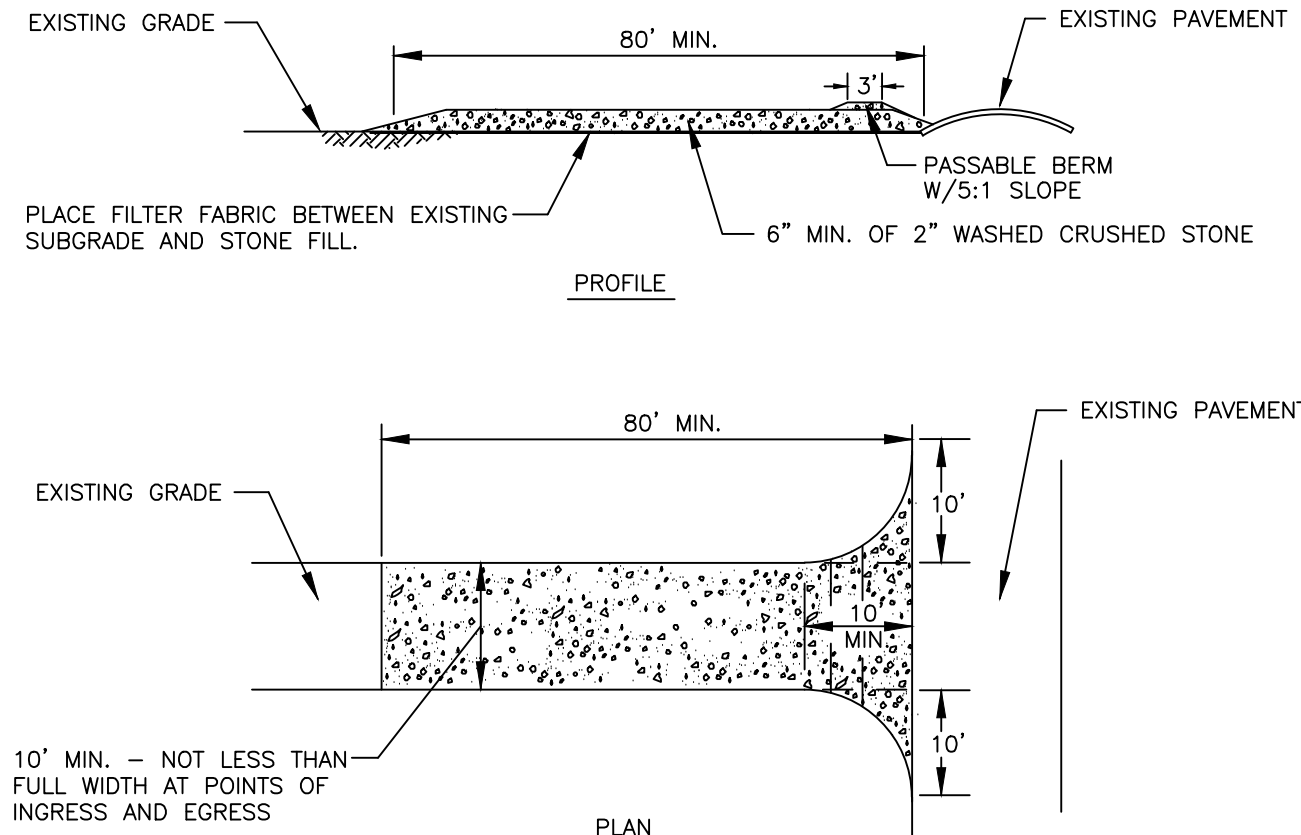
ROADWAY AND STORMWATER DETAILS FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC

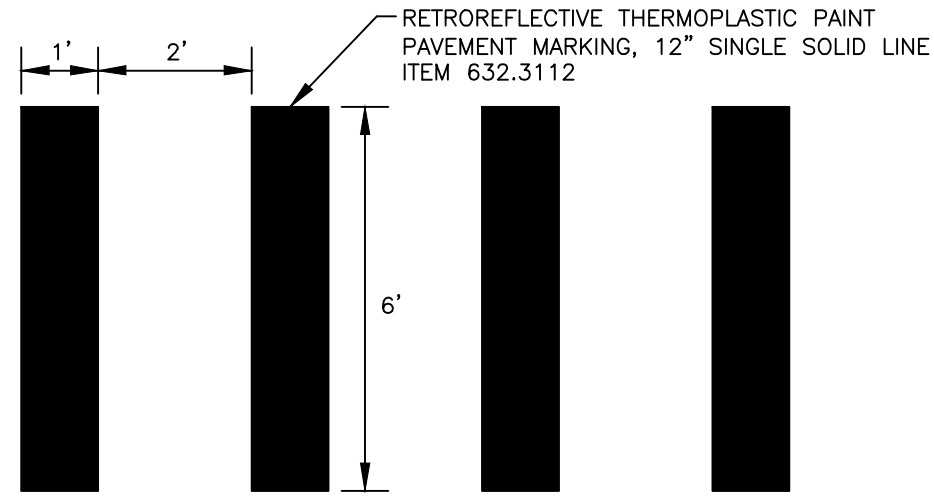
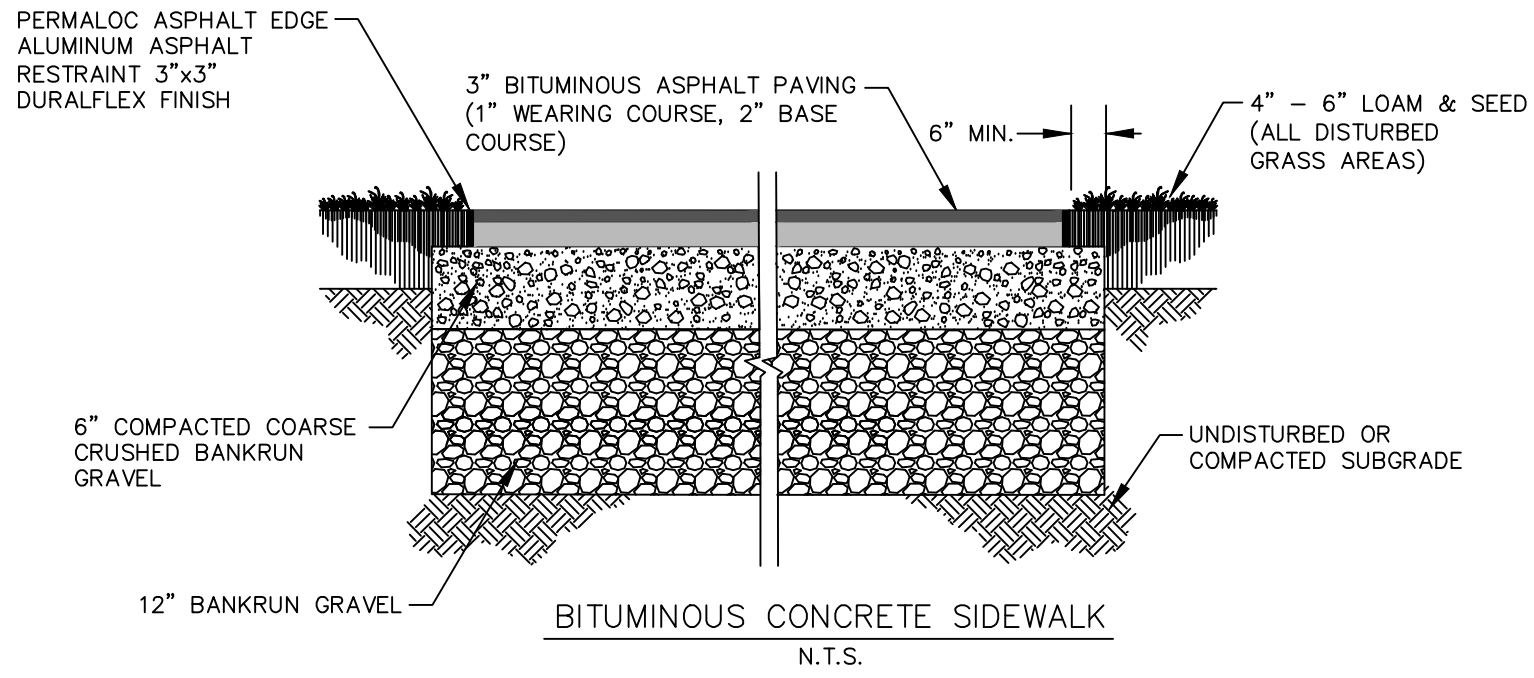
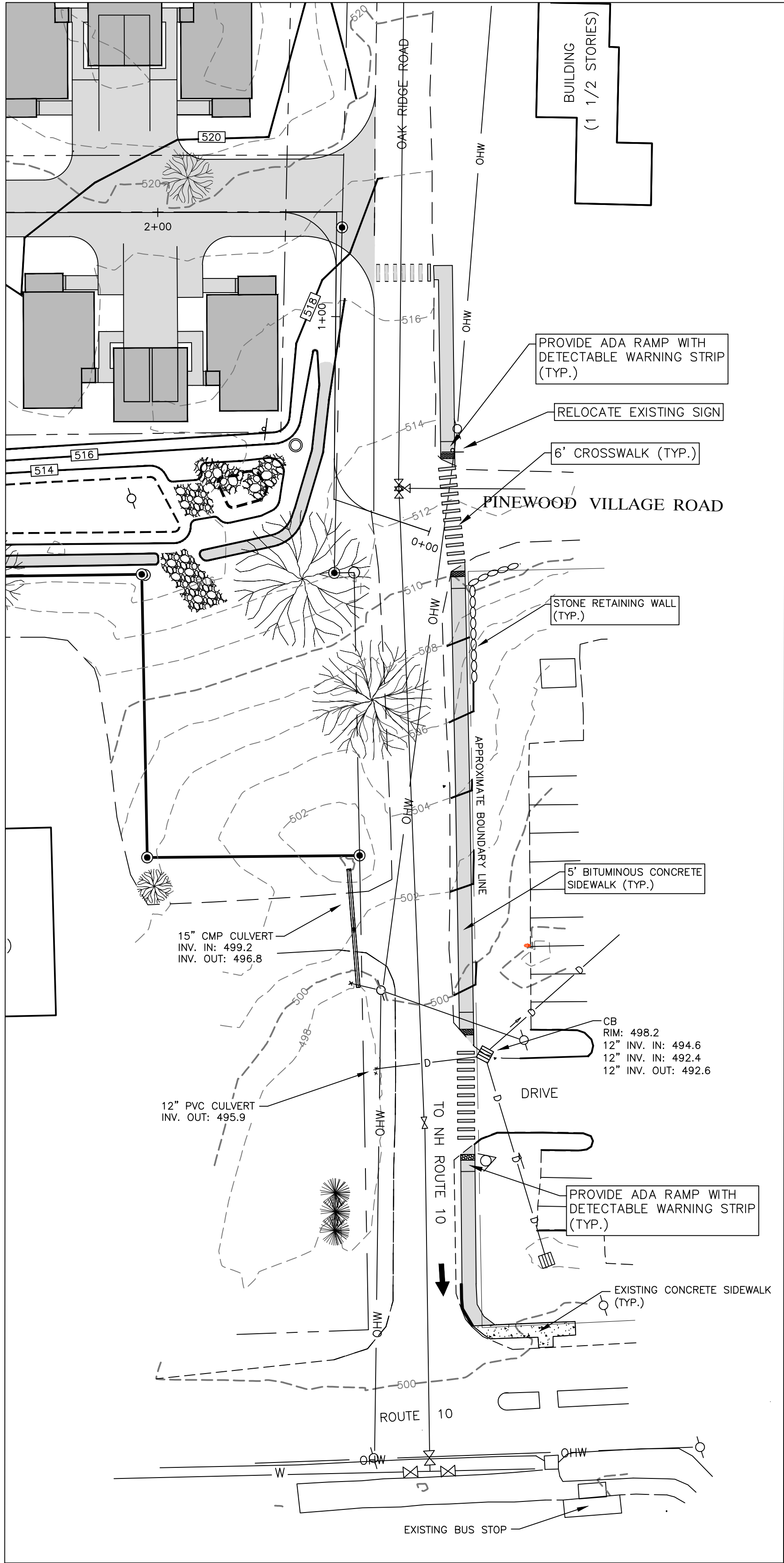
240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: AS SHOWN
DESIGNED BY: PAB
DRAWN BY: PAB
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DATE: 12/09/20
PROJ. NO. 11465-01

15
SHEET 15 OF 17

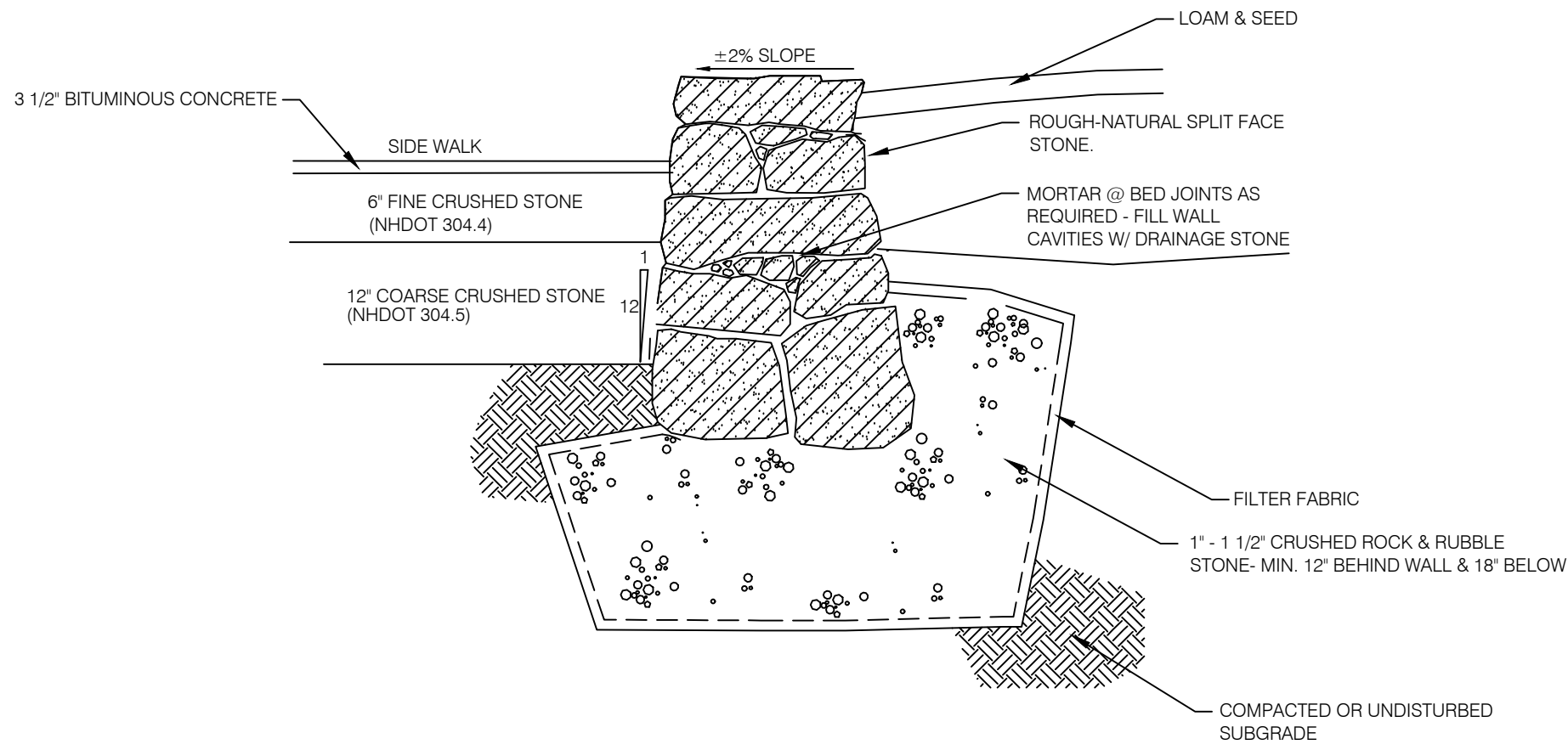
EROSION CONTROL SPECIFICATIONS																				
1. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH "NEW HAMPSHIRE STORMWATER MANAGEMENT", VOLUMES 1, 2, & 3, DECEMBER 2008 (OR LATEST EDITION). THE CONTRACTOR SHALL HAVE REFERENCE TO THESE PUBLICATIONS.		17. SEEDING MIXTURES FOR GRASSED SWALES AS SPECIFIED BY THE USDA SOIL CONSERVATION SERVICE, WOODSVILLE, N.H. ARE:																		
2. IMMEDIATE ATTENTION TO EROSION CONTROL PRACTICES DRAMATICALLY IMPROVES SOIL AND MOISTURE CONSERVATION AND REDUCES NEGATIVE IMPACTS ON WATER QUALITY. THE CONTRACTOR SHALL GIVE PRIORITY TO THE TIMELY INSTALLATION OF BOTH TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES.		<table><tr><th>MIXTURE</th><th>SEEDING RATES POUNDS PER ACRE</th><th>POUNDS PER 1,000 SQ.FT.</th></tr><tr><td>A. TALL FESCUE</td><td>20</td><td>0.45</td></tr><tr><td>CREeping RED FESCUE</td><td>20</td><td>0.45</td></tr><tr><td>RED TOP</td><td>2</td><td>0.05</td></tr><tr><td>TOTAL</td><td>42</td><td>0.95</td></tr></table>				MIXTURE	SEEDING RATES POUNDS PER ACRE	POUNDS PER 1,000 SQ.FT.	A. TALL FESCUE	20	0.45	CREeping RED FESCUE	20	0.45	RED TOP	2	0.05	TOTAL	42	0.95
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A. TALL FESCUE	20	0.45																		
CREeping RED FESCUE	20	0.45																		
RED TOP	2	0.05																		
TOTAL	42	0.95																		
3. THE EROSION AND SEDIMENT CONTROL PRACTICES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE PRACTICES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS.																				
4. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT SHALL NOT EXCEED 5 ACRES AT ANY ONE TIME BEFORE STABILIZATION. A CONSTRUCTION SEQUENCE HAS BEEN DEVELOPED TO FACILITATE INSTALLATION OF EROSION CONTROL MEASURES AND THE COMPLETION OF GRADING, SEEDING, AND LANDSCAPING AS SOON AS POSSIBLE WITHIN A DISTURBED AREA.																				
5. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.		EROSION CONTROL SPECIFICATIONS																		
6. ALL SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE (PRIOR TO ROUGH GRADING THE SITE).		SILT FENCE MAY BE EITHER PREMANUFACTURED OR PREPARED ON SITE. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS.																		
7. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE PLANS SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION.		SILT FENCE SHALL BE LOCATED AS SHOWN ON THE PLAN AND WHEREVER CONSTRUCTION ACTIVITIES MAY RESULT IN A TEMPORARY RUNOFF TO A STREAM OR WETLAND WHICH MAY CARRY SILT OR SEDIMENT.																		
8. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT. ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE REMOVED BY THE END OF THE SAME WORK DAY IT IS NOTED, AND IF NOTED ON A NON-WORK DAY, NOT LATER THAN THE END OF THE NEXT WORK DAY.		THE TRENCH SHALL BE TOED IN PLACE BY PLACEMENT IN A 6 INCH TRENCH AND BACKFILLING WITH A SUITABLE MATERIAL.																		
9. EARTH STOCKPILES SHALL BE SEEDDED AND MULCHED AND HAVE A SILT FENCE INSTALLED ON THE DOWNSLOPE SIDE, AT A MINIMUM. STOCKPILES SHALL BE COVERED WITH IMPERVIOUS TARPS AND/OR STABILIZED WITH TEMPORARY SEED AND MULCH TO PROTECT MATERIALS IN THE EVENT THAT THEY WILL REMAIN FOR LONGER THAN 1 MONTH.		WHEN A TRENCH CANNOT BE CONSTRUCTED, THE FABRIC MAY BE FOLDED AT THE BASE IN A MANNER SUCH THAT A MINIMUM OF 6 INCHES OF FABRIC LIES ON THE GROUND TOWARD THE DIRECTION OF FLOW. THE FOLDED FABRIC SHALL BE COVERED TO A DEPTH OF 6 INCHES WITH SUITABLE MATERIAL EXTENDING A MINIMUM OF 4 INCHES BEYOND THE FABRIC.																		
10. INSTALL EROSION CONTROL MEASURES AS SHOWN. CLEAN ACCUMULATED SEDIMENT AS NECESSARY. LEAVE IN PLACE UNTIL DISTURBED AREAS HAVE BEEN ADEQUATELY STABILIZED. DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE PERMANENTLY SEEDDED.		SUPPORTING STAKES SHALL BE PLACED NO MORE THAN 10 FEET APART.																		
11. CUT AND FILL SLOPES CALL FOR INTENSIVE EROSION CONTROL MEASURES. INSTALL EROSION CONTROL BLANKET AS SHOWN ON ALL SLOPES 3:1 (1 RISE ON 3 RUN) AND STEEPER. ALL CUT AND FILL SLOPES SHALL BE SEEDDED AND MULCHED WITHIN 72 HOURS OF THEIR CONSTRUCTION.		MAINTENANCE SHALL BE PERFORMED AS NEEDED. FENCING SHALL BE REPLACED WHEN TORN, WHEN TRENCHING IS DISTURBED, WHEN THE FENCE DISPLAYS PLUGGING AS EVIDENCED BY SILT-LADEN APPEARANCE, WHEN WATER IS EXCESSIVELY RETARDED BY THE FENCE, OR WHENEVER "BULGES" APPEAR.																		
12. ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED WITH MULCH AND/OR MULCH NETTING BEFORE THE END OF EACH WORK DAY		CONSTRUCTION SPECIFICATIONS																		
13. ALL DISTURBED AREAS SHALL HAVE TOPSOIL SPREAD (4" MINIMUM) AND BE LIMED, FERTILIZED, TILLED, SEEDDED AND MULCHED (WITH ANCHORED BLANKET IF REQUIRED) WITHIN 72 HOURS OF FINAL GRADING. WHEN PERMANENT SEEDING CANNOT BE INSTALLED BY SEPTEMBER 15, TEMPORARY SEEDING AND MULCHING OF ALL DISTURBED AREAS SHALL BE INSTALLED IMMEDIATELY AND MAINTAINED IN THAT CONDITION UNTIL PERMANENT MEASURES CAN BE INSTALLED IN THE FOLLOWING PLANTING SEASON.		TEMPORARY SEEDING SHALL OCCUR PRIOR TO SEPTEMBER 15TH.																		
14. ROADWAYS/PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.		ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 95% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED BLANKET, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH BLANKET SHALL OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;																		
15. WHEN WORK IS SUSPENDED WITHIN THE GROWING SEASON, ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH WITHIN 14 DAYS. OUTSIDE THE GROWING SEASON, ALL DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED WITH MULCH; MULCH AND TACK ON SLOPES STEEPER THAN 3:1; OR EROSION MATTING ON SLOPES STEEPER THAN 2:1 AND MAINTAINED IN THAT CONDITION UNTIL PERMANENT MEASURES CAN BE INSTALLED IN THE FOLLOWING PLANTING SEASON.		ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 95% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS; AND																		
SEED BED PREPARATION: TILL THREE INCHES DEEP MIXING IN FERTILIZER. APPLY 2 TONS/ACRE (100#/1,000 SQ. FT.)		AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.																		
FERTILIZE: UNIFORMLY APPLY NOT LESS THAN 300#/ACRE (7#/1,000 SQ. FT.) OF 10-20-20 OR EQUIVALENT.		28. FUGITIVE DUST: FUGITIVE DUST SHALL BE CONTROLLED IN ACCORDANCE WITH ENV-A 1002.																		
SEEDING: SELECT APPROPRIATE SEEDING MIXTURE FROM TABLE 1 BELOW. SPREAD SEED UNIFORMLY. FIRM SOIL BY ROLLING OR PACKING; IF NOT FEASIBLE, THEN RAKE LIGHTLY TO COVER SEEDS.		SOURCES OF FUGITIVE DUST MAY INCLUDE (1) CONSTRUCTION OR RENOVATION OF BUILDINGS, BRIDGES OR OTHER STRUCTURES, INCLUDING PAVING, SWEEPING, TRENCHING, EXCAVATING, FILLING, OR OTHER ACTIVITY ASSOCIATED WITH THE BUILDING OF STREETS, ROADS, HIGHWAYS, PARKING LOTS, PUBLIC WALKWAYS, SHOPPING CENTERS, HOUSING DEVELOPMENTS, OR OTHER CENTERS OF BUSINESS OR RESIDENTIAL DEVELOPMENT; (2) DEMOLITION, INCLUDING THE TEARING DOWN OF BUILDINGS, BRIDGES, OR OTHER STRUCTURES; AND (3) OUTDOOR STORAGE AND MATERIAL STOCKPILES, INCLUDING THE UNLOADING, REDISTRIBUTION, AND MAINTENANCE OF MATERIALS.																		
MULCHING: MULCH ALL DISTURBED AREAS WITH 1-½ TO 2 TONS OF HAY OR STRAW PER ACRE (70-90#/1,000 SQ. FT.). ANCHOR ON ALL SLOPES 3:1 OR STEEPER AND ON SLOPES SUBJECT TO WASH OR WIND BLOWN CONDITIONS. JUTE OR OTHER BIODEGRADABLE BLANKET, STAKING AND STABILING MAY BE REQUIRED.		THE CONTRACTOR SHALL TAKE PRECAUTIONS THROUGHOUT THE DURATION OF CONSTRUCTION TO PREVENT, ABATE, AND CONTROL THE EMISSION OF FUGITIVE DUST. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. THE USE OF WATER OR HYDROPHILIC MATERIAL ON OPERATIONS OR SURFACES, OR BOTH; B. THE APPLICATION OF ASPHALT, WATER OR HYDROPHILIC MATERIAL, OR TARPS OR OTHER SUCH COVERS TO MATERIAL STOCKPILES; C. THE USE OF HOODS, FANS, FABRIC FILTERS, OR OTHER DEVICES TO ENCLOSE AND VENT AREAS WHERE MATERIALS PRONE TO PRODUCING FUGITIVE DUST ARE HANDLED; D. THE USE OF CONTAINMENT METHODS FOR SANDBLASTING OR SIMILAR OPERATIONS; AND E. THE USE OF VACUUMS OR OTHER SUCTION DEVICES TO COLLECT AIRBORNE PARTICULATE MATTER.																		
TABLE 1 PLANT SELECTION AND SEEDING RATES		29. INVASIVE SPECIES: THE PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES INCLUDING THE FOLLOWING REQUIREMENTS: NO PERSON SHALL COLLECT, TRANSPORT, IMPORT, EXPORT, MOVE, BUY, SELL, DISTRIBUTE, PROPAGATE OR TRANSPLANT ANY LIVING AND VIABLE PORTION OF ANY PLANT SPECIES, WHICH INCLUDES ALL OF THEIR CULTIVARS AND VARIETIES, LISTED IN TABLE 3800.1 OF AGR 3800, NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST. NO PERSON SHALL COLLECT, TRANSPORT, IMPORT, EXPORT, MOVE, BUY, SELL, DISTRIBUTE, PROPAGATE OR RELEASE ANY LIVING INSECT SPECIES LISTED IN TABLE 3800.1, NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST.																		
SPECIES		PER ACRE		REMARKS																
WINTER RYE		2 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO DEPTH OF ONE INCH.																
OATS		2 1/2 BU OR 80 LBS.	2 LBS.	BEST FOR SPRING SEEDINGS. LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO DEPTH OF ONE INCH.																
ANNUAL RYE		40 LBS.	1 LB.	GROWS QUICKLY, BUT IS OF SHORT GRASS DURATION. USE WHERE APPEARANCES ARE IMPORTANT. COVER SEED WITH NO MORE THAN 1/4 INCH OF SOIL. WITH MULCH, SEEDING MAY BE DONE THROUGHOUT GROWING SEASON. OTHERWISE SEED EARLY SPRING OR BETWEEN AUGUST 15 & SEPTEMBER 15.																
16. PERMANENT STABILIZATION OF DISTURBED AREAS:		SEED BED PREPARATION: TOPSOIL (SANDY LOAM, LOAM, OR SILT LOAM), FRIABLE, FREE OF STUMPS, WOOD, AND ROOTS. STONES MORE THAN 1-½ INCHES IN DIAMETER OR LENGTH SHALL BE PLACED OVER ALL DISTURBED AREAS IN A 4" (MINIMUM) THICK LAYER. TOPSOIL SHALL BE FREE OF HERBICIDES AND TOXIC MATERIALS. TILL THREE INCHES DEEP, MIXING IN THE FERTILIZER AND LIME.																		
FERTILIZE:		UNIFORMLY APPLY NOT LESS THAN 500#/ACRE (12#/1,000 SQ. FT.) OF 10-20-20 OR EQUIVALENT.																		
SEEDING:		SPREAD SEED UNIFORMLY. FIRM SOIL BY ROLLING OR PACKING; IF NOT FEASIBLE, THEN RAKE LIGHTLY TO COVER SEEDS.																		
MULCHING:		MULCH ALL DISTURBED AREAS WITH 1-½ TO 2 TONS OF HAY OR STRAW PER ACRE (70-90#/1,000 SQ. FT.). ANCHOR ON ALL SLOPES 3:1 OR STEEPER AND ON SLOPES SUBJECT TO WASH OR WIND BLOWN CONDITIONS. JUTE OR OTHER BIODEGRADABLE BLANKET, STAKING AND STABILING MAY BE REQUIRED.																		
GRASS MATERIALS (SHADY GENERAL LAWN MIX)		CHEWING FESCUE 'SR 5000' 40 CHAMPION PERENNIAL RYE GRASS 30 HARD FESCUE 'SR 3000' 25 RED FESCUE - 'PENNLAWN' 25 BLUEGRASS - 'GLADE' 10 130 LBS/ACRE																		
GRASS SEED SHALL BE FRESH, CLEAN, NEW-CROP SEED AND SHALL MEET THE PROVISIONS OF THE NEW HAMPSHIRE AGRICULTURAL AND VEGETABLE SEEDS LAW. SEED SPECIFIED IN THIS SECTION SHALL MEET THE FOLLOWING ANALYSIS:		OTHER SEED MIXTURES AND SEEDING RATES AS RECOMMENDED BY THE USDA - SOIL CONSERVATION SERVICE AND APPROVED BY OWNER MAY BE UTILIZED ONLY UPON PRIOR WRITTEN PERMISSION FROM THE ENGINEER.																		
																				
BLOCK & STONE INLET SEDIMENT FILTER DETAIL N.T.S.																				
																				
STABILIZED CONSTRUCTION ENTRANCE N.T.S.																				
NOTES: 1.) MAINTAIN ENTRANCE TO PREVENT TRACKING OF SEDIMENT INTO PUBLIC R.O.W. REDUCE TRACKING OF SOIL ONTO PUBLIC R.O.W. BY CLEANING OR TOP DRESSING STONE FILL. 2.) PROVIDE SEPARATE WHEEL CLEANING AREA WITH SUITABLE SEDIMENTATION BASIN.																				

EROSION CONTROL DETAILS FOR						PATHWAYS CONSULTING, LLC		SCALE: AS SHOWN	
OCCOM PATH - BASIC HOLDINGS, LLC						240 MECHANIC STREET, SUITE 100 LEBANON, NEW HAMPSHIRE 03766 (603) 448-2200		DESIGNED BY: PAB	
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH								DRAWN BY: PAB	
								CHECKED BY: RJF	
REVISION NO.						DATE		DATE: 10/13/20	
STAFF REVIEW COMMENTS						PAB		PROJ. NO. 11465-01	
DESCRIPTION						PAB		SHEET 16 OF 17	
MADE BY						RJF			
CHECKED BY						RJF			
APPROVED BY									



NOTES:
1. DETAIL CAN BE FIELD MODIFIED TO ELIMINATE A MARKING DIRECTLY IN A WHEEL PATH.

CROSSWALK DETAIL
N.T.S.



TYPICAL STONE WALL SECTION
N.T.S.

SIDEWALK EXTENSION PLAN FOR
OCCOM PATH - BASIC HOLDINGS, LLC
OAK RIDGE ROAD, CITY OF LEBANON, GRAFTON COUNTY, NH

PATHWAYS CONSULTING, LLC

240 MECHANIC STREET, SUITE 100
LEBANON, NEW HAMPSHIRE 03766
(603) 448-2200

SCALE: 1"=30'

DESIGNED BY: PAB

DRAWN BY: PAB

CHECKED BY: RJF

DATE: 10/13/20

PROJ. NO. 11465-01

17

SHEET 17 OF 17



DRAFT VERSION NOT FOR CONSTRUCTION



1 SOUTH ELEVATION
SCALE 3/16" = 1'-0"

DRAFT VERSION NOT FOR CONSTRUCTION



DRAFT VERSION NOT FOR CONSTRUCTION



1 NORTH ELEVATION
SCALE 3/16" = 1'-0"





① MODEL VIEW
NOT TO SCALE



① MODEL VIEW
NOT TO SCALE



DRAFT VERSION NOT FOR CONSTRUCTION



2 MODEL VIEW
NOT TO SCALE



1 EAST ELEVATION
SCALE 3/16"=1'-0"

A2.00 ELEVATIONS

DRAFT VERSION NOT FOR CONSTRUCTION



2 MODEL VIEW
NOT TO SCALE



1 SOUTH ELEVATION
SCALE 3/16"=1'-0"

A2.01 ELEVATIONS

DRAFT VERSION NOT FOR CONSTRUCTION



2 MODEL VIEW
NOT TO SCALE



1 WEST ELEVATION
SCALE 3/16" = 1'-0"

A2.02 ELEVATIONS



2 MODEL VIEW
NOT TO SCALE



1 NORTH ELEVATION
SCALE 3/16" = 1'-0"



2 MODEL VIEW
NOT TO SCALE



1 EAST ELEVATION
SCALE 3/16" = 1'-0"

A2.00 ELEVATION

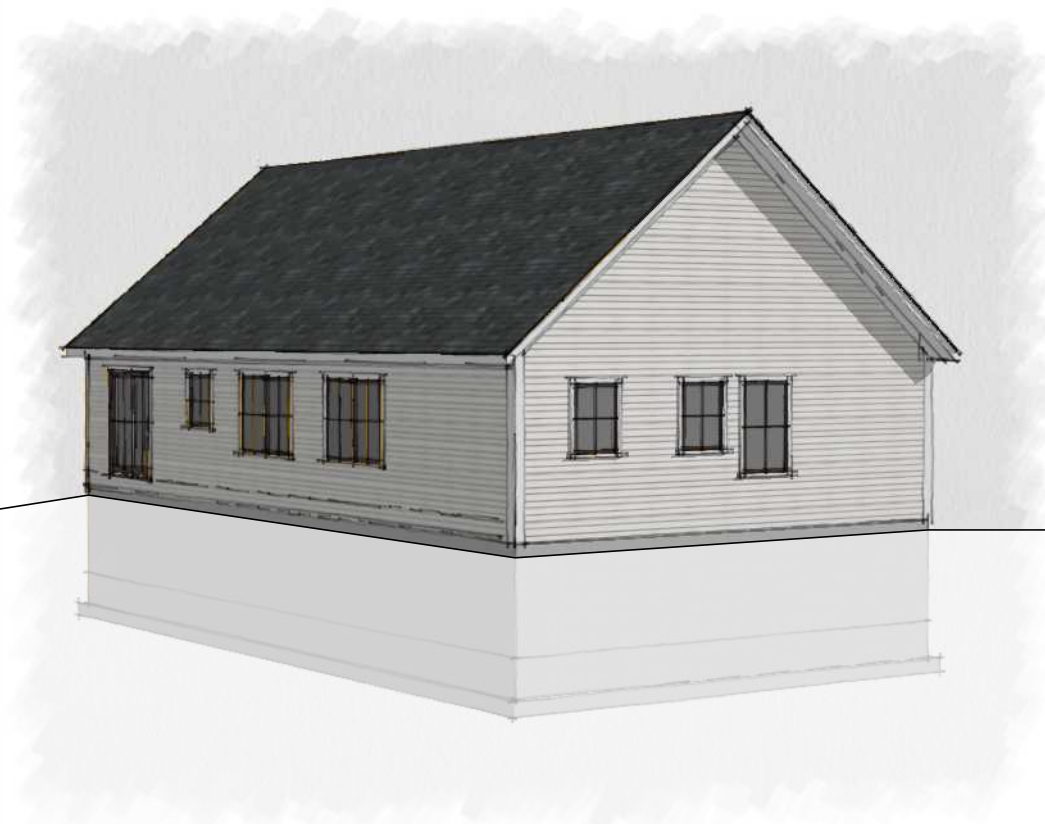
DRAFT VERSION NOT FOR CONSTRUCTION



2 MODEL VIEW
NOT TO SCALE



1 NORTH ELEVATION
SCALE 3/16" = 1'-0"



2 MODEL VIEW
NOT TO SCALE



1 WEST ELEVATION
SCALE 3/16" = 1'-0"

A2.02 ELEVATION

DRAFT VERSION NOT FOR CONSTRUCTION



2 MODEL VIEW
NOT TO SCALE



1 NORTH ELEVATION
SCALE 3/16" = 1'-0"

**Agenda
Planning Board
May 17, 2021**

**Agenda Item #4A
Approval of Minutes**

March 29, 2021

DRAFT

**LEBANON PLANNING BOARD
Work Session Meeting
Monday, March 29, 2021, 6:30 PM
Remote Via Microsoft Teams
LebanonNH.gov/Live**

ROLL CALL OF

MEMBERS PRESENT: Bruce Garland (Chair), Matthew Hall (Vice-Chair), Gregorio Amaro, Kim Chewning, Joan Monroe, Kathie Romano, Jeremy Rutter, and Laurel Stavis

MEMBERS ABSENT: Jim Winny (Council Representative)

STAFF PRESENT: David Brooks (Planning Director), Tim Corwin (Senior Planner), Brian Vincent (City Engineer)

1. Call to Order Chair Garland called the meeting to order at 6:30 PM.

A. Review of meeting procedures and NH RSA 91-A “Right-to-Know” requirements.

Mr. Corwin shared the State directive and participation details for the online meeting in Microsoft Teams. All members identified themselves.

Chair Garland conducted a roll call of members present as reported above. An overview of the meeting agenda was outlined.

2. Public Hearing Items

A. **Basic Holdings, LLC, 5 & 11 Oak Ridge Road, (Tax Map 4, Lots 5 & 6), zoned R-3:** Request for Final Major Subdivision Review, Site Plan Review, and a Conditional Use Permit for a proposed Planned Unit Residential Development (PURD) pursuant to Section 501.2 of the Zoning Ordinance, containing 22 residential units together with related site improvements and amenities. **PB2020-31-FMAJ** -Public hearing to commence on January 11, 2021 if the Board finds that the application is complete. Continued from March 8, 2021.

Jeff Shapiro, Owner; Attorney Nate Stearns; Rod Finley, Pathways Consulting LLC; and Erica Wygonik, Resource Systems Group Traffic Engineer, attended online in support of the application.

Mr. Finley gave an overview of the March 8, 2021 meeting presentation, which included details of the project. The Alteration of Terrain Application was submitted to the State. The State DES comments on the issues of infiltration basins on site, utility conflicts, and sewer stationing would be addressed.

The applicant consulted with Wellspring Church officials regarding an easement, which should be resolved shortly.

An aerial image showing the configuration of the project, which is across from Pinewood Village, was shared.

1 Mr. Finley suggested that the density bonus request as outlined in the PURD regulations allows for 22
2 units. The road must be built regardless of the number of units, along with the sewer and drainage
3 features, making the additional 3 units reasonable. The plan can support a PURD of 22 units.

4
5 Gregorio Amaro joined the meeting at 6:50 PM.

6
7 Mr. Finley discussed the drainage plan.

8
9 Mr. Corwin outlined the approval process in line with the PURD details. A Conditional Use Permit is
10 required. The waiver requests were explained. The applicant is entitled to 19 units with a density bonus of
11 12% and is asking for approval of 22 units. The Board has the discretion to allow or deny any or all of the
12 additional units. Portions of the Staff Memo from March 8, 2021, were reviewed. An updated traffic study
13 was prepared in October, 2020, and provided for this meeting. The NH DOT recommended the applicant
14 do further analysis to determine if any additional traffic modifications are warranted. Staff recommends
15 an additional condition of approval requiring the proposed sidewalk be constructed on the north side of
16 Oak Ridge Road with a barrier curb and possibly a grass strip. A letter 3/22/2021 from Alana Garrett,
17 President of the Pinewood Village Association, was provided to the Board and addressed sewer concerns.
18 There may be additional conditions based upon discussion.

19
20 Mr. Vincent addressed Sewer Codes 40 and 136. The 30 systems feeding the current sewer line do not
21 pose a capacity issue and are approximately 40 years old.

22
23 Mr. Hall commented on scattered and premature as being easily dispensed with.

24
25 Ms. Monroe confirmed that all units are three-bedrooms with full basements and suggested the
26 community garden could benefit from communal tools in a garden shed. Mr. Corwin said he would check
27 to see if a shed would be allowed.

28
29 Mr. Amaro inquired about outdoor seating and the snow storage area. Mr. Finley suggested there may be
30 some type of communal recreational items.

31
32 Mr. Vincent discussed the questions posed by Mr. Keach, the third-party engineer, regarding drainage,
33 utilities, and sewer design. Those issues were addressed but not those raised by the State DOT.

34
35 Ms. Chewning inquired about the snow storage areas, particularly on the south side of the property. Mr.
36 Finley explained that snow is also stored throughout the property, with excess distributed to one of the
37 three designated areas. Ms. Chewning inquired about lighting. Mr. Finley explained the lighting at each
38 door and other locations.

39
40 Mr. Rutter inquired if the units would be rental units and if unrelated people could rent a property. Mr.
41 Corwin confirmed that the units would be rental ones and explained the City definition of occupants,
42 which allows varied levels of unrelated inhabitants. Mr. Rutter also inquired about the number of vehicles
43 allowed. Mr. Stearns stated that the leases specify the number of parking spaces, which limits the number
44 of cars. Storage, noise, trash/recycling, pets, and open space use are also outlined.

45
46 Ms. Stavis inquired about both the property management for the site and the issues around the intersection
47 at Route 10. The intersection is under the purview of the State DOT. Mr. Corwin explained the issues
48 surrounding the intersection and the use of the double yellow-lined space being improperly used for
49 making left turns onto Oak Ridge Road. It is up to the DOT to make the decision to create an actual turn
50 lane. The applicant is being asked to consider the impact on the intersection.

1 Mr. Shapiro stated there would be one common ownership and management of the development.

2
3 Ms. Wygonik commented on the Route 10 intersection. The development is small with no significant
4 traffic impact. The area is served by mass transit, which is expected to be well used. A full traffic study is
5 not required, and the traffic impact is well below the required level for a turn lane. Multiple approach
6 lanes on Oak Ridge Road are not justified.

7
8 Chair Garland invited public comment.

9
10 Jan Bent, a Pinewood Village resident, clarified that Pinewood Village can only have three units rented at
11 any time, and all others are owner-occupied. The Route 10 intersection caused a fatality, and the
12 intersection needs another review. Ms. Bent inquired about parking for guests within the development.
13 She noted there would be additional school bus traffic. The Pinewood Board wasn't informed of the
14 increased use of the sewer system.

15
16 Mr. Finley stated that there are eight visitor spaces and additional space in front of each garage for a
17 visitor. Mr. Brooks stated that public works would address the sewer issue and notification. Mr. Vincent
18 stated that Pinewood Village is an abutter and would have been notified of the project, but not specifically
19 the sewer plan. The City Council approval of the sewer extension was a public hearing, which was
20 noticed. Ms. Bent asked about the construction of the sewer pipes, which are 8" pipes. Mr. Vincent stated
21 that the pipes are made of clay, and the capacity has been adequate.

22
23 Steven Arcone, 40 Oak Ridge Road, submitted comments and had additional comments. He inquired
24 about the amount of soil being removed and the depth of the proposed basements, and would the
25 basement for the unit proposed next to the slope have an impact on the slope. Mr. Arcone noted that there
26 is a good deal of trash on the slope and inquired if there were plans for dealing with it. He also asked if
27 the trees on the slope would be retained. Finally, he inquired as to what would be done with the large,
28 empty area at the south end of the development. Mr. Finley stated that each basement would be 8-9 feet as
29 a standard basement depth. The trash on the slope would be removed. The basement of Unit 13 next to the
30 slope would provide additional stability for the location. The blank area at the southeast end of the
31 property would provide locations for infiltration basins for stormwater management. Mr. Arcone referred
32 to the presentation he made in 2019 and asked that the Board and Staff take another look at the
33 presentation.

34
35 Rand Swenson, an abutter, noted that the development is out of character with the area. Pinewood Village
36 does not impact Oak Ridge Road and the properties are owner-occupied and substantially different. Mr.
37 Swenson questioned the increase from 19 to 22, which by his calculation is almost 17% rather than 12%.

38
39 Christopher Ashley of Pinewood Village noted that much soil would be removed and additional traffic
40 from construction would make traffic difficult. He requested that the waivers not be granted. Mr. Finley
41 noted that they are not asking waivers for erosion and sediment control or traffic safety.

42
43 Maryann Peters, 40 Oak Ridge Road, inquired as to who addresses suitability of a project and whether it
44 will enhance and serve the community. In addition, how did the owner make the determination that 22
45 rental units would support the need for rental housing with monthly rent being \$3000 per unit. Chair
46 Garland stated that desirability is not measured in the Planning Board's deliberations, just whether the
47 plan complies with the City regulations. Zoning regulations determine the number of units plus the bonus,
48 and it is the owner's right to develop the property. The Planning Board does not determine viability.

49
50 Lorraine Kelly, 25 Wildwood Drive, inquired about the amount of acreage in the steep slope in southwest
51 area, and how much would be used as open space. Mr. Finley stated the property boundaries are shown on

1 the rendering, with about half being open space. Ms. Kelly inquired about the purpose of a PURD. Mr.
2 Brooks explained the purpose of open space by definition in the PURD regulations, and in this case the
3 ravine is being protected and not available for recreational use. A number of uses are included for open
4 space, but it does not have to be usable. Mr. Finley stated that page 4 of 6 covers the open space, and
5 much consideration was given to the open space.

6
7 Mr. Hall noted that scattered and premature has not changed from the original determination.

8
9 ***A MOTION by Matthew Hall that the Lebanon Planning Board finds the application of Basic Holdings,***
10 ***LLC for a Conditional Use Permit per Sections 501.1 & 501.2 of the Zoning Ordinance, Final Major***
11 ***Subdivision approval, and Site Plan Review approval for a proposed Planned Unit Residential***
12 ***Development (PURD) at 5 & 11 Oak Ridge Road (Tax Map 4, Lots 5 & 6), PB2020-31-FMAJ, IS NOT***
13 ***scattered and premature based on the final subdivision layout and on the totality of the application***
14 ***information, materials, evidence, and testimony submitted to and reviewed by the Board.***

15
16 ***Seconded by Joan Monroe***

17
18 Ms. Monroe stated that there are a number of issues the Board can consider regarding scattered and
19 premature, and this project would not cause any of those issues.

20
21 ***Roll Call Vote:***

22 ***Voting in Favor – Ms. Romano, Ms. Chewning, Ms. Stavis, Mr. Hall, Mr. Garland, Mr. Amaro, Mr.***
23 ***Rutter, Ms. Monroe***

24 ***Voting Against – None***

25 ****The MOTION was approved (8-0).***

26
27 Chair Garland opened the discussion of the density bonus. The plan calls for 19 units plus a density
28 bonus.

29
30 Jeanette Hutchins, 37 Wildwood Drive and owner of 14 Oak Ridge, inquired about the basis for granting
31 a waiver for a bonus when it provides an economic gain. Mr. Corwin stated that there is not a standard for
32 the Planning Board to judge an increase in density, and the Zoning regulations provide that it is
33 discretionary unless the “limitations of a site cannot accommodate an increase.” There is a calculation,
34 which is 19 in this case, and a 12% bonus can be requested. Using the calculation, the owner can request
35 up to 22 units unless there are limitations of the site.

36
37 Rand Swenson noted that the result should be 21.3, and therefore up to 21. Mr. Finley referred to a
38 section of the plan and explained the calculation in detail.

39
40 Maryann Peters, 40 Oak Ridge Road, commented that based on the chart, it appears that the developer is
41 able to make the acreage requirement by reducing the dimension of the road from 24’ to 20’. In her
42 opinion, 20’ is too narrow for emergency vehicles for safety. Mr. Corwin stated that the Fire Department
43 reviewed and approved the plan. Mr. Finley noted that the Centerra roads are 20’ wide.

44
45 Mr. Hall observed that three units doesn’t fundamentally impact the development, and 22 units is a
46 reasonable request,

47
48 Several Board members expressed their rationale against the density bonus. Atty. Stearns noted that there
49 would be a sidewalk connection to downtown Hanover, and the development would be close to many
50 facilities. It is an excellent infill location, and they are working within the rules. Mr. Shapiro expressed
51 his appreciation for consideration of the bonus.

Chair Garland conducted a straw poll of the members regarding granting no bonus or one, two, or three additional units.

In favor of no bonus: Mr. Amaro, Mr. Rutter, Ms. Monroe, Ms. Romano, Ms. Chewning

In favor of 1 additional unit: Ms. Stavis

In favor of 2 additional units: Mr. Garland

In favor of 3 additional units: Mr. Hall

A MOTION by Laurel Stavis to DENY the density bonus for Basic Holdings, LLC, 5 & 11 Oak Ridge Road.

Seconded by Kathie Romano

Voting in Favor – Mr. Amaro, Mr. Rutter, Ms. Monroe, Ms. Romano, Ms. Chewning

Voting Against – Mr. Hall, Mr. Garland, Ms. Stavis

****The MOTION was approved (5-3).***

There would be no density bonus.

Chair Garland invited discussion of the requested waivers.

Mr. Finley stated that there is a complete survey with spot elevations but not in front of each individual unit.

Mr. Vincent stated that there is no objection to the partial waiver. It is the developer's choice to provide a foundation wall above the sills to prevent water issues.

A MOTION by Laurel Stavis that the Lebanon Planning Board APPROVE waivers for the application of Basic Holdings, LLC, regarding 5 & 11 Oak Ridge Road (Tax Map 4, Lots 5 & 6), PB2020-31-FMAJ, from the following sections of the Subdivision Regulations:

- **Partial Waiver of Section 10.4.A.1.f** – requiring spot elevations
- **Section 10.4.C.2.a & b** – requiring “a final statement of the work required on existing streets and other off-site improvements to meet the minimum standards set forth herein, including cost estimates and the method of meeting such costs,” and “estimates for the completion of all on- and off-site improvements[.]”
- **Section 10.4.C.2.c** – requiring a temporary control period for the construction period with respect to traffic control, erosion control, dust control, and hours of operation

Seconded by Matt Hall.

Ms. Monroe noted that the Board can allow the partial waiver for spot elevations now, but the developer could do them later. Mr. Vincent stated that the project would trigger notice of intent.

Roll Call vote:

Voting in Favor – Mr. Garland, Mr. Amaro, Mr. Rutter, Ms. Monroe, Ms. Romano, Ms. Chewning, Ms. Stavis, Mr. Hall

Voting Against - None

****The MOTION was approved (8-0).***

1 Mr. Corwin explained the next set of waivers.

2
3 **A MOTION by Jeremy Rutter** that the Lebanon Planning Board **APPROVE** waivers for the application
4 of Basic Holdings, LLC, regarding 5 & 11 Oak Ridge Road (Tax Map 4, Lots 5 & 6), PB2020-31-FMAJ,
5 from the following sections of the Site Plan Review Regulations:

- 6
7
 - 8 • **Section 5.1.E.6** – requiring spot elevations
 - 9 • **Section 5.1.E.9** – “(The plans shall depict) the location of [...] driveways within 200 feet of the
10 site boundary.”
 - 11 • **Section 5.1.E.12** – lighting plan requirements
 - 12 • **Section 6.5.B.4** – “All projects proposed for [...] shall install sidewalks along the street
13 frontage(s).”

14

15 **The motion was seconded by Joan Monroe.**

16
17 Ms. Monroe noted that the lighting would be very modern and minimal and alerted the developer to the
18 need for a color temperature of 3000K or warmer. It is not required yet, but Mr. Corwin will include it in
19 the conditions.

20
21 **Roll Call Vote:**

22 **Voting in Favor – Mr. Rutter, Ms. Monroe, Ms. Romano, Ms. Chewning, Ms. Stavis, Mr. Hall, Mr.**
23 **Garland, Mr. Amaro**

24 **Voting Against - None**

25 ***The MOTION was approved (8-0).**

26
27 There was a discussion of the time needed to adjust the project plans in order to schedule the next
28 meeting.

29
30
31 **A Motion by Matthew Hall to schedule a special meeting for Basic Holdings, LLC, 5 & 11 Oak Ridge**
32 **Road to May 17, 2021, at 6:30 PM.**

33 **Seconded by Jeremy Rutter**

34
35 Ms. Monroe stated that the Board would not be closing public input and would be looking at new plans.

36
37 **Roll Call Vote:**

38 **Voting in Favor – Mr. Garland, Ms. Romano, Ms. Chewning, Ms. Stavis, Mr. Hall, Mr. Garland, Mr.**
39 **Amaro, Mr. Rutter, Ms. Monroe**

40 **Voting Against – None**

41 ***The MOTION was approved (8-0).**

42
43 **A MOTION by Matthew Hall to continue the hearing of Basic Holdings, LLC, 5 & 11 Oak Ridge Road**
44 **to May 17, 2021, at 6:30 PM.**

45 **Seconded by Jeremy Rutter**

46
47 **Roll Call Vote:**

48 **Voting in Favor – Ms. Monroe, Ms. Romano, Ms. Chewning, Ms. Stavis, Mr. Hall, Mr. Garland, Mr.**
49 **Amaro, Mr. Rutter**

50 ***The MOTION was approved (8-0)**

1
2 **3. Other Business**

3
4 **4. Approval of Minutes**

5
6 A. None

7
8 **5. Adjournment**

9
10 *A MOTION by Matthew Hall to adjourn the meeting.*
11 *Seconded by Laurel Stavis*

12
13 *Roll Call Vote:*

14 *Voting in Favor – Ms. Stavis, Mr. Garland, Ms. Monroe, Ms. Romano, Mr. Rutter, Ms. Chewning, Mr.*
15 *Amaro*

16 *Voting Against - None*

17 **The MOTION was approved (8-0).*

18
19 The meeting was adjourned at 9:15 PM.

20
21 Respectfully submitted,
22 Holly Howes
23 Recording Secretary